
February 11, 2026

Brooklyn Park Police Department
5400 85th Avenue North
7:00 p.m
Brooklyn Park, MN 55443

PLANNING COMMISSION REGULAR MEETING – AGENDA #2

For reasonable accommodations or alternative formats, please provide a 72-hour notice by calling 763-424-8000 or emailing Asma.Jihad@brooklynpark.org. Si usted necesita esta información en español, llame al 763-424-8000 y solicite un intérprete. Yog xav tau kev pab, hu 763-493-8059.

Commissioners: Chair Liam Cavin, Vice Chair Kathy Fraser, General Officer Teshite Wako, Christopher Udomah, Philip Gaye-Bai, Maggie Borer, Shereese Turner, Abdo Korosso, and Chukwunedu Arah.
City Councilmember Liaison Tony McGarvey.

Staff Liaison Planning Director Paul Mogush, Senior Planner Erin McDermott, Senior Planner Cara Donovan, Associate Planner Matt Hayes-Regan, and Program Assistant Asma Jihad

Members of the public can monitor the meeting by watching it on CCX Media Channel 16 or by livestreaming it at bplive.ccxmedia.org.

Anyone who wants to address the Planning Commission during the Public Comment period may do so in person or by calling **763-493-8057** or emailing planning@brooklynpark.org by 4:00 p.m. on the meeting day. You will be asked to provide your name, address, email, and phone number. You will then be registered to speak during the Public Comment period or on the agenda item and will be provided with the call-in number to address the Planning Commission.

I. ORGANIZATIONAL BUSINESS

1. CALL TO ORDER/ROLL CALL/PLEDGE OF ALLEGIANCE

2. EXPLANATION BY CHAIR

Please be advised that the public hearings are recorded and televised live on cable television and web-streamed over the internet at brooklynpark.org. The audio system will not pick up comments from the seating area. If you want to be heard and made a part of the public record, please go to the podium or, if participating remotely, turn on your camera; speak into the microphone, stating your full name and address. Please sign the public hearing logbook on the table near the entrance to the Council Chambers if you are attending in person to ensure accuracy of name and address in the public record. Please note that the agenda for tonight's meeting indicates that the Commission Chair has the prerogative to invoke a time limit for speakers during any public hearing in the interest of maintaining focus and the effective use of time. Thank you in advance for your cooperation.

The Planning Commission consists of nine resident-volunteer members appointed by the City Council to advise the City Council on planning and land use issues. The Commission discusses and evaluates development proposals based on zoning regulations and comprehensive plan policies. The Planning Commission vote is a recommendation that is forwarded to the City Council for official and final action.

3. APPROVAL OF AGENDA

II. REQUIRED DUTIES

4. CONSENT AGENDA

4.1 Approval of Minutes November 12, 2025 Regular Meeting

5. PUBLIC HEARING

5.1 Planning Case #25-122 | 8557 Wyoming – Resurrecting Faith World Ministry | Conditional Use Permit

Resurrecting Faith World Ministries has submitted a conditional use permit (CUP) application to use an existing tenant suite at 8557 Wyoming Ave N., Suite 6, as a religious institution. The organization is currently operating out of 4501 Oak Grove Parkway in Brooklyn Park and has purchased the subject property.

STAFF RECCOMENDATION: Staff recommend approval of the conditional use permit as presented, subject to the conditions contained in the draft resolution.

Presented by: Matt Hayes-Regan, Associate Planner

5.2 Planning Case #25-123 | HAM Addition | Preliminary and Final Plat

A subdivision application has been submitted requesting that the existing parcel located at 10508 Winnetka Ave. N. be subdivided into two detached single-family lots. Chapter 151 of the Land Usage Code authorizes the Planning Commission to recommend approval, modification, or denial of a preliminary plat to the City Council.

STAFF RECOMMENDATION: Staff recommend approval of the preliminary plat.

Presented by: Matt Hayes-Regan, Associate Planner

5.3 Planning Case #25-124 | Crew Carwash | Conditional Use Permit and Site Plan

Crew Carwash has submitted planning applications for a site plan review and conditional use permit to operate a car wash at 7820 Lakeland Ave. N. The project involves the demolition of the existing structure and the property's redevelopment pursuant to the proposed site plan.

STAFF RECOMMENDATION: Staff recommend approval of the site plan review as presented and approval of the CUP as presented, subject to the provisions in the draft resolutions.

Presented by: Matt Hayes-Regan, Associate Planner

5.4 Planning Case #26-103 | Green Lane Express | Site Plan

The request is for the construction of an addition to the existing structure located at 8841 Xylon Ave N. The 565 square foot addition on the south side of the existing building will allow for curbside pickup for a cannabis retailer.

STAFF RECOMMENDATION: Staff recommend approval of the site plan as presented, subject to the provisions in the draft resolution.

Presented by: Cara Donovan, Senior Planner

6. OTHER BUSINESS

6.1 Brooklyn Boulevard Corridor Plan Presentation

III. DISCUSSION ITEMS

IV. VERBAL REPORTS AND ANNOUNCEMENTS

7. COUNCILMEMBER LIAISON COMMENTS

8. PLANNING COMMISSION COMMENTS

9. STAFF LIAISON COMMENTS

V. ADJOURNMENT

UNAPPROVED MINUTES

MINUTES OF THE BROOKLYN PARK PLANNING COMMISSION Regular Meeting – November 12, 2025



I. ORGANIZATIONAL ITEMS

1. CALL TO ORDER/ROLL CALL/PLEDGE OF ALLEGIANCE

The meeting was called to order at 7:00 PM.

Those present were: Commissioners Cavin, Arah, Borer, Fraser, and Udomah; Planning Director Mogush; Senior Planner Cara Donovan, Senior Planner Erin McDermott, Associate Planner Matt Hayes-Regan, and Program Assistant Asma Jihad.

Those arrived late: None.

Those not present were: Commissioner Wako, Korosso, Turner, and Gaye-Bai (with prior notice).

2. EXPLANATION BY CHAIR

3. APPROVAL OF AGENDA

MOTION UDOMAH, SECOND FRASER TO APPROVE THE NOVEMBER 12, 2025 AGENDA.

MOTION CARRIED UNANIMOUSLY.

II. REQUIRED DUTIES

4. CONSENT AGENDA

4.1 Minutes – October 8, 2025 Work Session

MOTION FRASER, SECOND UDOMAH TO APPROVE THE NOVEMBER 12, 2025 CONSENT AGENDA.

MOTION CARRIED UNANIMOUSLY.

5. PUBLIC HEARING

5.1 Planning Case #25-104 (Kwik Trip) – Zoning Text Amendment, Conditional Use Permit and Site Plan Review at 9400 West Broadway

Senior Planner McDermott introduced the application from Kwik Trip for a site plan, CUP, and zoning text amendment for the property at 9400 West Broadway. She stated that at the last meeting, the Commission voted unanimously in support of the site plan, and the City Council also supported the site plan. She explained that the Planned Unit Development (PUD) tool will provide that path forward. She recommended approval of the three actions before the Commission as presented and stated within the packet.

Commission Chair Cavin opened the public hearing.

Tonya West-Hafner, 1005 Hampshire Terrace, thanked the Commission for supporting the project. She stated that, as a previous member of the Council, they were shortsighted in the planning for this property and believes that this development will be an amenity for those staying at the hotel.

Commission Chair Cavin closed the public hearing but reminded the public that comments can be submitted via email to City Staff for consideration in the City Council agenda packet.

MOTION BORER, SECOND UDOMAH TO RECOMMEND APPROVAL OF A ZONING TEXT AMENDMENT, AMENDING ORDINANCE 2016-1210 ORDINANCE AMENDING CHAPTER 152 OF CITY CODE TO REZONE PROPERTY FROM BUSINESS PARK WITH HIGHWAY OVERLAY (BP/HO) TO BUSINESS PARK WITH PLANNED DEVELOPMENT OVERLAY (BP/PD) AT THE SOUTHEAST CORNER OF HIGHWAY 610 AND WEST BROADWAY.

MOTION CARRIED UNANIMOUSLY.

MOTION BORER, SECOND UDOMAH TO RECOMMEND APPROVAL OF A CONDITIONAL USE PERMIT FOR THE OPERATION OF A FUEL STATION AT 9400 WEST BORADWAY, SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.

MOTION CARRIED UNANIMOUSLY.

MOTION BORER, SECOND UDOMAH TO RECOMMEND APPROVAL OF A SITE PLAN REVIEW FOR THE CONSTRUCTION OF A FUEL STATION AT 9400 WEST BROADWAY, SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.

MOTION CARRIED UNANIMOUSLY.

Planning Director Mogush stated the public hearing item is scheduled to be reviewed at the City Council meeting on November 24, 2025.

5.2 Planning Case #25-119 (Irtiqia Learning Center) – Conditional Use Permit

Associate Planner Hayes-Regan introduced the application from Irtiqia Learning Center for a Conditional Use Permit (CUP) to operate a K–12 school at an existing religious institution for the property located at 2100 93rd Way N. He provided details about the site, previous approvals provided for the site, and information related to zoning, adjacent uses, application, commercial building permit application, CUP, performance standards for schools, and conditions of approval. He recommended approval of the request, subject to the conditions as reviewed.

Commission Chair Cavin opened the public hearing.

Edna McKenzie, 2112 93rd Trail, asked the anticipated capacity for the school, as the property only has one access that already has high traffic.

Commission Chair Cavin closed the public hearing but reminded the public that comments can be submitted via email to City Staff for consideration in the City Council agenda packet.

Associate Planner Hayes-Regan stated that the five students are only being served at this time, but that could grow up to 50 in the future, noting additional review and approval that would be needed for future growth. He stated that he would need to speak with the Building Official to determine how many students the school could have under the current application/site plan. He stated that during the 2017 review, there was a traffic analysis was completed, and the expected daily traffic totals were well within the range for the roadways within the area. He stated that there are no concerns with the number of students proposed to be served in terms of traffic, and they would provide additional reviews if enrollment increases.

Commission Chair Cavin asked if this approval includes a capacity of up to 50 students.

Associate Planner Hayes-Regan replied that the Commission is not approving a number, but the function of a school and the other applicable Codes will dictate the number of students allowed on the property.

Commission Chair Cavin stated that the remodel will primarily provide classroom spaces, but does not include the bathrooms, which would seem to mean students of all ages and staff would be using the same bathrooms.

Associate Planner Hayes-Regan replied that there are Building Code requirements, and perhaps the applicant can provide additional details.

Hebba Aburia, representing the applicant, stated that because of the low number of students, the students would all use a single bathroom. She stated that there is currently a men's room, a women's room, and a single bathroom. She commented that as they grow, the different grade levels would take bathroom breaks at different times. She explained that they do not have in-person instruction and rely on virtual instruction, so there are set break times provided by the staff.

Commissioner Borer was unsure how these children could be separated appropriately. She asked where the space would be for passing in the halls, lunch breaks, and outside time. She asked the plan for security if there are no teachers on site.

Ms. Aburia replied that the building does lock for security, and for every 15 students, there is one learning coach. She stated that their model is based on small class sizes and they anticipate ten students per staff member. She stated that while they only have five students at this time, they hope to grow to 30 in the next year.

Commissioner Borer asked how grades are mixed.

Ms. Aburia replied that the rooms include separate spaces for different grade levels.

Commissioner Udomah asked the occupancy rate at which additional review would be triggered.

Associate Planner Hayes-Regan replied that he does not yet have that figure, as they will determine that once the building permit is finalized.

Commissioner Udomah commented that would seem to be important information to have before voting. He asked how the full capacity of the school would interfere with the church use and whether buses would be used for students.

Associate Planner Hayes-Regan replied that the model is based on parent pick-up and drop-off. He stated that the current application reviews the current circumstance of five children being served, as well as the direction from the building and fire department.

Commissioner Udomah asked if more accurate traffic information could be provided, as things have changed since 2017. He stated that he wants to make a decision that is both fair to the applicant and neighbors.

Planning Director Mogush stated that this is an existing building that has existed for some time and has been used as a religious institution for most of that time. He stated that the people in vehicles who access this site use neighborhood streets to get there, and there is nothing now that would limit how many people can worship or attend a festival at this site; therefore, staff did not feel it would be appropriate to set a number of students that would be different than life safety allowances under the Building Code. He stated that in all cases, this use would be far fewer people than the total activity that can occur on the property. He cautioned against putting a lot of regulatory pressure on this use because of the property rights that already exist for this site.

Commissioner Udomah referenced the statement that the applicant would need to come back at some point for additional approvals and asked for clarification on what that threshold would be.

Planning Director Mogush replied that if a building permit were pulled to expand the building to handle more students, then additional approval would be needed for this use.

Associate Planner Hayes-Regan replied that the total capacity for the school, based on the pending building permit, is 85 students, while the occupancy for the total building is 226.

Commissioner Arah stated that this is a virtual school and was unsure how they would get to 50 students.

Ms. Aburia provided additional details on the virtual element of school, noting that after the school work is completed, they also hold religious classes. She stated that their maximum growth capacity is 50 students, but they do not anticipate reaching that number in the next few years. She noted that the current five students come from three families and therefore, they plan to serve families with multiple children rather than 50 students from 50 families.

Commission Chair Cavin asked if the Building Official would review the facilities to ensure the building is sufficient for this type of use.

Associate Planner Hayes-Regan confirmed that would occur along with review from other City departments, as well as State requirements.

MOTION UDOMAH, SECOND TURNER TO RECOMMEND APPROVAL OF A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR A SCHOOL LOCATED AT 2100 93RD WAY N. WITHIN THE EXISTING RELIGIOUS INSTITUTION AND SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.

MOTION CARRIED UNANIMOUSLY.

Planning Director Mogush stated the public hearing item is scheduled to be reviewed at the City Council meeting on November 24, 2025.

5.3 Planning Case #25-120 (Crestview New School) – Site Plan Review

Senior Planner McDermott introduced the application for a site plan review for Crestview Elementary for the property at 8200 Zane Avenue. She provided information on the site, zoning, adjacent uses, site plan, and recommended approval subject to the conditions within the draft resolution.

Commission Chair Cavin opened the public hearing.

Seeing no one approach the podium, Commission Chair Cavin closed the public hearing.

Commission Chair Cavin asked if sustainability has been considered.

Senior Planner McDermott replied that she is unsure of the considerations the School District has made, noting that is not a Code requirement. She stated that the water conservation in the youth play area is the only element she is aware of.

Eric Myer, Larson Engineering, stated that the building is being designed to house future solar panels should that be added in a future phase. He stated that in the areas around the school, they will have a stormwater pond and native plantings that will provide habitat for pollinators and require less irrigation. He stated that they will also have the Native American Cultural Center inside the building. He stated that they will meet the Watershed requirements for infiltration, but did not find that reuse of stormwater for irrigation would be cost-effective.

Commission Chair Cavin asked if the lacrosse field would be lit.

Mr. Myer replied that it would not be lit.

Commission Chair Cavin asked who would manage the field.

Senior Planner McDermott replied that the entire property is owned by the Osseo School District, which would manage and schedule the property.

Commission Chair Cavin asked if the cultural center would be open to the public.

Senior Planner McDermott replied that there would be areas of the school open to the public that would be separated by a safety wall/doors from the elementary use. She noted that the play area would be completely enclosed and secure during school hours.

Commissioner Borer referenced the fire pit and play area, which would be open to the public after hours. She asked if people could come onto the site on a Friday night to have a bonfire.

Senior Planner McDermott replied that it would not be a gas fire pit, and you would need to bring wood. She commented that there are similar amenities in many City parks, and they have not had any issues.

Mr. Myer stated that the plan would include a locked cover for the firepit, which would ensure it is only used for scheduled events.

Commission Chair Cavin asked if the entire site is fenced.

Mr. Myer replied that it would not be and it would remain generally open as it is now, noting landscaping.

MOTION FRASER, SECOND BORER TO RECOMMEND APPROVAL OF A SITE PLAN REVIEW FOR THE CONSTRUCTION OF A SCHOOL AT 8600 ZANE AVENUE NORTH, SUBJECT TO THE CONDITIONS IN THE DRAFT RESOLUTION.

MOTION CARRIED UNANIMOUSLY.

Planning Director Mogush stated the public hearing item is scheduled to be reviewed at the City Council meeting on November 24, 2025.

6. OTHER BUSINESS

No comments.

III. DISCUSSION ITEMS

No comments.

IV. VERBAL REPORTS AND ANNOUNCEMENTS

7. Council Comments

Planning Director Mogush provided an update on recent City Council actions.

8. Commission comments

No comments.

9. Staff Comments

Planning Director Mogush provided follow-up comments on the ability to make a U-turn, which was asked for by a resident at a previous meeting. He noted that the Commission will not hold a worksession in two weeks but invited the members of the Commission to attend the Business Forward Forum on November 19, 2025.

V. ADJOURNMENT

Commission Chair Cavin adjourned the meeting at 8:01 PM.

Respectfully submitted,

Paul Mogush
Planning Director

City of Brooklyn Park Planning Commission Staff Report

Agenda Item:	5.1	Meeting Date:	February 11, 2026
Agenda Section:	Public Hearing	Originating Department:	Community Development
Resolution:	X	Prepared By:	Matt Hayes-Regan, Associate Planner
Ordinance:	N/A		
Attachments:	4	Presented By:	Matt Hayes-Regan, Associate Planner
Item:	DEV25-122 (8557 Wyoming Ave N, Suite 6 – Resurrecting Faith World Ministry – Conditional Use Permit (CUP) Application		

Proposed Action:

MOTION _____, SECOND _____, TO RECOMMEND A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR THE OPERATION OF A RELIGIOUS INSTITUTION LOCATED AT 8557 WYOMING AVE N., SUITE 6, BROOKLYN PARK, MN 55445.

Summary:

Resurrecting Faith World Ministries has submitted a conditional use permit (CUP) application to use an existing tenant suite at 8557 Wyoming Ave N., Suite 6, as a religious institution. The organization is currently operating out of 4501 Oak Grove Parkway in Brooklyn Park and has purchased the subject property.

Resurrecting Faith World Ministries proposes to hold worship services on Sundays from 10:00 a.m. to 1:00 p.m. and Wednesdays from 6:00 p.m. to 8:00 p.m.

Current Conditions/Previous Approvals:

The subject property is one of seven parcels located within the Boblyn 2nd Addition, which was established in August 1985. The property is located north of 85th Avenue, between Highway 169 and Wyoming Avenue. The building was developed as a multi-tenant business park development containing office and professional service uses. There are six condominium suites within the building, which share parking areas and an interior waste storage enclosure.

The applicant does not propose any exterior modifications to the existing structure. A conditional use permit allowing the operation of a religious institution has not previously been granted for this tenant suite.

Future Land Use Plan	Business Park LRT Station Area
Current Zoning	Business Park
Proposed Zoning	No proposed change
Site Area	1.3 acres
Conforms to	
Land Use Plan	Yes
Zoning Code	Yes

Subdivision Ordinance	Yes
Notification	Legal notice was published in the Sun Post. 24 notices were mailed to properties within 500 feet, A Neighborhood email was sent to the Commerce neighborhood.
60- and 120- Days (§15.99)	January 6, 2026; March 9, 2026

Land Use/Zoning and Overlay:

The property is located within the City’s Business Park (BP) Zoning District. The zoning code defines the BP District as:

“Areas in which to locate businesses that enhance the city’s tax base, have few customers coming to the site, but may have a large employee base, involve manufacturing, warehousing, office uses, and other accessory retail and service uses offered on site to service the primary use or their employees. The properties and buildings in this district must be designed to promote a campus-like setting that exhibits a landscape theme and high-quality exterior building materials” (§ 152.604(A)).

The zoning code defines a religious institution as:

“A building or campus in which worship, ceremonies, rituals, and education pertaining to a particular system of beliefs are held” (§ 152.105).

Religious institutions are allowed as a principal use in nonresidential districts subject to approval of a conditional use permit.

No overlay districts apply to this property. Adjacent properties are also zoned Business Park (BP).

Conditional Use Permit Analysis:

Pursuant to § 152.305 of the zoning code, the Planning Commission and City Council shall consider the following factors when reviewing a conditional use permit application:

- **Consistency with the Comprehensive Plan:**

The 2040 Comprehensive Plan land use designation for the subject property is Business Park (BP). The Plan describes Business Park areas as:

Largely single-use areas that have a consistent architectural style with a mix of employment-oriented use types. These uses may include office, mixed light industrial, limited retail, research and development, and uses of similar impact. With an increased focus on job creation, warehousing and distribution centers will be permitted if approved by the City as a part of a master plan. The scale of development in these areas is commensurate with their proximity to highways and major transportation corridors. Appropriate connections to transit should be included in Business Park developments (2040 Comprehensive Plan, 3-21-22).

The proposed use is identified in the Comprehensive Plan as a “place of worship.” While religious institutions are not a primary employment use, the proposed use is compatible with the scale and intensity of development within the Business Park designation and is consistent with institutional uses contemplated by the Plan.

- **Traffic Generation, Volume, and Safety:**

The applicant proposes to utilize existing site access points from Wyoming Avenue. Worship services would occur on Sundays and Wednesdays only.

At the request of the City's Transportation Engineer, the applicant provided anticipated attendance figures. Approximately 75–100 individuals are expected to attend Sunday services, and approximately 50 individuals are expected to attend Wednesday services.

The City's Transportation Engineer has reviewed the proposed schedule and attendance information and does not identify any traffic-related concerns. Planning staff similarly does not anticipate traffic or safety issues associated with the proposed use.

- **Parking, Site Design, and Circulation:**

Table 152.1019.2 of the zoning code establishes minimum parking requirements for nonresidential uses. For this application, parking requirements are based on two components:

- Office uses for day-to-day administrative operations; and
- Assembly use for worship services.

For day-to-day operations, the code requires a minimum of 3.5 parking spaces per 1,000 square feet of gross floor area. The applicant anticipates fewer than five parking spaces will be needed for staff and members during normal operations.

For worship services, the code requires one parking space per 2.5 seats based on the design capacity of the main assembly area. Using the maximum occupancy for the building (164 people), 65.5 parking spaces would be required prior to any reductions.

The property contains a total of 50 shared parking spaces. Per the condominium bylaws, the subject unit accounts for approximately 33 percent of the common area, equating to 16.5 parking spaces. Metro Transit Route 275 has multiple bus stops within 1,000 feet of the property, qualifying the use for a 20 percent reduction in required parking.

Applying the transit reduction results in a parking requirement of 52.5 spaces for worship services. Section 152.1019(3)(a) allows for shared parking arrangements on adjoining lots within 500 feet, subject to City approval. The applicant has secured agreements from other unit owners within the association to utilize additional parking spaces during worship service hours.

To meet the additional required parking minimums, the applicant proposes using on-street parking. The Zoning Code allows credit for on-street parking spaces when the following specific criteria are met:

- a) All on street parking facilities shall be designed in conformance with the standards established by the city.
- (b) Prior to approving any requests for on street parking, the development review team shall determine that the proposed on-street parking will not materially adversely impact traffic movements and related public street functions.
- (c) Credit for on street parking shall be limited to the number of spaces provided along the street frontage adjacent to the use.
- (d) A public sidewalk must be present or installed along the street used for on-street parking for the entire length of the property or the area anticipated for parking, whichever is greater, with a walkway connection to the entrance of the building.

Considering that the primary demand for parking occurs during Wednesday evening and Sunday worship services, which take place outside of general business hours, and that Wyoming Avenue N. has sufficient infrastructure to accommodate the remaining parking demand, Staff find that the on-street parking adjacent to the property meets the applicable code standards and may be credited toward the total parking requirement for the proposed use.

- **Public Infrastructure:**

Staff find that adequate public infrastructure exists to serve the site and proposed use. No additional public services or infrastructure improvements are anticipated.

- **Screening and Buffering:**

The subject tenant suite utilizes an interior waste enclosure shared with other tenants. The property is adequately screened and buffered from adjacent properties and the surrounding area.

- **Architectural Design:**

Based on prior approvals, the building and site meet the architectural design standards applicable at the time of construction. No exterior modifications are proposed as part of this application.

- **Compliance with Other Applicable Code Provisions:**

Religious institutions are subject to the nonresidential performance standards in § 152.903. Applicable standards include architectural materials, parking requirements, and operational limitations. Staff have reviewed the proposal against these standards and find them to be met or not applicable.

The applicant will also be required to comply with the City's Building Code and Minnesota State Fire Code prior to occupancy.

Conclusion:

The required findings of § 152.305 have been met. Planning staff recommend approval of the conditional use permit, subject to the conditions outlined below.

Conditions of Approval for the Operation of a Religious Institution at 8557 Wyoming Ave. N.:

1. The property shall maintain the required number of parking spaces during all operational periods.
2. All requirements of the International Building Code (IBC) shall be satisfied prior to occupancy, including obtaining all required permits and a Certificate of Occupancy.
3. Signage shall comply with all requirements of City Code Chapter 150: Signs.
4. The property shall remain compliant with Title VII: Traffic Code of the City's Code
5. The property shall remain compliant with Title IX: General Regulations of the City's Code.
6. The property shall remain compliant with Title XI: Business Regulations of the City's Code.
7. The property shall remain compliant with the Minnesota State Fire Code.
8. This resolution shall be recorded with the Hennepin County Recorder's office.

9. Failure to comply with the terms and conditions of this resolution may result in enforcement action or revocation of the permit pursuant to § 152.035(H)(1).

Staff Recommendation:

Staff recommend approval of the conditional use permit as presented, subject to the conditions contained in the draft resolution.

Budgetary/Fiscal Issues: N/A

Alternatives to Consider:

1. Recommend approval of the CUP with modifications.
2. Recommend denial of the CUP based on certain findings.

Attachments:

- 5.1A DRAFT RELIGIOUS INSTITUTION CONDITIONAL USE PERMIT RESOLUTION
- 5.1B LOCATION MAP
- 5.1C APPLICATION MATERIALS
- 5.1D PLAN SET

RESOLUTION #2026-__

RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR THE OPERATION OF A RELIGIOUS INSTITUTION LOCATED AT 8557 WYOMING AVE N., SUITE 6, BROOKLYN PARK, MN 55445.

Planning Commission File # 25-122

WHEREAS, Connell Lewis, of Resurrecting Faith World Ministries, has made an application for a Conditional Use Permit under the provisions of Chapter 152 of the Code of Ordinances on property legally described as:

See EXHIBIT A

WHEREAS, the zoning of the property is Business Park in which religious institutions are conditional uses; and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission public hearing who have given their advice and recommendation to the City Council.

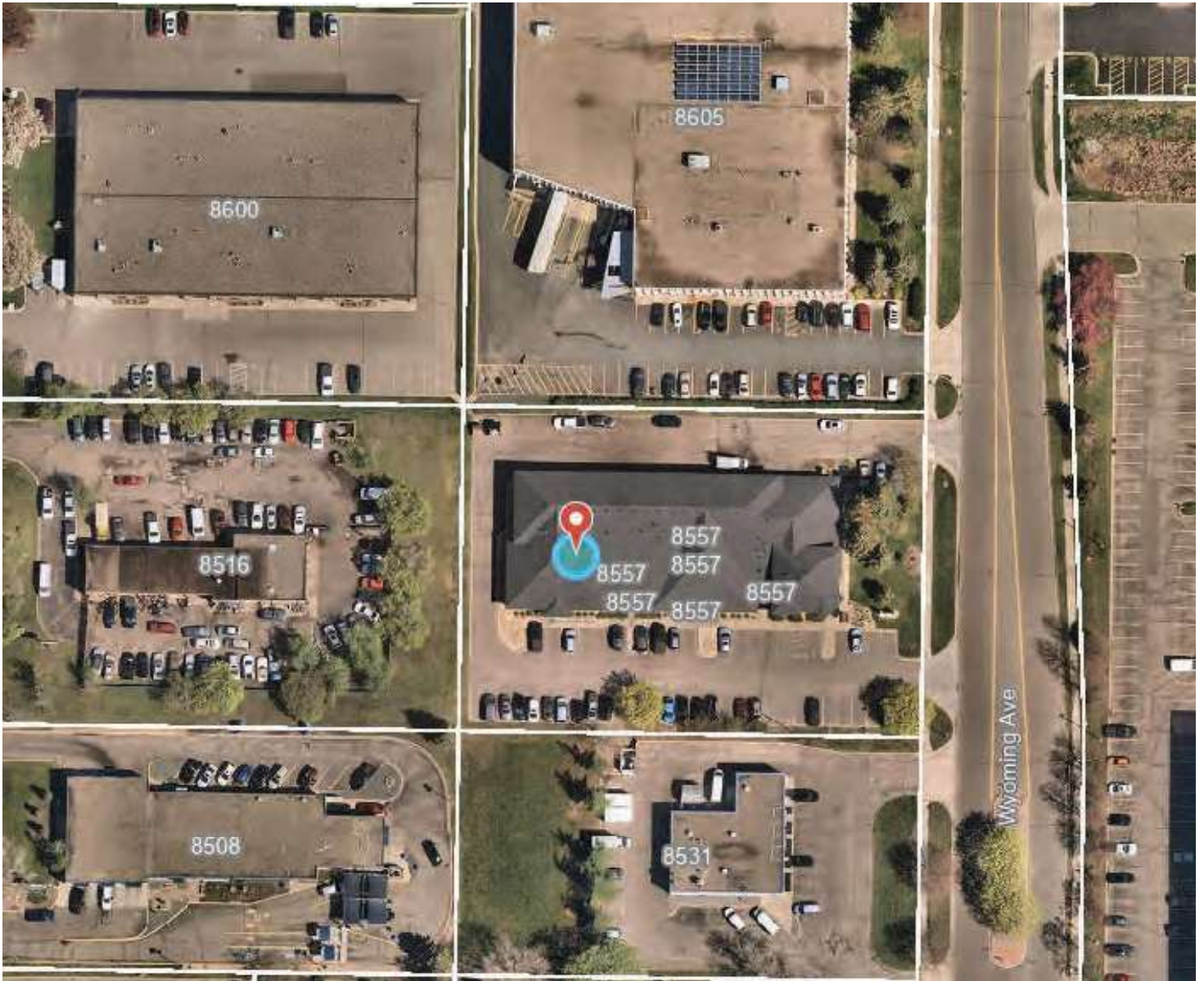
NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park that a Conditional Use Permit is hereby granted for the operation of a religious institution at 8557 Wyoming Ave. N., Suite 6, as legally described in the attached EXHIBIT A, subject to the following conditions:

1. The property shall maintain the required number of parking spaces during all operational periods.
2. All requirements of the International Building Code (IBC) shall be satisfied prior to occupancy, including obtaining all required permits and a Certificate of Occupancy.
3. Signage shall comply with all requirements of City Code Chapter 150: Signs.
4. The property shall remain compliant with Title VII: Traffic Code of the City's Code
5. The property shall remain compliant with Title IX: General Regulations of the City's Code.
6. The property shall remain compliant with Title XI: Business Regulations of the City's Code.
7. The property shall remain compliant with the Minnesota State Fire Code.
8. This resolution shall be recorded with the Hennepin County Recorder's office.
9. Failure to comply with the terms and conditions of this resolution may result in enforcement action or revocation of the permit pursuant to § 152.035(H)(1).

This resolution expires one year from the date of approval unless all conditions are met. This resolution must be recorded with the Hennepin County Recorder's office within one year of the date of approval. The approvals can be revoked if not in compliance with the conditions stated above.

EXHIBIT A

Unit No. 6, CIC No. 1604, Wyoming Office Condominium as amended by Second Amendment to Declaration,
Hennepin County, Minnesota



**Conditional Use Permit (CUP) Application
Case #25-122 – 8557 Wyoming – Resurrecting Faith
World Ministry**

Area of Request (August 2025 Air Photo)

8557 Wyoming Ave N, Unit #6

Brooklyn Park 





October 23, 2025

City of Brooklyn Park
Planning Division
5200 85th Avenue North
Brooklyn Park, MN 55443

Subject: Request for Conditional Use Permit – 8557 Wyoming Avenue N, Suite 6

Dear Planning Division,

Resurrecting Faith World Ministries respectfully submits this letter to request a Conditional Use Permit (CUP) for the property located at 8557 Wyoming Avenue North, Suite 6, Brooklyn Park, MN 55445 (PID: 18-119-21-44-0035). We are currently under contract to purchase this property from Randy's L.L.C., with the intent to use the space for religious purposes.

Our ministry plans to utilize the existing structure “as is,” with no structural modifications. The main level of the building will serve as the sole area for worship services, prayer gatherings, and fellowship. We do not intend to operate a school, kitchen, or any other auxiliary services on-site.

We understand the importance of aligning with city zoning regulations and are committed to maintaining the integrity, safety, and peaceful use of the property. We kindly request your review and approval of our CUP application so that we may proceed with our mission to serve the spiritual needs of our community.

Thank you for your time and consideration. Please feel free to contact us with any questions or to request additional documentation.

Sincerely,

Connell F. Lewis, Sr.

Buyer Representative

Resurrecting Faith World Ministries

I Dan Smith (property owner) grant permission for Connell Lewis and Resurrecting Faith World Ministries to pursue a Conditional Use Permit on our property located at 8557 Wyoming Ave Suite 6 In Brooklyn Park.

Signed by:
Its Dan Smith
38AD0739E6E24E2...

Title owner

Date 10/27/2025



November 7, 2025

City of Brooklyn Park
Planning Division – Transportation Review
5200 85th Avenue North
Brooklyn Park, MN 55443

Subject: Transportation Response for Conditional Use Permit Application – 8557 Wyoming Avenue N, Suite 6

Dear Planning Division,

Resurrecting Faith World Ministries is pleased to provide the following information in response to the transportation department's review of our Conditional Use Permit (CUP) application for the property located at 8557 Wyoming Avenue North, Suite 6.

Our worship services are held on Sundays from 10:00 a.m. to 1:00 p.m. and Wednesdays from 6:00 p.m. to 8:00 p.m. We anticipate attendance of approximately 75–100 individuals on Sundays and around 50 individuals on Wednesdays.

The property includes 50 dedicated parking spaces, which are fully available during our service times. The other four suites within the complex do not operate or receive clients during these hours, ensuring that parking demand remains exclusive to our congregation. Based on this availability, we do not anticipate any parking challenges or overflow.

Additionally, on-street parking is accessible near the property if needed; however, we do not expect to utilize these spaces under normal circumstances.

We trust this information addresses your concerns and supports our application. Please feel free to contact us with any further questions or requests.

Sincerely,
Connell F. Lewis, Sr.
Buyer Representative
Resurrecting Faith World Ministries



December 2, 2025

City of Brooklyn Park
Planning Division – Transportation Review
5200 85th Avenue North
Brooklyn Park, MN 55443

Subject: Revised - Transportation Response for Conditional Use Permit Application – 8557 Wyoming Avenue N, Suite 6

Dear Planning Division,

In response to the concerns of one of the other owners of 8557 Wyoming Avenue N. We understand that they use parking spaces on weekday evenings and weekends. We amended our parking plan as previously stated to the following:

Resurrecting Faith World Ministries is pleased to provide the following information in response to the transportation department's review of our Conditional Use Permit (CUP) application for the property located at 8557 Wyoming Avenue North, Suite 6. Our worship services are held on Sundays from 10:00 a.m. to 1:00 p.m. and Wednesdays from 6:00 p.m. to 8:00 p.m. We anticipate attendance of approximately 75–100 individuals on Sundays and around 50 individuals on Wednesdays.

The property includes 50 parking spaces. **Our members will use approximately 25 parking spaces on Wednesday evenings and 30-40 spaces on Sunday mornings during our service times. These parking numbers align with our planned attendance as stated above.** During other times in the week, our staff and members would require fewer than 5 parking spaces. Based on information from the current owner, the other four suites within the complex do not operate or receive clients **regularly** during these hours, ensuring that parking demand remains available to our congregation and the existing owners in the other suites. Based on this availability, we do not anticipate any parking challenges or overflow.

Additionally, on-street parking is available near the property, and we may also contract with other businesses to share parking, if needed in the future.

We trust this information addresses your concerns and supports our application. Please feel free to contact us with any further questions or requests.

Sincerely,

Connell F. Lewis, Sr., Buyer Representative, Resurrecting Faith World Ministries

8525 Edinbrook Crossing, Suite 12, Brooklyn Park, MN 55443
Phone: 612-379-1257 | Email: info@rfmw.org | Web: www.rfmw.org



PARKING USE AGREEMENT

8557 Wyoming Avenue North Association

This Parking Use Agreement ("Agreement") is entered into by the undersigned owners and/or authorized representatives of the units within the 8557 Wyoming Avenue North Association ("Association").

Purpose

The purpose of this Agreement is to formally document the Association's collective consent to allow Resurrecting Faith World Ministries, the prospective owner and occupant of Suite 6, to utilize shared parking spaces during their designated service times in order to meet the City of Brooklyn Park's requirement of 40 available parking spaces during peak service hours.

Background

Resurrecting Faith World Ministries intends to use Suite 6 exclusively for worship services, prayer gatherings, and fellowship. Their peak parking needs occur during the following times:

- Sundays: 10:00 a.m. – 1:00 p.m.
- Wednesdays: 6:00 p.m. – 8:00 p.m.

Outside of these hours, the ministry anticipates needing fewer than five parking spaces.

Agreement

By signing below, the undersigned members of the 8557 Wyoming Avenue North Association agree to the following:

- 1. Parking Access:**
The Association consents to allow Resurrecting Faith World Ministries access to the number of shared parking spaces necessary to meet the City of Brooklyn Park's requirement of 40 parking spaces during the ministry's peak service times listed above.
- 2. Cooperation and Good Faith:**
All parties agree to cooperate in good faith to ensure smooth parking operations and to maintain a respectful and harmonious environment for all owners, tenants, and visitors.
- 3. Limited Scope:**
This Agreement applies solely to the use of parking spaces during the ministry's designated service times and does not alter ownership rights, property boundaries, or any other Association agreements.
- 4. Effective Date:**
This Agreement becomes effective on upon the date of the final signature below.

8525 Edinbrook Crossing, Suite 12, Brooklyn Park, MN 55443
Phone: 612-379-1257 | Email: info@rfmw.org | Web: www.rfmw.org



SIGNATURES

Name / Unit	Signature	Date
1. Stan Petrash 5		12/11/25
2. Susey Fooks 4		12/11/25
3. Jose Vioque #23		12/11/25
4. Allison Carls #1		12/11/25
5. Daniel Stein		12/11/25

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ELECTRIC

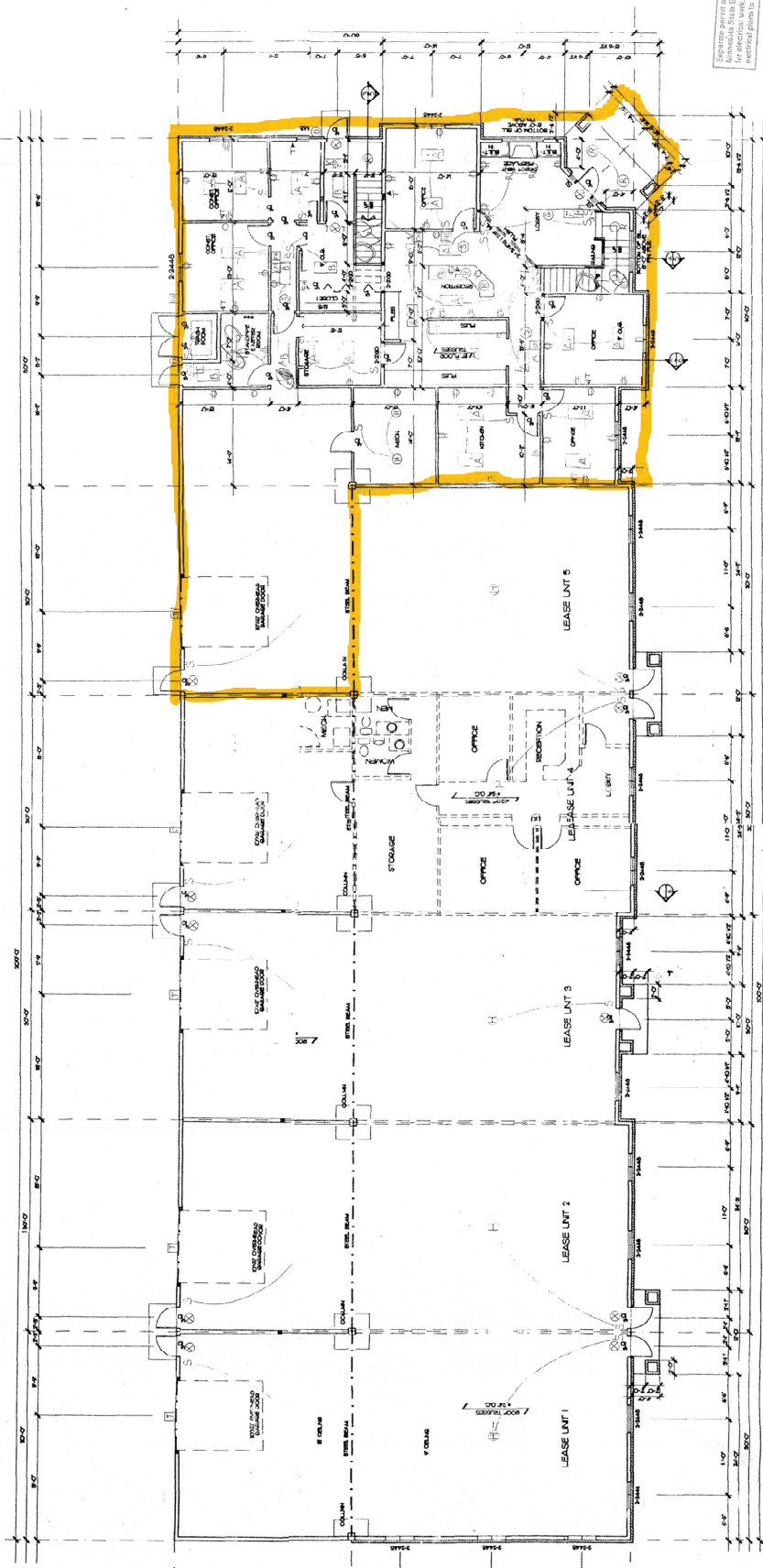


DATE	REVISIONS
DRAWN BY	SCALE
CHECKED BY	PROJECT NO.

Separate permit and requirements by the Washington State Board of Electricity required for electrical permits to City of Issaquah Park.

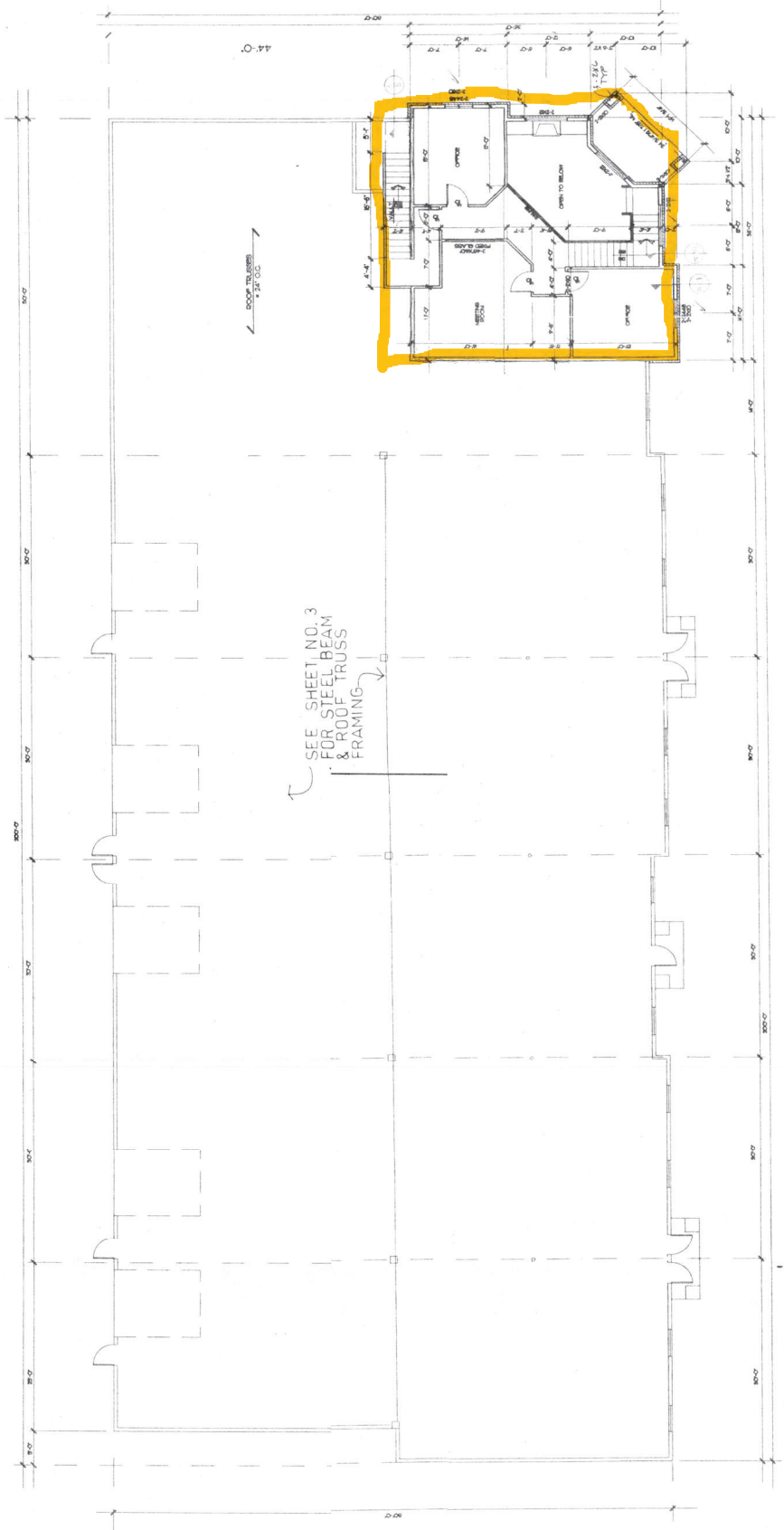


Approved: [Signature] DATE: 10/23/14



MAIN FLOOR PLAN SCALE 1/8"=1'-0"

I HEREBY CERTIFY THAT THIS PLAN REPRESENTS AN ORIGINAL DESIGN BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF OREGON. I AM NOT PROVIDING ARCHITECTURAL SERVICES TO ANY OTHER PARTY FOR THIS PROJECT. I AM NOT PROVIDING ARCHITECTURAL SERVICES TO ANY OTHER PARTY FOR THIS PROJECT. I AM NOT PROVIDING ARCHITECTURAL SERVICES TO ANY OTHER PARTY FOR THIS PROJECT.



SECOND FLOOR PLAN
 SCALE 1/8"=1'-0"

CODE LEGEND

- 3/4" MIN FIRE PARTITION
- 1/2" MIN FIRE PARTITION
- 1/4" MIN FIRE BARRIER
- 2" MIN FIRE WALL
- 3/4" MIN FIRE WALL
- 1/4" MIN SMOKE BARRIER
- SMOKE PARTITION
- EXIT TRAVEL DISTANCE
- NUMBER OF OCCUPANTS EXITING
- WALL MOUNTED EXIT SIGN
- CENTRO MOUNTED EXIT SIGN
- EXIT SIGN
- INDICATES ROOM NAME
- INDICATES ROOM SQUARE FOOTAGE
- INDICATES OCCUPANT LOAD

THE SUBJECT PLAN SHOWS:

1. THE SUBJECT PLAN IS REFERRED TO AS PERMITTED BY THE CITY OF BROOKLYN PARK.
2. ALL AREAS OCCUPANT LOAD SHALL BE POSTED BY THE ARCHITECT AT THE TIME OF FINAL APPROVAL.
3. ALL AREAS OCCUPANT LOAD SHALL BE POSTED BY THE ARCHITECT AT THE TIME OF FINAL APPROVAL.
4. PROVIDED THE CITY OF BROOKLYN PARK HAS REVIEWED THE PLAN AND APPROVED IT FOR CONSTRUCTION.

RENOVATION OF AN EXISTING TRAVEL OFFICE AND WAREHOUSE SITE FOR GENERAL OFFICE AND WAREHOUSE SPACE WITH THE ADDITION OF A NEW TRAVEL OFFICE AND WAREHOUSE WAREHOUSE AREA.

2003 MINNESOTA CONSTRUCTION CODE FOR EXISTING BUILDINGS

2003 MINNESOTA ACCESSIBILITY CODE

2003 MINNESOTA COMMERCIAL ELEVATOR CODE

2003 MINNESOTA MECHANICAL CODE AND GAS CODE

2003 MINNESOTA ELECTRICAL CODE

2003 NATIONAL ELECTRICAL CODE

1/8" MIN RENOVATION FOR GENERAL OFFICE AND WAREHOUSE SPACE

"B" BUSINESS AND "A-3" ASSEMBLY

ASSEMBLY BUILDING CONSTRUCTION TYPE I-VI

STRUCTURAL FRAME

BEARING WALLS - INTERIOR

BEARING WALLS - EXTERIOR

ROOF CONSTRUCTION

ROOF JOIST SYSTEMS AND TRIMMS ARE TO BE RECONSTRUCTED

ALL OCCUPANCY COMPARTMENTS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMP

SPRINKLER SYSTEM IS PROVIDED

MAXIMUM TRAVEL DISTANCE TO THE EXISTING NUMBER WILL NOT EXCEED 147 FEET

BUSINESS OCCUPANCY CLASSIFICATION TYPE I-VI

BUSINESS AREAS: ALLOWED FACTOR OF 100 SQUARE FEET PER OCCUPANT

WAREHOUSE AREAS: ALLOWED FACTOR OF 150 SQUARE FEET PER OCCUPANT

ASSEMBLY AREAS: ALLOWED FACTOR OF 15 SQUARE FEET PER OCCUPANT

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CODE REVIEW

PROJECT SCOPE

AREA	LEVEL	AREA	LEVEL
EXISTING TRAVEL OFFICE	B	EXISTING TRAVEL OFFICE	B
EXISTING WAREHOUSE	B	EXISTING WAREHOUSE	B
NEW TRAVEL OFFICE	A-3	NEW TRAVEL OFFICE	A-3
NEW WAREHOUSE	B	NEW WAREHOUSE	B

APPLICABLE CODES:

Minnesota amendments

2003 MINNESOTA CONSTRUCTION CODE FOR EXISTING BUILDINGS

2003 MINNESOTA ACCESSIBILITY CODE

2003 MINNESOTA COMMERCIAL ELEVATOR CODE

2003 MINNESOTA MECHANICAL CODE AND GAS CODE

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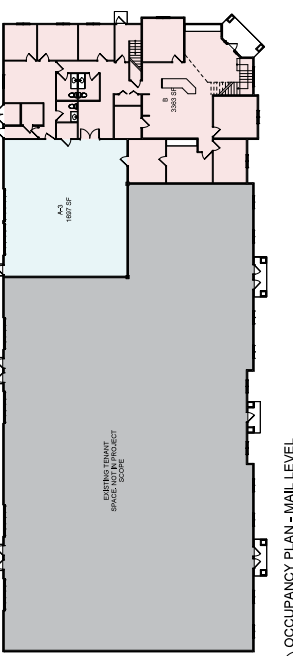
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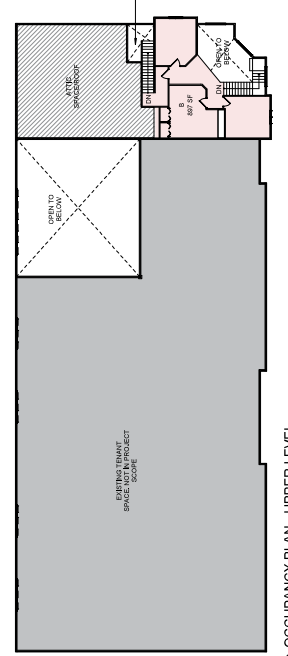
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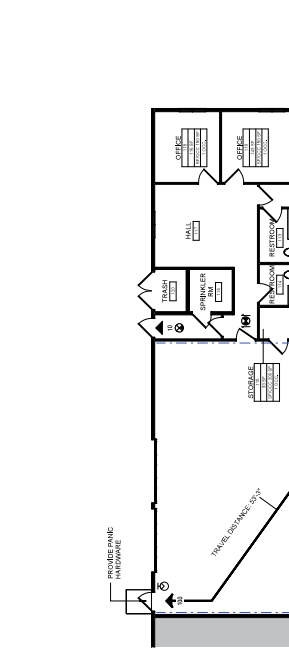
1 OCCUPANCY PLAN - MAIL LEVEL



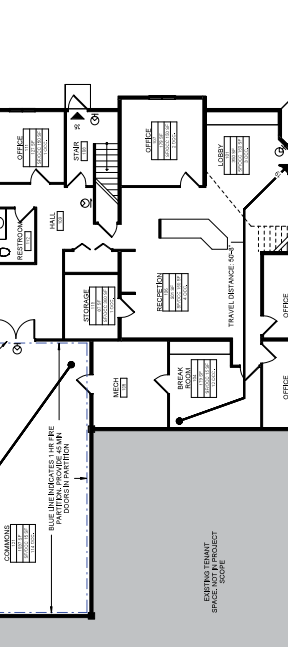
2 OCCUPANCY PLAN - UPPER LEVEL



3 MAIN LEVEL



4 UPPER LEVEL



OCCUPANT LOAD

ROOM NAME	AREA	TYPE	LOAD
OFFICE	100 SF	OFFICE	100
OFFICE	150 SF	OFFICE	150
OFFICE	200 SF	OFFICE	200
OFFICE	250 SF	OFFICE	250
OFFICE	300 SF	OFFICE	300
OFFICE	350 SF	OFFICE	350
OFFICE	400 SF	OFFICE	400
OFFICE	450 SF	OFFICE	450
OFFICE	500 SF	OFFICE	500
OFFICE	550 SF	OFFICE	550
OFFICE	600 SF	OFFICE	600
OFFICE	650 SF	OFFICE	650
OFFICE	700 SF	OFFICE	700
OFFICE	750 SF	OFFICE	750
OFFICE	800 SF	OFFICE	800
OFFICE	850 SF	OFFICE	850
OFFICE	900 SF	OFFICE	900
OFFICE	950 SF	OFFICE	950
OFFICE	1000 SF	OFFICE	1000
OFFICE	1050 SF	OFFICE	1050
OFFICE	1100 SF	OFFICE	1100
OFFICE	1150 SF	OFFICE	1150
OFFICE	1200 SF	OFFICE	1200
OFFICE	1250 SF	OFFICE	1250
OFFICE	1300 SF	OFFICE	1300
OFFICE	1350 SF	OFFICE	1350
OFFICE	1400 SF	OFFICE	1400
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OFFICE	1500 SF	OFFICE	1500
OFFICE	1550 SF	OFFICE	1550
OFFICE	1600 SF	OFFICE	1600
OFFICE	1650 SF	OFFICE	1650
OFFICE	1700 SF	OFFICE	1700
OFFICE	1750 SF	OFFICE	1750
OFFICE	1800 SF	OFFICE	1800
OFFICE	1850 SF	OFFICE	1850
OFFICE	1900 SF	OFFICE	1900
OFFICE	1950 SF	OFFICE	1950
OFFICE	2000 SF	OFFICE	2000

CODE SUMMARY & OCCUPANCY CLASSIFICATION PLANS

City of Brooklyn Park Planning Commission Staff Report

Agenda Item:	5.2	Meeting Date:	February 11, 2026
Agenda Section:	Public Hearing	Originating Department:	Community Development
Resolution:	X	Prepared By:	Matt Hayes-Regan, Associate Planner
Ordinance:	N/A		
Attachments:	4	Presented By:	Matt Hayes-Regan, Associate Planner
Item:	DEV25-123 (HAM Addition) – Subdivision of 10508 Winnetka Ave. N. into two single family lots.		

Proposed Action:

MOTION _____, SECOND _____, TO RECOMMEND A RESOLUTION APPROVING A PRELIMINARY PLAT SUBDIVIDING 10508 WINNETKA AVE. N. INTO TWO SINGLE-FAMILY LOTS.

Overview:

A subdivision application has been submitted requesting that the existing parcel located at 10508 Winnetka Ave. N. be subdivided into two detached single-family lots. Chapter 151 of the Land Usage Code authorizes the Planning Commission to recommend approval, modification, or denial of a preliminary plat to the City Council.

Project Description:

The property at 10508 Winnetka Ave. N. is located in the City's Northwoods neighborhood, southeast of the intersection of 109th Ave. and Highway 169. The property is zoned Detached Single-Family Estate (R-1). Properties to the north, east, and south are also zoned R-1, while the property to the west is zoned Business Park (BP).

The existing parcel was created in 1957 with the platting of the Marvella Addition. The site is approximately 0.6 acres in size and contains an existing single-family residence and detached two-stall garage located on the western portion of the property. The eastern portion of the parcel, which abuts Sumter Ave., is currently open space and is proposed as Lot 1, Block 2.

While parcels directly to the north and south have dimensions similar to the existing parcel, many parcels within the Marvella Addition have lot dimensions comparable to those proposed as part of this subdivision application.

Comprehensive Plan Alignment:

The 2040 Comprehensive Plan designates the property at 10508 Winnetka Ave. N. as Low-Density Residential, which is intended to accommodate "single-family detached homes generally with a density between 1.5 and three units per acre" (Brooklyn Park 2040 Comprehensive Plan, p. 3-19).

The density for this district is 1.5-3 units/acre. The use is limited to single family residential. The proposed scale and intensity are small-scale and low-intensity in nature and are compatible with the surrounding neighborhood.

Zoning & Development Standards Review:

1. Dimensional Standards.

Table 152.506.1 of the Zoning Code establishes residential zoning district standards. For the R-1 District, these standards include a minimum lot area of 9,750 square feet, a minimum lot width of 75 feet as measured from the front setback line, a maximum of 40% impervious surface area in front yards, and a maximum 40% building footprint.

Table 152.506.2 establishes required setbacks for residential districts. Setbacks in the R-1 District include a 25-foot front setback from public streets, 7.5-foot interior side yard setbacks, and a 25-foot rear yard setback.

Lot 1 Block 1.

The proposed dimensions of Lot 1, Block 1 include approximately 15,060 square feet of lot area, a 100-foot lot width measured from the front setback, and an approximate 16% building footprint. The impervious surface area within the front yard would remain unchanged.

The preliminary plat shows the existing residence on Lot 1. The residence meets all required setback standards, as shown by the Building Setback Line (BSBL). Although the existing garage, shed, and patio encroach into the required interior side and rear yard setbacks, these structures were established prior to adoption of the current Zoning Code and are therefore considered legal nonconforming structures. The proposed preliminary plat does not alter the location of these structures or adjust lot lines in a manner that increases the degree of nonconformity.

Lot 2 Block 1.

The dimensions of the proposed Lot 2 Block 1 include: 11,641 sq. ft. in lot area and 100 ft. lot width as measured from the front set back. No buildings currently exist in the proposed lot area.

Both proposed lots satisfy the dimensional standard requirements.

2. Access & Circulation.

Lot 1, Block 10 will continue to be accessed from Winnetka Ave. N. Lot 2, Block 10 would be accessed from Sumter Ave. N. Any future development on either lot will be required to comply with all applicable zoning and development standards in effect at the time of construction.

3. Utilities and Stormwater.

Lot 1, Block 2 will continue to be served by existing utility connections. The preliminary plat indicates that Lot 2, Block 10 has access to adequate utility services should future development occur. The property is located within the West Mississippi Watershed District, and both proposed lots would continue to be regulated accordingly.

To continue maintaining utilities to the existing principal structure located on what is proposed as Lot 1, Block 1, the applicant proposes that a private utility easement over Lot 2, Block 1 be recorded along with the final plat.

4. Park Dedication.

Section 151.005(4) of the Land Usage Code requires park dedication in the form of land or cash. Because land dedication is not feasible for this subdivision, the City will collect cash in lieu of land dedication prior to the final plat being released for recording.

The established fee for residential subdivisions is \$4,600 per newly created lot, resulting in a total fee of \$4,600 for this subdivision. Funds collected are deposited into the Open Space Land Acquisition and Development (OSLAD) fund and may only be used for park land acquisition and development, as required by state law. The nearest neighborhood park is Northwood Park, located northeast of the subject property.

5. Addressing.

The address for Lot 1, Block 10 will remain 10508 Winnetka Ave. N.

The address for Lot 2, Block 10 will be 10509 Sumter Ave. N.

Public Engagement & Notifications:

In accordance with public hearing requirements, notice of the hearing was published in the SunPost, the City's official legal newspaper, and 40 mailed notices were sent to properties located within 500 feet of the subject property. As of the publication of this staff report, no public comments have been received.

Final Plat:

The final plat and title commitment are currently under review by the City Attorney's Office. All required revisions resulting from this review will be completed prior to the request for City Council action on the final plat.

Staff Recommendation:

Staff recommends approval of the preliminary plat.

Budgetary/Fiscal Issues: N/A

Alternatives to consider:

1. Recommend approval of the preliminary plat with modifications.
2. Recommend denial of the preliminary plat based on certain findings.

Attachments:

- 5.2A DRAFT RESOLUTION
- 5.2B LOCATION MAP
- 5.2C APPLICATION MATERIALS
- 5.2D PRELIMINARY PLAT

RESOLUTION #2025-

RESOLUTION APPROVING A PRELIMINARY PLAT SUBDIVIDING 10508 WINNETKA AVE. N. INTO TWO SINGLE-FAMILY LOTS.

Planning Commission File #25-123

WHEREAS, the plat for the property addressed 10508 Winnetka Ave. N. has been submitted in the manner required for platting of land under the Brooklyn Park Codes and under Chapter 462 of the Minnesota Statutes and all proceedings have been duly had thereunder on properties currently legally described as:

See Exhibit A

WHEREAS, said plat is in all respects consistent with the City plan and the regulations and requirements of the laws of the State of Minnesota and codes of the City of Brooklyn Park, Chapters 151 and 152.

WHEREAS, the granting of this plat will not be detrimental to the public welfare nor injurious to the other property in the neighborhood, and

WHEREAS, the granting of this plat will not have an adverse effect upon traffic and traffic safety or pedestrians and pedestrian safety, and

WHEREAS, the proposed subdivision meets the minimum requirements of the Low Density Residential designation of the Comprehensive Plan.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park, Preliminary Plat Request #25-123 for the property addressed 10508 Winnetka Ave. N. shall be approved subject to the following conditions:

1. Approval of Title by the City Attorney and all conditions therein.
2. A final plat showing the correct square footage for each lot area must be submitted prior to recording of the final plat.
3. All comments provided by Hennepin County must be addressed prior to building permitting.
4. Payment of any special assessments on the property shall be paid prior to recording the final plat.
5. Payment of park dedication in the amount of \$4,600 shall be paid prior to recording the final plat.

BE IT FURTHER RESOLVED that such execution of the certificate upon said plat by the Mayor and City Manager shall be conclusive showing of proper compliance therewith by the sub divider and City officials and shall entitle such plat to be placed on record forthwith without further formality, all in compliance with M.S.A. 462 and the Ordinance of the City.

Exhibit A

Lot 1, Block 10, Marvella, Hennepin County, Minnesota



Preliminary and Final Plat
Case #25-123 – HAM Addition
Area of Request (August 2025 Air Photo)
10508 Winnetka Ave N, Brooklyn Park MN

Brooklyn Park 



10/30/2025

10508 Winnetka Ave. N.
Brooklyn Park, MN 55445

RE: Lot Split Letter of Consent

To Whom it may Concern:

I, Steve Hegedus, Owner of HAM Properties, LLC and the property at 10508 Winnetka Ave. N., Brooklyn Park, MN 55445, consent to the subdivision application.

Thank you-

Steve Hegedus



HAM Properties
38868 12th Ave
Suite #209G
North Branch, MN 55056

RESUBMITTAL OF BROCKEN BAYVIEW
 A Subdivision of Unplatted Sections 5
 Twp. 119, Rge. 21, Sec. 5
 In the County of Hennepin, State of Minnesota
 Surveyed by SATHRE-BERGQUIST, INC.

- 1. Site Address: 1008 Winetka Avenue, N, Brookly Park, MN 55445
- 2. Project Name: SATHRE-BERGQUIST, INC.
- 3. Project Description: A Subdivision of Unplatted Sections 5, Twp. 119, Rge. 21, Sec. 5, in the County of Hennepin, State of Minnesota, for the purpose of subdividing the land into lots for residential use.
- 4. Project Location: Section 5, Township 119 North, Range 21 East, Section 5, Hennepin County, Minnesota.
- 5. Project Status: Approved by the Hennepin County Board of Commissioners on 04/15/2021.
- 6. Project Owner: SATHRE-BERGQUIST, INC.
- 7. Project Engineer: SATHRE-BERGQUIST, INC.
- 8. Project Date: 04/15/2021
- 9. Project Scale: 1" = 40' (Horizontal), 1" = 4' (Vertical)
- 10. Project Notes: This plan is submitted for the purpose of recording and building without improvement from the owner.
- 11. Other Notes: The owner warrants that the information on this plan is true and correct to the best of their knowledge and belief. The owner also warrants that the information on this plan is true and correct to the best of their knowledge and belief.

REMARKS

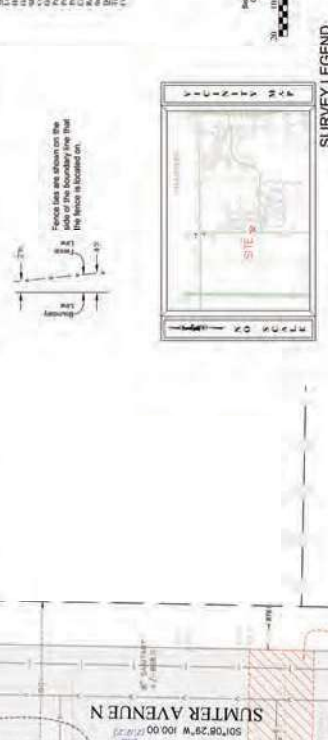
1. The plat is submitted for the purpose of recording and building without improvement from the owner.

2. The owner warrants that the information on this plan is true and correct to the best of their knowledge and belief. The owner also warrants that the information on this plan is true and correct to the best of their knowledge and belief.

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SURVEY LEGEND

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PREPARED FOR:
HAM PROPERTIES, LLC

THIRTY EIGHT SECTIONS
BROOKLYN PARK, MINNESOTA

SATHRE-BERGQUIST, INC.
 1400 25TH AVENUE NORTH, SUITE 100
 FARMINGTON, MINNESOTA 55024
 WWW.SATHRE.COM

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City of Brooklyn Park Planning Commission Staff Report

Agenda Item:	5.3	Meeting Date:	February 11, 2026
Agenda Section:	Public Hearing	Originating Department:	Community Development
Resolution:	XX	Prepared By:	Asma Jihad, Program Assistant III; Matt Hayes-Regan, Associate Planner
Ordinance:	N/A		
Attachments:	5	Presented By:	Matt Hayes-Regan, Associate Planner
Item:	DEV25-124 (Crew Carwash) Site Plan Review and Conditional Use Permit (CUP) Applications		

Proposed Action:

MOTION _____, SECOND _____, TO RECOMMEND A RESOLUTION APPROVING A SITE PLAN REVIEW FOR THE CONSTRUCTION OF A CAR WASH LOCATED AT 7820 LAKELAND AVE. N., BROOKLYN PARK, MN 55445.

MOTION _____, SECOND _____, TO RECOMMEND A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR THE OPERATION OF A CAR WASH LOCATED AT 7820 LAKELAND AVE. N., BROOKLYN PARK, MN 55445.

Summary:

Crew Carwash has submitted planning applications for a site plan review and conditional use permit to operate a car wash at 7820 Lakeland Ave. N. The project involves the demolition of the existing structure and the property's redevelopment pursuant to the proposed site plan.

Future Land Use Plan	Community Commercial LRT Station Area
Current Zoning	General Business District
Proposed Zoning	No proposed change
Site Area	1.22 acres
Conforms to	
Land Use Plan	Yes
Zoning Code	Yes
Subdivision Ordinance	Yes
Notification	Legal notice was published in the Sun Post. 13 notices were mailed to properties within 500 feet. A Neighborhood email was sent to the College Park neighborhood.
60- and 120- Days (§15.99)	January 20, 2026; March 23, 2026

Previous Approvals:

This parcel was created by the subdivision named “Coopers Industrial Park” in 1969 and was developed through site plan review in 1980. The property was granted a conditional use permit to operate a motor fuel station, convenience store, and car wash in 1989 and a conditional use permit for an auto repair service in 2024. Because the car wash use has not been maintained for more than 365 days, and because this would be an expansion of the intensity of the conditional use, the new conditional use permit application is required.

Land Use/Zoning (and Overlay):

The site is zoned General Business District (B3). Per §152.302 of the zoning code, the purpose of the General Business District is “to provide centralized areas for businesses that have a community or regional customer base in that they generally draw customers from farther away than the adjacent neighborhood” (§152.302(A)). Car washes are allowed conditionally as a principal use in the General Business District via a conditional use permit.

Surrounding zoning districts include the General Business District to the east, south, and north and the General Industrial (I) District to the west. The property is not located in an overlay district.

Site Plan Review:

Site plan reviews must be reviewed against the evaluation criteria detailed in §152.303 Site Plan, of the City’s Zoning Code. Site plan approval is required for the construction of a structure, for the grading or taking any action to prepare a site for development, and for when removing earth, soils, gravel, or other natural material from or place the same on a site.

The Planning Commission has advisory authority and City Council has final approval authority to approve a site plan.

The Applicant’s site plan that was submitted with the application includes the following: 1) a cover sheet; 2) general notes; 3) ALTA topography survey; 4) phase 1 erosion and sediment control plan; 5) phase 2 erosion and sediment control plan; 6) erosion and sediment control details; 7) Stormwater Pollution Prevention Plan (SWPPP); 8) site dimension plan; 9) fire access exhibit; 10) site details; 11) grading and drainage plan; 12) utility plan and details; and a 13) landscaping plan and details.

Also included in the application were: a property owner’s letter of consent, a letter from the applicant, a sign plan overview, a preliminary floor plan, building elevations, and 3D views exhibit, a photometric plan, a traffic summary and supporting spreadsheet from the Crew Carwash Wayzata Boulevard location, which the applicant asserts is commensurate with the Brooklyn Park proposed development, and an estimated bonding and escrow spreadsheet.

Erosion and Sediment Control Plan:

Section 153.08 of the City Code requires submission of an Erosion and Sediment Control Plan for applicable projects. The plan must identify temporary and permanent erosion and sediment control measures, including sediment retention devices, surface runoff and erosion controls, vegetative stabilization measures, and their locations, installation timing, removal, and maintenance. The plan must also include a construction and restoration schedule, cost estimates, and responsible party contact information.

Engineering Staff reviewed the erosion and sediment control plan and confirmed that it provides the required information.

Stormwater Pollution Prevention Plan (SWPPP):

Engineering Staff reviewed the Stormwater Pollution Prevention Plan (SWPPP) and confirmed that it provides the required information.

Proposed Site Plan:

The City Code does not contain a single section that specifies required contents for site plan submittals. Instead, site plans are reviewed for compliance with multiple applicable sections of the Zoning Code, including standards related to use, site layout, access, parking, and public infrastructure. Staff have reviewed the proposed site plan for compliance against these requirements. Below is an analysis of the proposed site plan:

Property Summary:

The property is zoned General Business, which requires a minimum lot area of 25,000 square feet and allows a maximum impervious surface coverage of 80 percent (Table 152.608.1).

The subject property contains 53,112 square feet. Impervious surface coverage increases from 33,386 square feet (63.1%) under existing conditions to 40,392 square feet (76.2%) as proposed, resulting in a net increase of 7,006 square feet. The proposed impervious coverage complies with the maximum permitted by the zoning district.

Building and Parking Setbacks:

The General Business District does not require front or interior side yard setbacks but does require a 30-foot rear interior setback (Table 152.608.2).

Due to the configurations of this parcel, Staff suggested to the applicant that the site plan be reviewed as if there was one front yard and two side yard. The General Business district does not have front or side setback requirements.

In addition, the Zoning Code requires minimum parking setbacks of 5 feet from side and/or rear property lines and 15 feet from public rights-of-way (§152.1010(B)). The proposed site plan reflects compliance with these parking setback standards where applicable.

Building Data:

The proposed building contains approximately 6,200 square feet, representing 11.7 percent of the total property area. The maximum proposed building height is 40 feet. While the General Business District limits building height to 40 feet when adjacent to residential uses, this standard is not applicable to the subject property (Table 152.608.1).

Parking Summary:

Off-street parking requirements for nonresidential uses are established in §152.1019 of the Zoning Code. Although car washes are listed in Table 152.1019.2, the code does not specify a minimum number of required surface parking or bicycle parking spaces for this use.

The proposed site plan includes two off-street parking spaces, including one accessible parking space, which is consistent with applicable code requirements.

Site Layout, Access, and Circulation:

The proposed site plan retains the two existing access points along Lakeland Ave. N., one located near the northeast portion of the property and one near the southern portion of the site. The applicant also proposes an additional access point between these two existing driveways.

Under the proposed circulation plan, the northeast access point would function as a one-way entrance to the car wash, directing vehicles into the on-site stacking lanes. The southern access point would function as a one-way exit for vehicles leaving the car wash. The proposed additional access point

would serve the self-service vacuum area, allowing vehicles to both enter and exit that portion of the site independently of the car wash circulation.

Also proposed is a kiosk building located on the south end of the stacking bay entrances. The kiosk building meets the accessory structures in nonresidential district requirements.

The Zoning Code requires sidewalks along existing and future minor arterials, including 79th Ave. N. The applicant proposes to install sidewalk improvements along 79th Ave. N. and extend pedestrian connectivity south along Lakeland Ave. N., providing direct pedestrian access to the site and building.

At the request of the City's Transportation Engineer, the applicant submitted operational data from an existing car wash location (Wayzata Boulevard) to estimate anticipated vehicle demand and stacking needs. The data indicates that peak activity typically occurs on Fridays and Saturdays during the late morning to early afternoon hours. Based on this information, the applicant indicates that the proposed site design provides adequate on-site vehicle stacking capacity to accommodate anticipated demand without causing off-site congestion. The City's Transportation Engineer reviewed the submitted information and found the proposed access and circulation layout to be acceptable.

Properties in the General Business District are required to store trash either indoors or outdoors, with screening required in the case of outdoor storage. The site plan shows a waste enclosure that is fully screened and located off of the property's northeast access point.

Grading and Drainage Plan:

Engineering Staff reviewed the grading and drainage plan and confirmed it provides the information required.

Utility Plan:

Engineering Staff reviewed the utility plan and confirmed it provides the information required.

Exterior Elevations:

Section 152.1005 of the Zoning Code establishes architectural design and exterior material standards for development in all business districts. The purpose of these standards is to ensure high-quality, durable construction that is compatible with surrounding development, contributes to long-term visual character, and avoids impermanent or deteriorating building materials.

Exterior materials are classified as Class 1 or Class 2, with Class 1 materials representing higher-quality, durable finishes such as brick, stone, glass, architectural metal panels, and textured concrete products. The Zoning Code requires minimum percentages of Class 1 materials on building facades, with higher standards applied to facades visible from public rights-of-way or adjacent properties.

Office, service, and retail buildings must provide at least 65 percent Class 1 materials on front facades and other facades visible from public view. Facades not visible from public view may use a combination of Class 1 and Class 2 materials.

The applicant provided building elevations showing the full elevation area, proposed material types, the material area and percentages for each of the elevations. The materials proposed by the applicant meet the materials required in the Zoning Code; the percentage of materials on each of the elevations also meets the required materials percentage.

Landscaping Plan:

Section 152.1013 of the Zoning Code requires a landscape plan for new nonresidential development. The applicant has submitted a landscape plan and landscape summary prepared by a licensed landscape architect for the B-3, General Business District.

Canopy Cover.

The Zoning Code requires one large tree or two medium trees per 360 square feet of required parking lot green space. Based on the site design, 977 square feet of parking lot green space is required, resulting in a requirement of three large trees (or six medium trees). The submitted plan provides five canopy trees, exceeding the minimum requirement.

Foundation Landscaping.

The Zoning Code requires foundation landscaping along at least 40 percent of the building perimeter, with a minimum width of six feet. The proposed building has a perimeter of 394 linear feet, resulting in a minimum requirement of 158 linear feet of foundation landscaping. The submitted plan provides 169 linear feet, exceeding the minimum standard.

Open Space Landscaping.

The Zoning Code requires a minimum amount of open space and a minimum number of trees and shrubs based on open space area. The site includes 5,311 square feet of open space, which requires a minimum of two trees, along with a mix of additional trees and shrubs. The submitted plan provides 11 trees within open space areas, exceeding the minimum requirement.

Street Trees.

Street trees are required at a rate of one tree per 70 linear feet of street frontage:

- County Road 81: 330 linear feet requires five trees; six trees are provided.
- 79th Avenue N.: 261 linear feet requires four trees; four trees are provided.
- Lakeland Avenue N.: 280 linear feet of applicable frontage requires four trees; four trees are provided.

All street tree requirements are met or exceeded.

Plant Diversity.

The Zoning Code limits tree planting to no more than 25 percent of the same family and 15 percent of the same species. Based on the total number of trees required, the submitted landscape plan complies with the City's plant diversity standards.

Parking Lot Landscaping.

The Zoning Code requires interior parking lot landscaping equal to 10 percent of the interior parking lot impervious area, resulting in a minimum requirement of 977 square feet. The submitted plan provides 1,271 square feet, exceeding the minimum requirement.

Based on the landscape plan and summary, the proposed development complies with the landscaping requirements of § 152.1013 of the Zoning Code.

Lighting Plan:

Section 152.1014 regulates lighting requirements for new development and outlines height maximums of free-standing lights and minimum and maximum light intensities based on use.

The applicant provided a photometric schedule showing that the minimum and maximum light intensities are met based on the submitted photometric schedule

Conditional Use Permit:

Car washes are a conditional use in the B3 District. Pursuant to §152.305 of the zoning code, Planning Commission and City Council shall consider the following factors when making its determination on a conditional use permit application:

- **Consistency with the Comprehensive Plan.**

The 2040 Comprehensive Plan land use designation of this property is Community Commercial (CC) and Light Rail Station Area (LRT) Overlay. The Plan defines these land uses as the following:

The Community Commercial land use designation is defined as areas “located on larger transportation thoroughfares and are of higher intensity/larger scale than other commercial areas in the city. Community Commercial districts are appropriate for large-format retail businesses and automobile-intensive uses that benefit from close proximity to highways. Design within the Community Commercial district should include appropriate sound and visual buffers between commercial and residential land uses” (2040 Comprehensive Plan, 3-21).

The LRT Overlay district is defined as an area “located along the LRT corridor and affects the mapped Development/Redevelopment Areas within a half-mile of LRT stations. Underlying primary zoning districts will govern land uses in these locations, except that any residential development occurring in the overlay must be at a minimum of 20 dwelling units per acre. Residential development should be well-connected to and accessible by those traveling by LRT line transit” (2040 Comprehensive Plan, 3-22).

Together with the CC and LRT zoning district, this project is consistent with the 2040 Comprehensive Plan.

- **Traffic generation, volume, and safety associated with the use and driveway location on adjacent roads, sidewalks, and trail connections.**

The proposed site plan retains the two existing access points along Lakeland Ave. N., one located near the northeast portion of the property and one near the southern portion of the site. The applicant also proposes an additional access point between these two existing driveways.

At the request of the City’s Transportation Engineer, the applicant submitted operational data from an existing car wash location (Wayzata Boulevard) to estimate anticipated vehicle demand and stacking needs. The City’s Transportation Engineer reviewed the submitted information and found the proposed access and circulation layout to be acceptable.

- **The characteristics of the parking area of the use, including the number and design of parking spaces, landscaping, traffic circulation, drainage, and lighting.**

Although the Zoning Code does not require a specific number of surface parking spaces or bicycle parking for car washes, the proposed site plan includes two off-street parking spaces, including one accessible parking space, which is consistent with applicable code requirements.

The applicant submitted a landscaping plan that Planning Staff reviewed against the Zoning Code. Based on the landscape plan and summary, the proposed development complies with the landscaping requirements of § 152.1013 of the Zoning Code.

The applicant also submitted a photometric plan that Planning Staff reviewed against the Zoning Code. The applicant provided a photometric schedule showing that the free-standing lights used meet the maximum height requirements and that the minimum and maximum light intensities are met based on their light intensity schedule.

Finally, the applicant submitted a drainage plan that the City's Engineering Department reviewed and confirmed provides the information required.

- **The provision of adequate public infrastructure to the site where the use is proposed.**

The property will use existing public infrastructure located around it. Staff has determined that the existing infrastructure is adequate for the proposed use.

- **The ability to screen and buffer incompatible off-site impacts of the proposed use on adjacent property and the surrounding neighborhood.**

The site plan proposes an interior trash area. The exterior area housing the waste enclosure has been reviewed by Planning Staff and they determined that it meets the City's code requirements. Landscaping design requirements exist to help buffer incompatible off-site impacts. The submitted landscape plans meet the City's landscape requirements.

- **The degree that the site or building associated with the proposed use meets or exceeds the architectural design standards for the district in which it is located.**

The applicant provided building elevations showing the full elevation area, proposed material types, the material area and percentages for each of the elevations. The materials proposed by the applicant meet the materials required in the Zoning Code; the percentage of materials on each of the elevations also meets the required materials percentage.

- **Compliance with any other applicable section of this chapter or the city code.**

In addition to the zoning code requirements referenced in this report, car washes are also a specific principal use listed in §152.903, the section that sets the regulations for nonresidential performance standards. The performance standards that car washes are to comply with include:

- (1) All car wash operations shall be staffed during operating hours.
- (2) All drive-through car washes shall contain room for a minimum stacking of six cars and must not extend into drive aisles.
- (3) All car wash bays shall have a separate entrance and exit.
- (4) If within 200 feet of a residential district or use, the car wash bays shall be closed when in operation.

Planning Staff have reviewed the plan against these requirements, and they determined that the requirements are met.

The Applicant will also need to meet the standards of the City's Building Code and Fire Code.

The required findings of §152.305 have been met and Planning Staff recommends approval of the CUP request.

Conditions of Approval:

1. All car wash operations shall be staffed during operating hours.
2. The car wash shall contain room for a minimum stacking of six cars and must not extend into drive aisles.
3. The car wash bay shall have a separate entrance and exit.
4. Signage must comply with all requirements of City Code Chapter 150: Signs.
5. The property must remain compliant with Title VII: Traffic Code of the City's Code.
6. The property must remain compliant with Title IX: General Regulations of the City's Code.
7. The property must remain compliant with Title XI: Business Regulations of the City's Code.
8. The property must remain compliant with the Minnesota State Fire Code.
9. This resolution must be recorded with the Hennepin County Recorder's office.
10. If the holder of the conditional use permit fails to comply with the terms and conditions of this resolution, the city may impose penalties or discipline for noncompliance, which may include revocation of the permit in accordance with § 152.035(H)(1) of the Municipal Code.

Staff Recommendation:

Staff recommend approval of the site plan review as presented and approval of the CUP as presented, subject to the provisions in the draft resolutions.

Budgetary/Fiscal Issues: N/A

Alternatives to consider:

1. Recommend approval of the site plan review and approval of the CUP with modifications.
2. Recommend denial of the site plan review and approval of the CUP based on certain findings.

Attachments:

- 5.3A DRAFT SITE PLAN RESOLUTION
- 5.3B DRAFT CONDITIONAL USE PERMIT RESOLUTION
- 5.3C LOCATION MAP
- 5.3D APPLICATION MATERIALS
- 5.3E PLAN SET

RESOLUTION #2026-__

RESOLUTION APPROVING A SITE PLAN REVIEW FOR THE CONSTRUCTION OF A CAR WASH
LOCATED AT 7820 LAKELAND AVE. N., BROOKLYN PARK, MN 55445.

Planning Commission File # 25-124

WHEREAS, Austin Eisch, of Kimley-Horn, on behalf of Crew Carwash, has made an application for a Site Plan Review under the provisions of Chapter 152 of the Code of Ordinances on property legally described as:

See EXHIBIT A

WHEREAS, the zoning of the property is General Business in which car washes are conditional uses; and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission public hearing who have given their advice and recommendation to the City Council.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park that the Site Plan Review is hereby granted at an address to be determined at 7820 Lakeland Ave. N., Brooklyn Park, MN 55445, as legally described in the attached EXHIBIT A, subject to the following conditions:

1.00 DRAWINGS

- 1.01 Site, utility, landscaping, and grading plans for this development on file in the City Clerk's office dated December 9, 2025 are approved, subject to the conditions listed below.
- 1.02 Building elevations for the car wash dated December 9, 2025 are approved to proceed to building permit, subject to the conditions listed below.

2.00 BONDS, ESCROWS AND DIRECT PAYMENTS

- 2.01 A Development Contract and bonding shall be required as a development bond or letter of credit in the amount of **\$973,700.00**, a cash bond in the amount of **\$51,200.00**, and a developer's escrow in the amount of **\$30,700.00** as required by Chapter 152. The developer's escrow must be posted with the City to cover engineering, legal and administrative costs incurred by the City. If this account becomes deficient, it shall be the developer's responsibility to deposit additional funds. This must be done before final bonding obligations are complete.

3.00 REQUIRED DOCUMENTS

- 3.01 All utility construction, drainage, grading and development plans must be approved by the City Engineer prior to receiving a building permit.

4.00 GENERAL CONDITIONS

- 4.01 It shall be the developer's responsibility to keep active and up to date the developer's contract and financial surety (Letter of Credit, bonds, etc.). These documents must remain active until the developer

has been released from any further obligation by City Council motion received in writing from the Engineering Department.

- 4.02 Before final bonding obligations are released, a certificate signed by a registered engineer must be provided. This certificate will state that all final lot and building grades are in conformance to drainage development plan(s) approved by the City Engineer.
- 4.03 No burying of construction debris shall be permitted on the site.
- 4.04 Dust control and erosion measures must be in place to prevent dust and erosion including, but not limited to, daily watering, silt fences, and seeding. The City Engineer may impose measures to reduce dust and run-off.
- 4.05 Adequate dumpsters must be on site during construction. When full, they must be emptied immediately or replaced with an empty dumpster.
- 4.06 Signs must conform to the requirements of Chapter 150. The sign plans will be approved by staff to verify code compliance at time of building permit.
- 4.07 A copy of this resolution shall be recorded with the Hennepin County Recorder prior to issuance of a building permit.

EXHIBIT A

Lot 2, Block 1, MENARDS ADDITION TO BROOKLYN PARK, Hennepin County, Minnesota.

RESOLUTION #2026-__

RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR THE OPERATION OF A CAR WASH
LOCATED AT 7820 LAKELAND AVE. N., BROOKLYN PARK, MN 55445.

Planning Commission File # 25-124

WHEREAS, Austin Eisch, of Kimley-Horn, on behalf of Crew Carwash, has made an application for a Conditional Use Permit under the provisions of Chapter 152 of the Code of Ordinances on property legally described as:

See EXHIBIT A

WHEREAS, the zoning of the property is General Business in which car washes are conditional uses;
and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission public hearing who have given their advice and recommendation to the City Council.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park that a Conditional Use Permit is hereby granted for the operation of a car wash at an address to be determined at 108th Court as legally described in the attached EXHIBIT A, subject to the following conditions:

1. All car wash operations shall be staffed during operating hours.
2. The car wash shall contain room for a minimum stacking of six cars and must not extend into drive aisles.
3. The car wash bay shall have a separate entrance and exit.
4. Signage must comply with all requirements of City Code Chapter 150: Signs.
5. The property must remain compliant with Title VII: Traffic Code of the City's Code.
6. The property must remain compliant with Title IX: General Regulations of the City's Code.
7. The property must remain compliant with Title XI: Business Regulations of the City's Code.
8. The property must remain compliant with the Minnesota State Fire Code.
9. This resolution must be recorded with the Hennepin County Recorder's office.
10. If the holder of the conditional use permit fails to comply with the terms and conditions of this resolution, the city may impose penalties or discipline for noncompliance, which may include revocation of the permit in accordance with §152.035(H)(1) of the Municipal Code.

This resolution expires one year from the date of approval unless all conditions are met. This resolution must be recorded with the Hennepin County Recorder's office within one year of the date of approval. The approvals can be revoked if not in compliance with the conditions stated above.

EXHIBIT A

Lot 2, Block 1, MENARDS ADDITION TO BROOKLYN PARK, Hennepin County, Minnesota.



Site Plan Review and Conditional Use Permit
Case #25-124 – Crew Carwash
Area of Request (August 2025 Air Photo)
7820 Lakeland Ave N, Brooklyn Park MN



Brooklyn Park 

October 27, 2025

TO: City of Brooklyn Park, MN
FROM: Excel III LLC

RE: 7820 Lakeland Ave N lot, in City of Brooklyn Park being purchased by Crew Carwash

Dear City of Brooklyn Park:

Excel III LLC, land owner of 7820 Lakeland Ave N, in City of Brooklyn Park, gives Crew Carwash permission to apply for a site plan review, a conditional use permit, and other required applications and permits that Crew Carwash will need to build on the 7820 Lakeland Ave N lot.

Best regards,

Excel III LLC

Zulfiqarali Punjani

Name


Signature

10/28/2025

Date



CONDITIONAL USE PERMIT LETTER OF REQUEST

Date: October 31, 2025
To: City of Brooklyn Park
From: Matt Schwartz, P.E. & Dan Elenbaas, P.E.
Subject: Crew Carwash – Brooklyn Park New Build

Executive Summary

On behalf of Crew Carwash, Kimley-Horn is pleased to present a Conditional Use Permit to the City of Brooklyn Park for review and approval. The development team has been in contact with city staff to ensure the proposed project will be developed in accordance with the applicable ordinances.

Crew Carwash is planning a redevelopment of the existing site located at 7820 Lakeland Ave. N, Brooklyn Park, MN. This site encompasses approximately 1.22 acres and will retain its current General Business (B3) zoning classification. Following preliminary consultations with city staff, the development team recognizes the necessity of obtaining a Conditional Use Permit to proceed with the redevelopment of the site.

Improvements for this project will consist of a new Crew Carwash building along with vacuuming areas. A public sidewalk will also be included along 79th Ave. N and part of Lakeland Ave. N. The existing site will be demolished to make space for these improvements.

Upon completion of the project, the carwash will be able to accommodate 24 stacking spaces. The vacuum area will be able to accommodate up to 10 vehicles. The proposed improvements will comply with the required setback for parking and building locations.

The Preliminary Civil Engineering and Landscape Architecture drawings have been included as part of this application. It is understood that the Final Civil Engineering and Landscape Architecture drawings will be provided at a later date.

We look forward to and greatly appreciate your thoughts and consideration.

KIMLEY-HORN AND ASSOCIATES, INC.

Handwritten signature of Matt Schwartz in black ink.

Matt Schwartz, P.E.
Matt.Schwartz@kimley-horn.com

Handwritten signature of Dan Elenbaas in black ink.

Dan Elenbaas, P.E.
Dan.Elenbaas@kimley-horn.com



EXPECTED HOURLY TRAFFIC MEMO

Date: November 20, 2025
To: City of Brooklyn Park
From: Matt Schwartz, P.E. & Dan Elenbaas, P.E.
Subject: Crew Carwash – Brooklyn Park Traffic Summary

Executive Summary

The spreadsheet presents detailed averages of car washes at the Wayzata #65 location (1405 Wayzata Blvd.), broken down by day of the week and hour, with a focus on both overall and January–February performance. Across the data, the average number of washes per day ranges from about 566 to 724, with the highest activity typically occurring on Fridays and Saturdays between the hours of 11:00 AM – 2:00 PM. The average number of washes per hour is generally between 40 and 52 while the peak times on Fridays and Saturdays are around 60 washes. Weekly totals average around 4,734 washes, with the Friday–Sunday period accounting for roughly 2,153 washes.

For the January–February period, the data shows an increase in activity: average daily washes rise to between 697 and 920, and average hourly washes climb to 53–71, again with the highest numbers on Fridays and Saturdays. Peak wash hours are now between the hours of 12:00PM – 4:00PM, and the average during this time raises to 87 washes per hour. The average weekly total during these months are about 5,583 washes, and the Friday–Sunday segment sees approximately 2,545 washes.

The data highlights clear patterns: Fridays and Saturdays in the late morning to early afternoon are consistently the busiest times and days, and the first two months of the year see a notable increase in wash volume compared to the overall average. The expected traffic generation at 7820 Lakeland is consistent with these patterns, and the site’s design provides sufficient stacking capacity to manage both average and high-volume days without causing off-site congestion.

KIMLEY-HORN AND ASSOCIATES, INC.

Matt Schwartz, P.E.
Matt.Schwartz@kimley-horn.com

Dan Elenbaas, P.E.
Dan.Elenbaas@kimley-horn.com

Wayzata #65

Average Washes

January-February

	Sun	Mon	Tue	Wed	Thu	Fri	Sat	Total
7:00 AM	11.43	18.29	18.00	16.67	20.89	24.67	11.75	17.38
8:00 AM	23.00	37.50	37.88	33.67	47.33	61.67	28.88	38.56
9:00 AM	38.38	39.50	37.25	41.56	49.67	59.00	51.38	45.25
10:00 AM	66.63	47.75	44.50	47.56	60.56	65.33	75.75	58.30
11:00 AM	87.75	60.88	56.88	60.33	78.44	85.00	84.50	73.40
12:00 PM	93.38	67.50	67.75	68.44	81.22	93.11	88.63	80.00
1:00 PM	104.25	72.50	70.88	71.56	85.22	96.33	89.50	84.32
2:00 PM	98.13	83.13	75.88	82.67	94.56	102.11	91.50	89.71
3:00 PM	97.25	89.13	81.75	88.56	98.56	100.33	96.13	93.10
4:00 PM	89.00	91.75	79.25	76.56	99.44	95.56	81.00	87.51
5:00 PM	56.38	64.88	60.50	59.22	78.11	69.33	57.13	63.65
6:00 PM	28.88	43.86	40.25	42.22	52.33	41.67	31.88	40.15
7:00 PM	20.71	27.71	27.00	26.56	34.11	26.22	21.50	26.26

	Sun	Mon	Tue	Wed	Thu	Fri	Sat
Average Day	815.14	744.36	697.75	715.56	880.44	920.33	809.50
Average Hour	62.70	57.26	53.67	55.04	67.73	70.79	62.27

Average Week 5,583.08

Average Fri-Sun 2,544.98

Average Hour 61.35

**Wayzata #65
Average Washes**

	Sun	Mon	Tue	Wed	Thu	Fri	Sat	Total
7:00 AM	13.72	27.70	29.11	24.16	24.05	29.42	19.20	23.91
8:00 AM	28.89	41.85	46.79	35.45	42.55	48.35	36.25	40.02
9:00 AM	45.00	42.25	49.05	40.79	45.50	47.80	52.95	46.19
10:00 AM	60.68	48.10	57.72	40.95	43.20	53.80	66.85	53.04
11:00 AM	70.20	54.35	58.53	41.90	48.75	64.15	76.70	59.23
12:00 PM	74.79	57.50	58.00	46.25	52.15	67.10	68.55	60.62
1:00 PM	67.37	57.90	54.90	46.95	52.55	68.70	70.55	59.85
2:00 PM	68.47	65.15	57.95	45.40	53.80	66.85	71.50	61.30
3:00 PM	60.89	69.25	61.35	47.42	54.25	68.10	63.05	60.62
4:00 PM	62.37	74.15	60.15	48.10	52.80	62.30	58.90	59.82
5:00 PM	55.74	62.10	58.25	45.85	46.95	51.00	42.35	51.75
6:00 PM	47.00	43.85	48.50	43.60	39.75	43.45	40.74	43.84
7:00 PM	34.68	33.95	36.55	36.50	36.47	34.50	32.95	35.09
8:00 PM	18.84	20.32	22.15	22.75	23.89	18.89	19.84	20.96

	Sun	Mon	Tue	Wed	Thu	Fri	Sat
Average Day	708.65	698.41	699.00	566.07	616.67	724.42	720.38
Average Hour	50.62	49.89	49.93	40.43	44.05	51.74	51.46

Average Week 4,733.59
Average Fri-Sun 2,153.45
Average Hour 48.30

GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR SHALL SUBMIT TO THE CITY A COPY OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS OF THE LOCAL JURISDICTION AND STATE DEPARTMENT OF TRANSPORTATION...
2. ALL WORK SHALL COMPLY WITH APPLICABLE CITY REGULATIONS, STATE CODES, AND OSHA STANDARDS...
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING ANY UTILITIES DAMAGED BY THE WORK...
4. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED...
5. CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES...

EROSION CONTROL NOTES

- 1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPOSED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SWPPP PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS...
2. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING ALL NECESSARY PERMITS...
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING ANY UTILITIES DAMAGED BY THE WORK...
4. CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES...

GRADING AND DRAINAGE NOTES

- 1. GENERAL CONTRACTORS AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED GRADING AND DRAINAGE CONDITIONS...
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING ANY UTILITIES DAMAGED BY THE WORK...
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WATER STORM SEWER & SANITARY SEWER NOTES

- 1. THE CONTRACTOR SHALL CONDUCT PRELIMINARY SURVEYS AND EXISTING CONDITIONS...
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING ANY UTILITIES DAMAGED BY THE WORK...
3. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES...

PAVING AND STRIPING NOTES

- 1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE SUBJECT TO THE JURISDICTION'S SPECIFICATIONS AND STANDARDS...
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING ANY UTILITIES DAMAGED BY THE WORK...
3. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES...

THIRD PARTY SUPPLEMENTAL INFORMATION

- 1. KIMLEY-HORN HAS NO LIABILITY FOR ANY ERRORS, OMISSIONS, OR OMISSIONS CONTAINED WITHIN SUPPLEMENTAL INFORMATION PROVIDED BY THIRD PARTY CONSULTANTS...
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GENERAL NOTES

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CONTRACTOR RESPONSIBILITIES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND APPROVED DRAWINGS...
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PROJECT INFORMATION: PROJECT NAME: BROOKLYN PARK CREW CARWASH, PROJECT NUMBER: C100, SHEET NUMBER: BROOKLYN PARK CREW CARWASH PREPARED FOR BROOKLYN PARK CREW CARWASH. CONTRACTOR INFORMATION: CONTRACTOR NAME: KIMLEY-HORN AND ASSOCIATES, INC., ADDRESS: 7025 KEMMER STREET, SUITE 100, ST. PAUL, MN 55114, PHONE: 651-454-1197, WWW.KIMLEY-HORN.COM. DRAWING INFORMATION: DRAWN BY: JSD, CHECKED BY: MJS, DATE: 11/27/2023, CITY COMMENTS: CITY COMMENTS AND NOTES BLDG. 01/06/2023, A/E.

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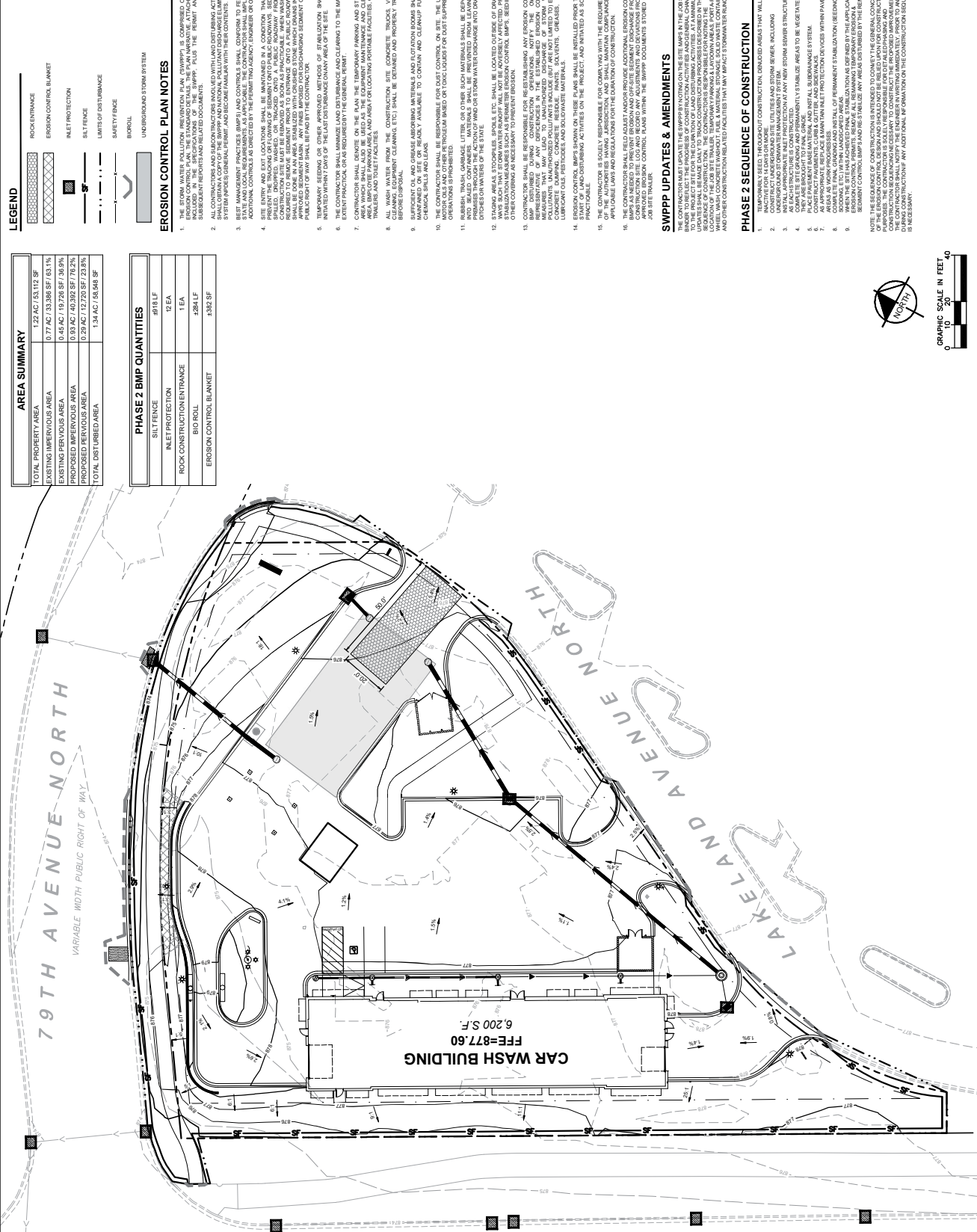
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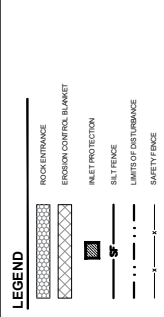
Know what's below.
Call before you dig.

COUNTY ROAD 81
112.5 FOOT WIDE PUBLIC RIGHT OF WAY



AREA SUMMARY	
TOTAL PROPERTY AREA	122.4C/153,172 SF
EXISTING IMPERVIOUS AREA	10.77 AC/153,368 SF/ 63.1%
EXISTING PERVIOUS AREA	0.46 AC/197,728 SF/ 36.9%
PROPOSED IMPERVIOUS AREA	10.83 AC/169,392 SF/ 73.2%
PROPOSED PERVIOUS AREA	10.29 AC/172,728 SF/ 22.8%
TOTAL DISTURBED AREA	13.4 AC/185,948 SF

PHASE 2 BMP QUANTITIES	
SILT FENCE	4918 LF
ROCK CONTROL BLANKET	1EA
BID ROLL	2984 LF
EROSION CONTROL BLANKET	3382 SF



EROSION CONTROL PLAN NOTES

- THE SWPP WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPOSED OF THE MEASURES LISTED IN THE SWPPP PLUS THE PERMIT AND ALL MEASURES REQUIRED BY THE SWPPP.
- ALL CONTRACTORS AND SUBCONTRACTORS INCLUDING ALL DRAINAGE ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND MAINTAIN IT THROUGHOUT THE CONSTRUCTION PERIOD. THE SWPPP SHALL BE KEPT ON THE PROJECT AT ALL TIMES.
- STATE AND LOCAL REGULATIONS, AS APPLICABLE, THE CONTRACTOR SHALL MAINTAIN ADDITIONAL CONTROLS AS DETERMINED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
- PERMITTING AGENCIES SHALL BE ADVISED OF ANY CHANGES TO THE SWPPP PRIOR TO THE START OF CONSTRUCTION. THE SWPPP SHALL BE REVISED AS NECESSARY TO REFLECT THE ACTUAL CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL MAINTAIN THE SWPPP THROUGHOUT THE CONSTRUCTION PERIOD. THE SWPPP SHALL BE KEPT ON THE PROJECT AT ALL TIMES.
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SWPPP UPDATES & AMENDMENTS

- TEMPORARY SEED THROUGHOUT CONSTRUCTION. DISTURBED AREAS THAT WILL BE EXPOSED TO EROSION SHALL BE SEED IMMEDIATELY AFTER CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN THE SWPPP THROUGHOUT THE CONSTRUCTION PERIOD. THE SWPPP SHALL BE KEPT ON THE PROJECT AT ALL TIMES.
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- CONTRACTOR SHALL MAINTAIN THE SWPPP THROUGHOUT THE CONSTRUCTION PERIOD. THE SWPPP SHALL BE KEPT ON THE PROJECT AT ALL TIMES.



GRAPHIC SCALE IN FEET
Call before you dig.

This document, together with the concepts and designs presented herein, is an instrument of service, intended only for the specific purpose and client for which it was prepared. Reuse of this document without written authorization and/or adaptation by Kinley-Horn and Associates, Inc. shall be without liability to Kinley-Horn and Associates, Inc. K:\TWC_LDE\erocrew carwashbrooklyn park\Design\AD\p\sheet\C3-EROS PH2 PLAN.dwg January 07, 2026 8:51am

NO.	REVISIONS	DATE	BY

Kimley-Horn

2025 KIMLEY-HORN AND ASSOCIATES, INC.
787 EAST ST. SUITE 100, ST. PAUL, MN 55114
WWW.KIMLEY-HORN.COM
PHONE: 651-454-1197

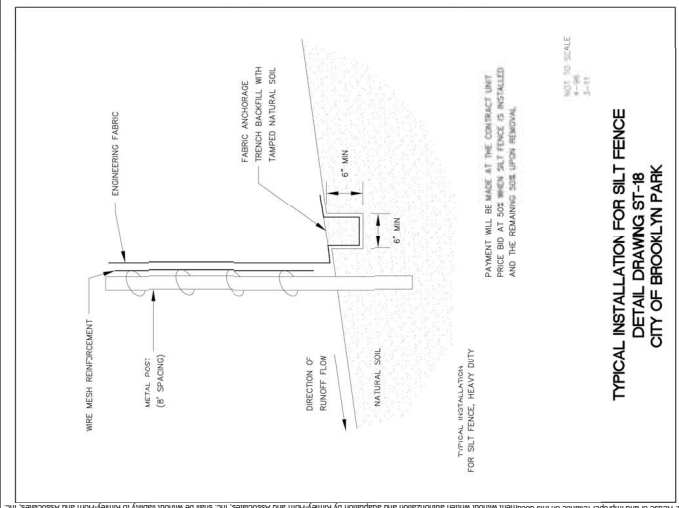
DATE	10/17/2025
DRAWN BY	JSD
CHECKED BY	MS
DESIGNED BY	KBP
SCALE	AS SHOWN
PROJECT	16103008
DATE	10/17/2025
PROJECT	16103008
DATE	10/17/2025
PROJECT	16103008

EROSION AND SEDIMENT CONTROL DETAILS

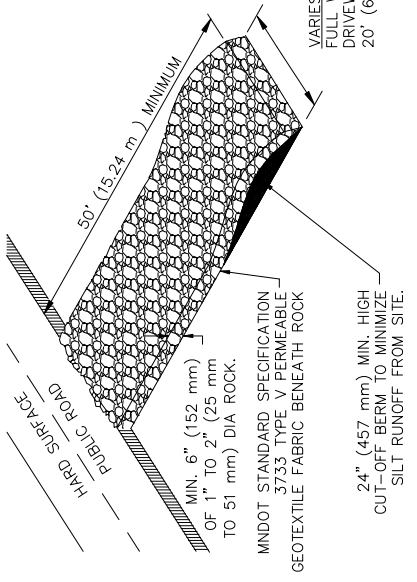
CREW CARWASH
PREPARED FOR
BROOKLYN PARK

SHEET NUMBER
C302

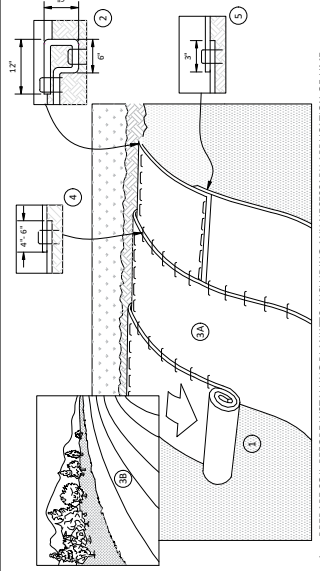
PRELIMINARY - NOT FOR CONSTRUCTION



**TYPICAL INSTALLATION FOR SILT FENCE
DETAIL DRAWING ST-18
CITY OF BROOKLYN PARK**



**4 ROCK CONSTRUCTION ENTRANCE
SCALE NTS**

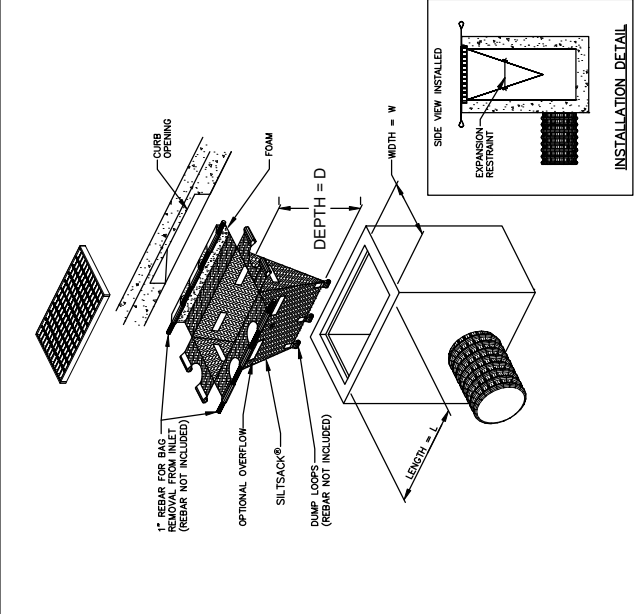


1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. ANCHOR THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURER'S RECOMMENDATION.
4. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES WITH AN OVERLAP OF APPROXIMATE 3" TO ENSURE PROPER SEAM ALIGNMENT. PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPliced DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
6. IF STAPLES/STAKES PER MANUFACTURER RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.

NOTES:

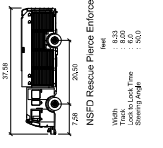
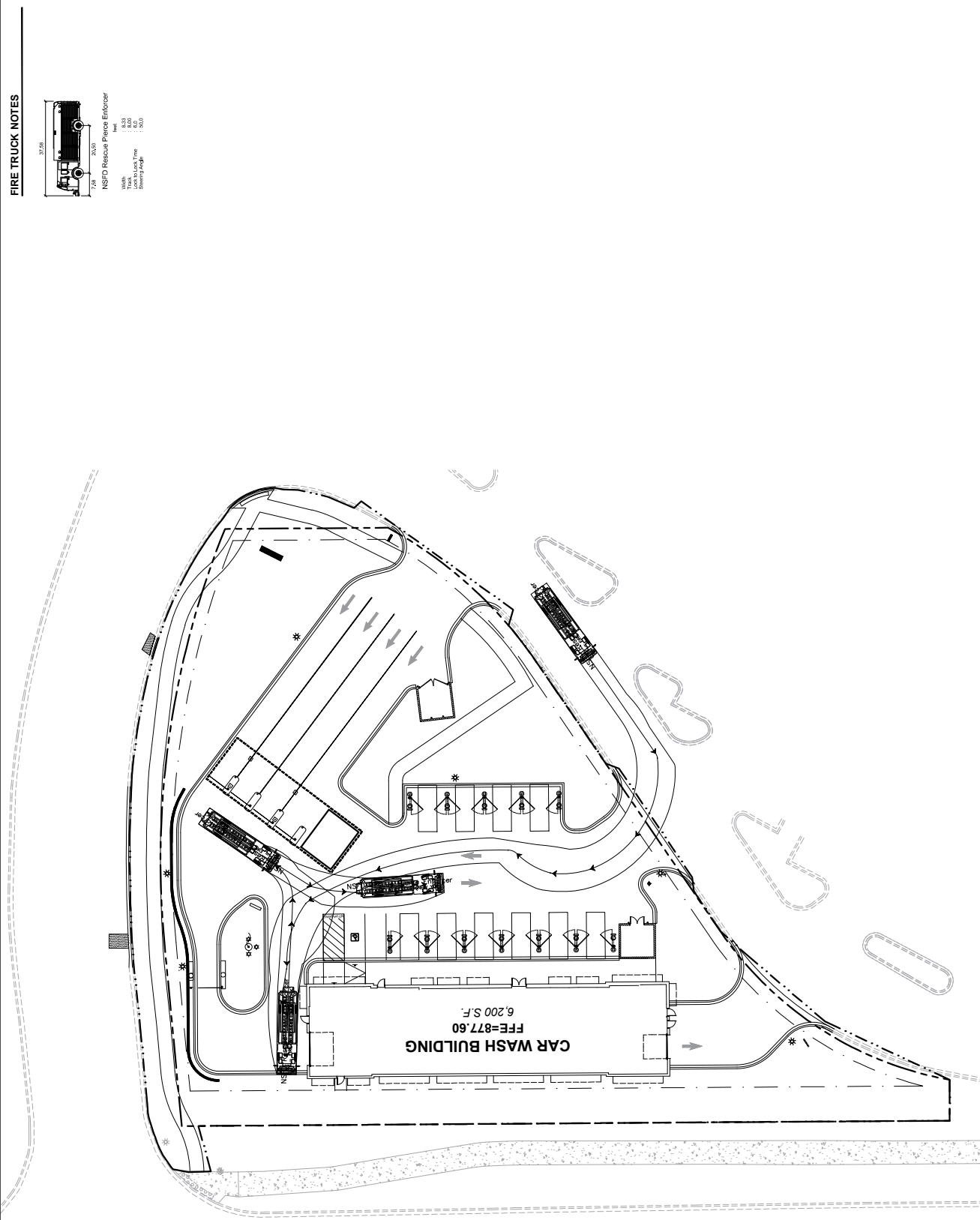
1. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
2. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION.

**2 EROSION CONTROL BLANKET
NO SCALE**



**3 INLET PROTECTION
SCALE NTS**

PRELIMINARY - NOT FOR CONSTRUCTION BROOKLYN PARK CREW CARWASH PREPARED FOR BROOKLYN PARK CREW CARWASH		SHEET NUMBER C400A
FIRE EXHIBIT		
CHECKED BY: JSD DRAWN BY: JSD DESIGNED BY: JSD SCALE: AS SHOWN DATE: 10/12/2025 PROJECT:	DATE: 10/12/2025 PROJECT:	NSFD PROJECT DATE: 10/12/2025 PROJECT:
LICENSED ARCHITECT MATTHEW L. SCHWARTZ L.C. NO. 83415	LICENSED ARCHITECT MATTHEW L. SCHWARTZ L.C. NO. 83415	LICENSED ARCHITECT MATTHEW L. SCHWARTZ L.C. NO. 83415
© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 787 EAST ST. STREET, SUITE 100, ST. PAUL, MN 55114 WWW.KIMLEY-HORN.COM PHONE: 651-454-1197	Kimley-Horn	NO. 1000000000 PROJECT:
REVISIONS NO. DATE BY	CITY COMMENTS AND MOKS BLDG. 01/06/2025 JSD 11/21/2025 JSD	CITY COMMENTS AND MOKS BLDG. 01/06/2025 JSD 11/21/2025 JSD



FIRE TRUCK NOTES

NO.	REVISIONS	DATE	BY

Kimley-Horn

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 787 EAST ST. STREET, SUITE 100, ST. PAUL, MN 55114
 PHONE: 651-464-1197
 WWW.KIMLEY-HORN.COM

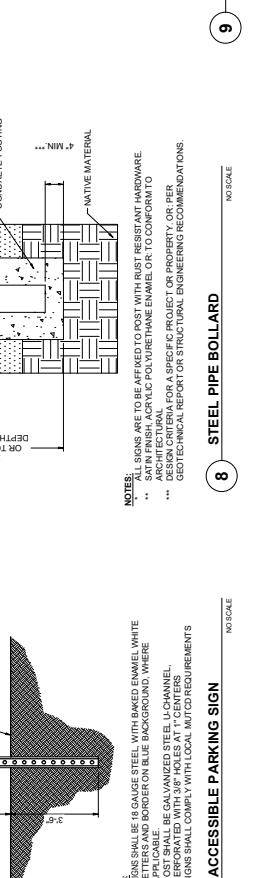
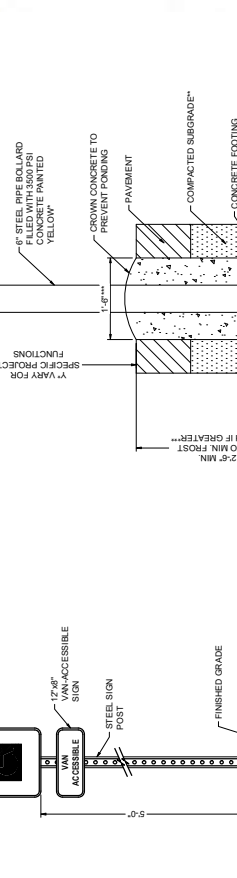
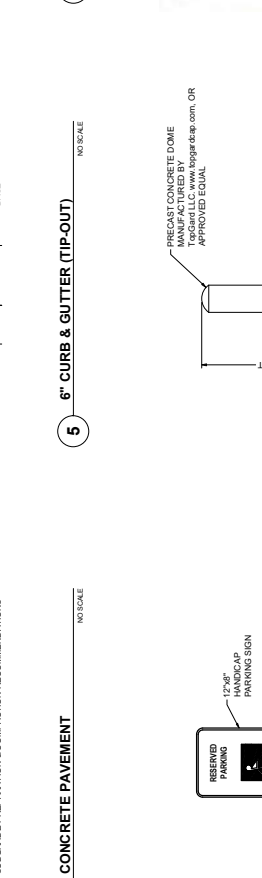
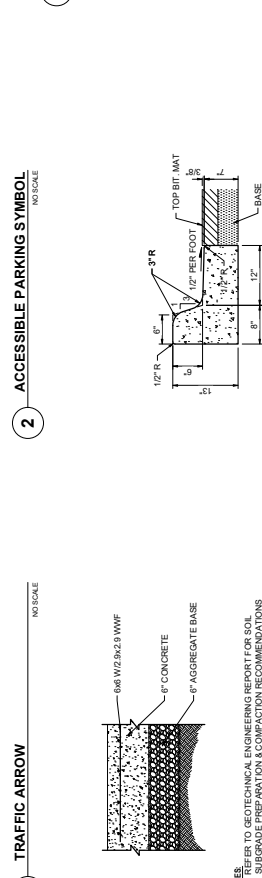
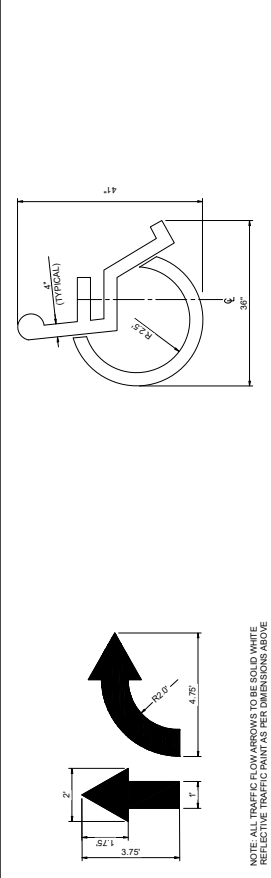
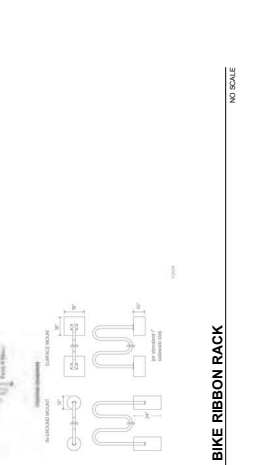
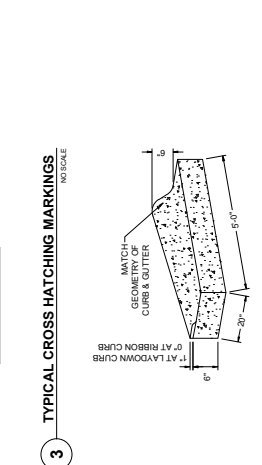
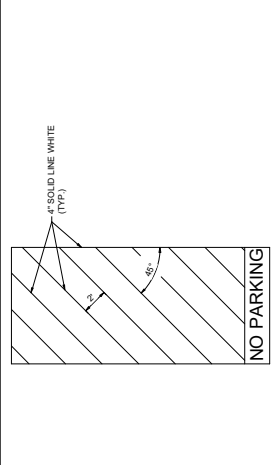
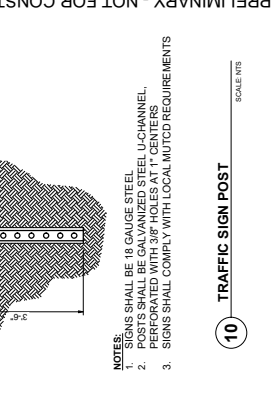
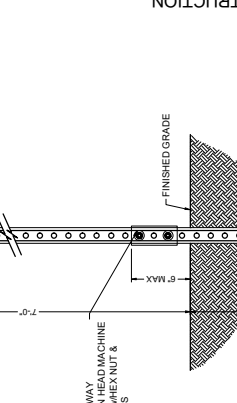
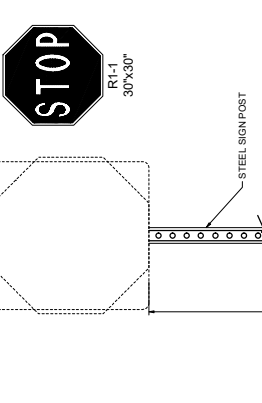
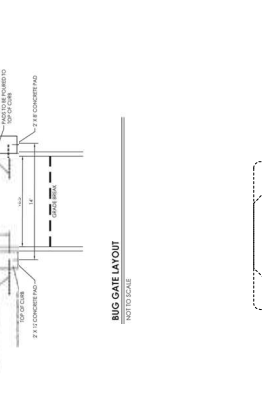
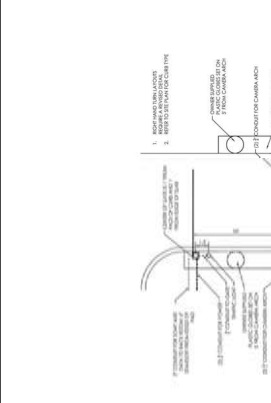
Matthew L. Schwanitz
 LICENSED PROFESSIONAL ENGINEER
 LICENSE NO. 98145
 STATE OF MINNESOTA

SITE DETAILS

PROJECT: CREW CARWASH
 SHEET NUMBER: C401

PRELIMINARY - NOT FOR CONSTRUCTION

CREW CARWASH
 BROOKLYN PARK
 PREPARED FOR
 CREW CARWASH
 BROOKLYN PARK
 SHEET NUMBER
 C401



NOTES:

- SIGNS SHALL BE 18 GAUGE STEEL WITH BAKED ENAMEL WHITE LETTERS AND BORDER ON BLUE BACKGROUND, WHERE POST SHALL BE GALVANIZED STEEL U-CHEMEL PERFORATED WITH 3/8" HOLES AT T-CENTERS. SIGNS SHALL COMPLY WITH LOCAL MUTCD REQUIREMENTS.
- SIGNS SHALL BE 18 GAUGE STEEL POSTS SHALL BE GALVANIZED STEEL U-CHEMEL. SIGNS SHALL COMPLY WITH LOCAL MUTCD REQUIREMENTS.
- SIGNS SHALL COMPLY WITH LOCAL MUTCD REQUIREMENTS.

NO.	REVISIONS	DATE	BY

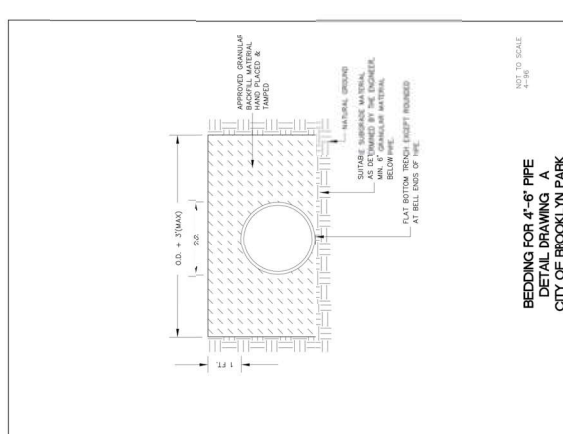
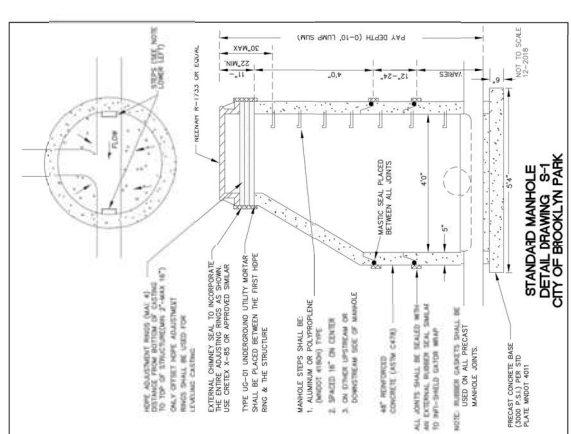
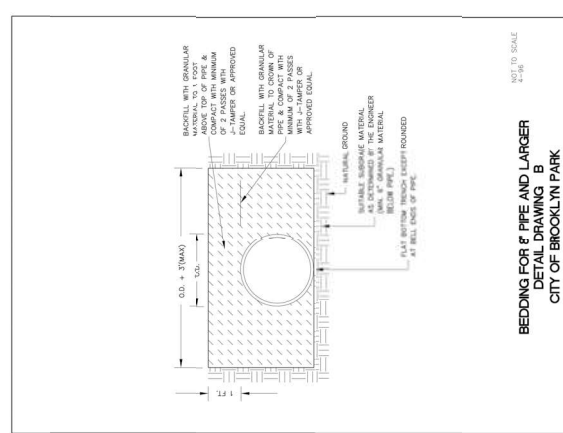
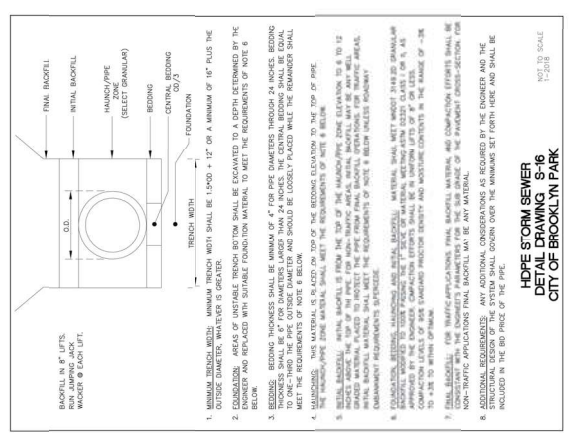
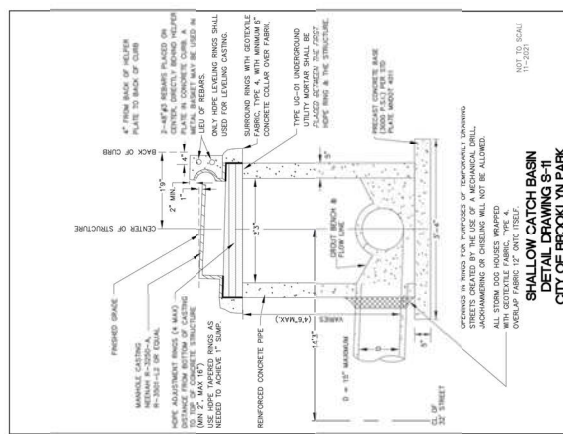
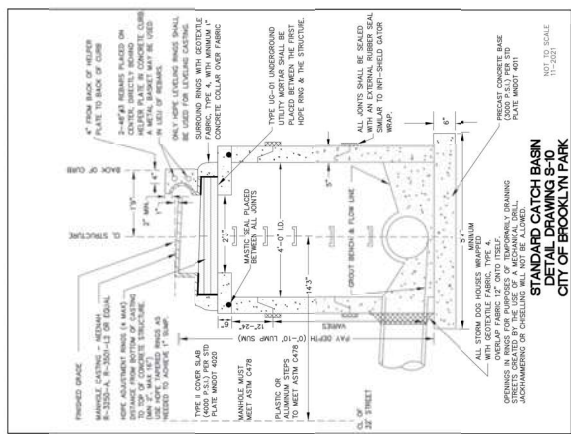
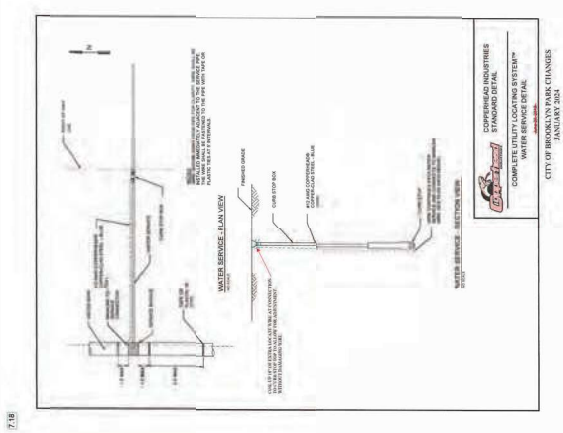
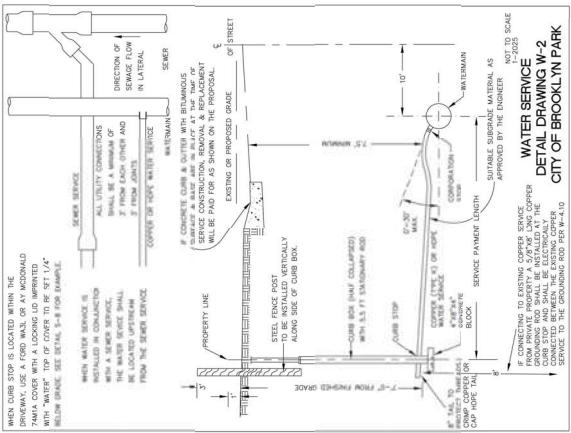
Kimley-Horn
 2025 KIMLEY-HORN AND ASSOCIATES, INC.
 475 EAST ST. STREET, SUITE 100, ST. PAUL, MN 55114
 WWW.KIMLEY-HORN.COM
 PHONE: 651-654-1199

CITY COMMENTS AND NOTES BUILDING 01/06/2025
 11/21/2025
 JSA

UTILITY DETAILS

CREW CARWASH
BROOKLYN PARK
 PREPARED FOR
BROOKLYN PARK
CREW CARWASH
 BROOKLYN PARK
 SHEET NUMBER
C604

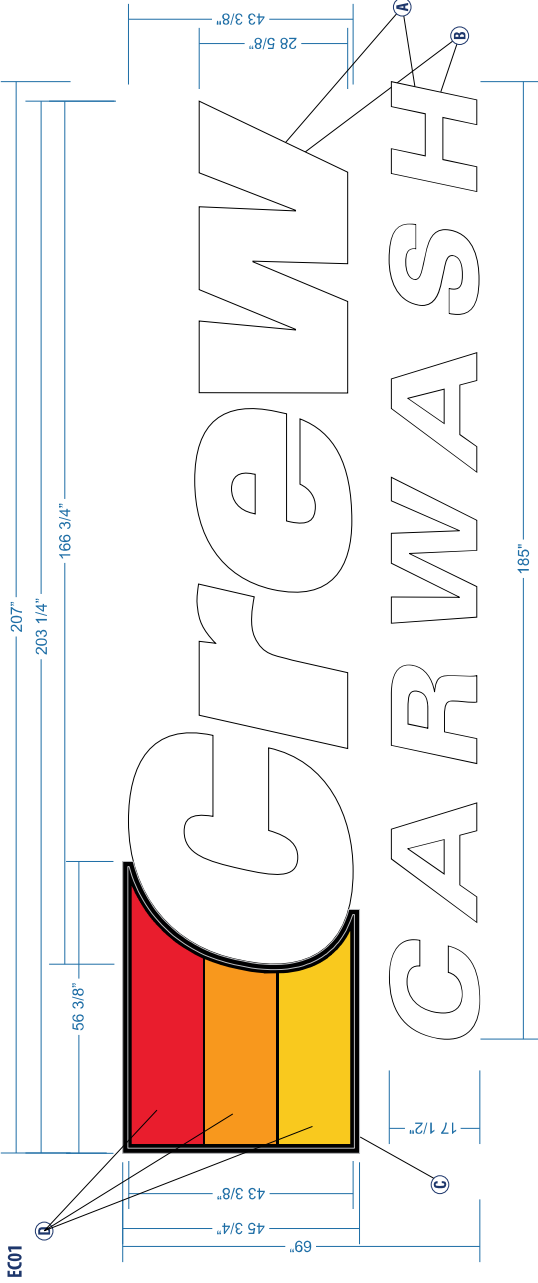
PRELIMINARY - NOT FOR CONSTRUCTION





Brooklyn Park, MN





FABRICATE AND INSTALL QTY 3 INTERNALLY ILLUMINATED FACE-LIT BUILDING SIGNS

RIBBON CABINET

- BODY - 1" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM
- RETURNS - 3" TO MATCH SPECS
- RETAINERS - 1" RIGID RETAINERS TO MATCH SPECS
- LEDS - WHITE - **ADD EXTRA LEDS**

INSTALLATION - MOUNTED FLUSH TO FASCIA

RIBBON FACES

- MATERIAL - PAN FORMED, EMBOSSED PLASTIC PAINTED
- SECOND SURFACE TO MATCH SPECS
- FLANGE - 1 1/4"
- PAN DEPTH - 1"

INSTALLATION - MOUNTED INTO RIGID RETAINERS

"CREW" & "CARWASH"

- FACES - 1/8" 2447 WHITE ACRYLIC
- RETURNS - 4" TO MATCH SPECS
- TRIM CAPS - 1" TO MATCH SPECS
- BACKS - .063 ALUMINUM
- LEDS - WHITE

INSTALLATION - MOUNTED FLUSH TO FASCIA



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

PHOTO SCALE: 3/32" = 1'-0"



COLOR SPECIFICATIONS:

- F BLACK RETURNS
- G BLACK TRIM CAPS
- H BLACK RETAINERS
- I MATCH COLOR SAMPLE
- J



NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

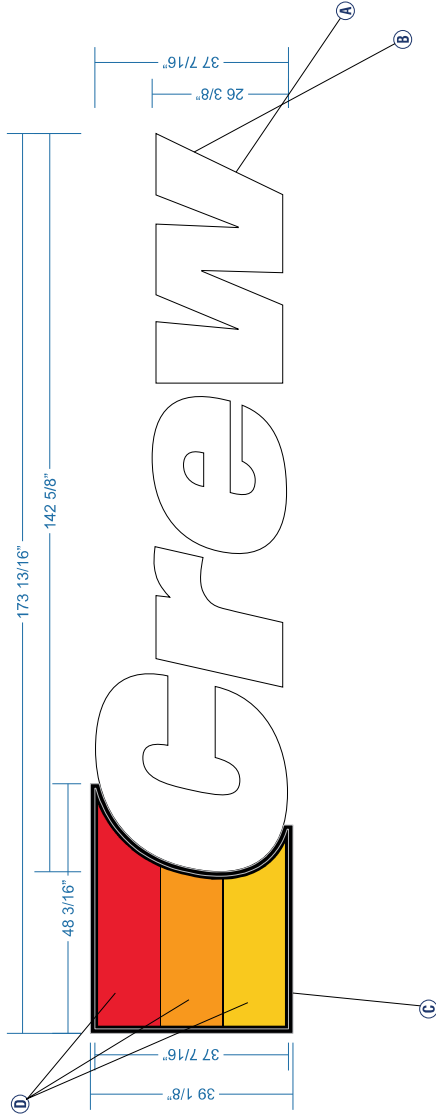
IF ILLUMINATED: WILL BE RATED TO 120V (UNLESS OTHERWISE SPECIFIED). THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

DESIGNER: JR	PERMIT INFORMATION: N/A
REVISION DATE:	FINAL DATE & BY: 1/11

SCR REP:
MP

DATE:
10/22/2025

EC02



**47.23 SQ FT
FABRICATE AND INSTALL QTY 1 INTERNALLY ILLUMINATED FACE-LIT BUILDING SIGN**

RIBBON CABINET

- BODY - 1" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM
- RETURNS - 3" TO MATCH SPECS
- RETAINERS - 1" RIGID RETAINERS TO MATCH SPECS
- LEDS - WHITE - **ADD EXTRA LEDS**

INSTALLATION - MOUNTED FLUSH TO FASCIA

RIBBON FACES

- MATERIAL - PAN FORMED, EMBOSSED PLASTIC PAINTED
- SECOND SURFACE TO MATCH SPECS
- FLANGE - 1 1/4"
- PAN DEPTH - 1"

INSTALLATION - MOUNTED INTO RIGID RETAINERS

"CREW"

- FACES - 3/16" 2447 WHITE ACRYLIC
- RETURNS - 4" TO MATCH SPECS
- TRIM CAPS - 1" TO MATCH SPECS
- BACKS - .063 ALUMINUM
- LEDS - WHITE

INSTALLATION - MOUNTED FLUSH TO FASCIA



COLOR SPECIFICATIONS:

- A** BLACK RETURNS
- B** BLACK TRIM CAPS
- C** BLACK RETAINERS
- D** MATCH COLOR SAMPLE
- E**
- F**
- G**
- H**
- I**
- J**



EAST ELEVATION

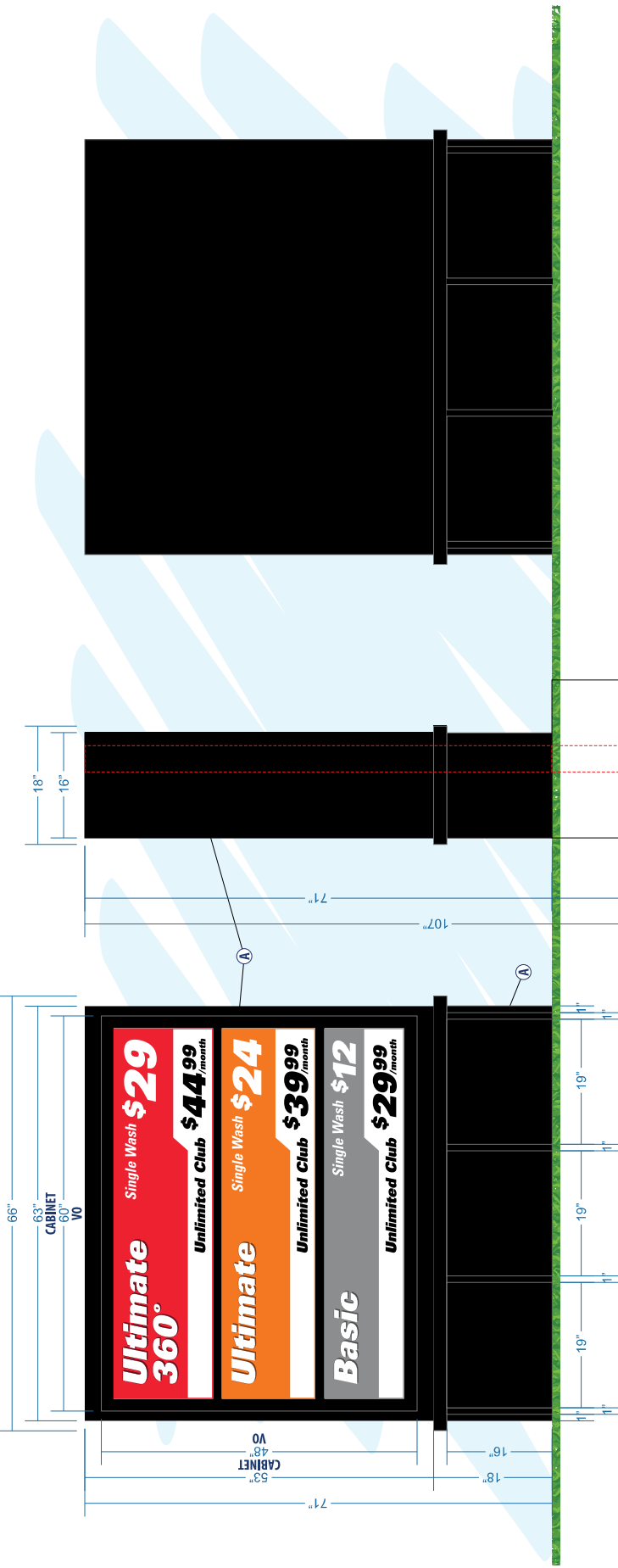
PHOTO SCALE: 3/32" = 1'-0"

DESIGNER: JR	SC1 REP: MP	PERMIT INFORMATION: N/A
REVISION DATE: 10/22/2025	DATE: 10/22/2025	FINAL DATE & BY: 2/11

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE Wired TO 120VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

EC03



FABRICATE AND INSTALL QTY 1 INTERNALLY ILLUMINATED S/F GROUND SIGN WITH EMC

EMC
RESOLUTION - 6mm
COLOR - FULL COLOR
DEPTH - 5"

BASE
 BODY - 2" ALUMINUM ANGLE SKINNED IN .090
 ALUMINUM PAINTED TO MATCH SPECS
 REVEAL DEPTH - 1"

INSTALLATION - MOUNTED TO SIGN BASE & POST **INSTALLATION** - MOUNTED AROUND 4" SCH 40 PIPE BURIED INTO GRADE



COLOR SPECIFICATIONS:

F	G	H	I	J
A	B	C	D	E

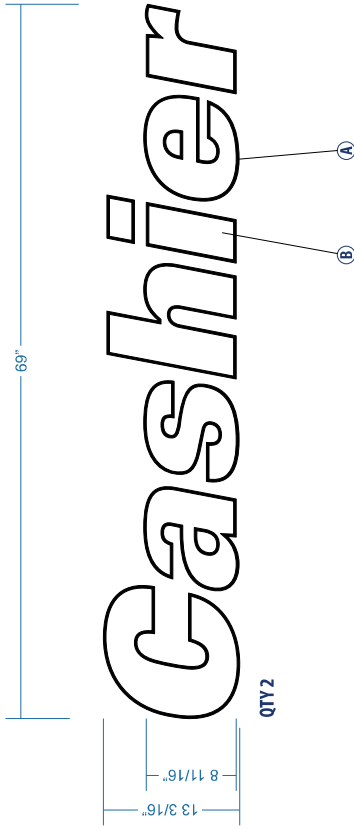
AMP BLACK

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WEWED TO 120VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

DESIGNER: JR	SCF REP: MP	PERMIT INFORMATION: N/A
REVISION DATE:	DATE: 10/22/2025	FINAL DATE & BY:
		SHEET #: 3/11

EC04

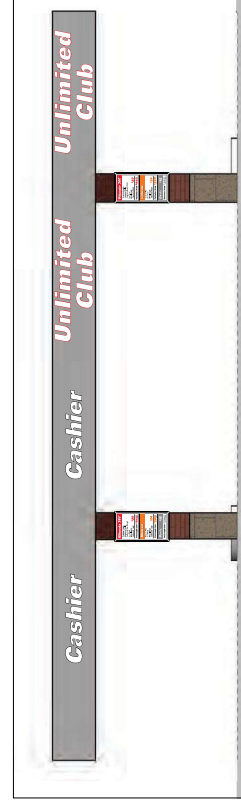


QTY 2

FABRICATE AND INSTALL QTY 2 NON-ILLUMINATED LETTER SETS

FACES - 1" WHITE PVC PAINTED TO MATCH SPECS
VINYL - MATCH SPECS

INSTALLATION - MOUNTED FLUSH TO CANOPY



EAST ELEVATION

PHOTO SCALE: 1/8" = 1'-0"



COLOR SPECIFICATIONS:

- A MP BLACK
- B ORACAL 651-010 WHITE
- C
- D
- E
- F
- G
- H
- I
- J

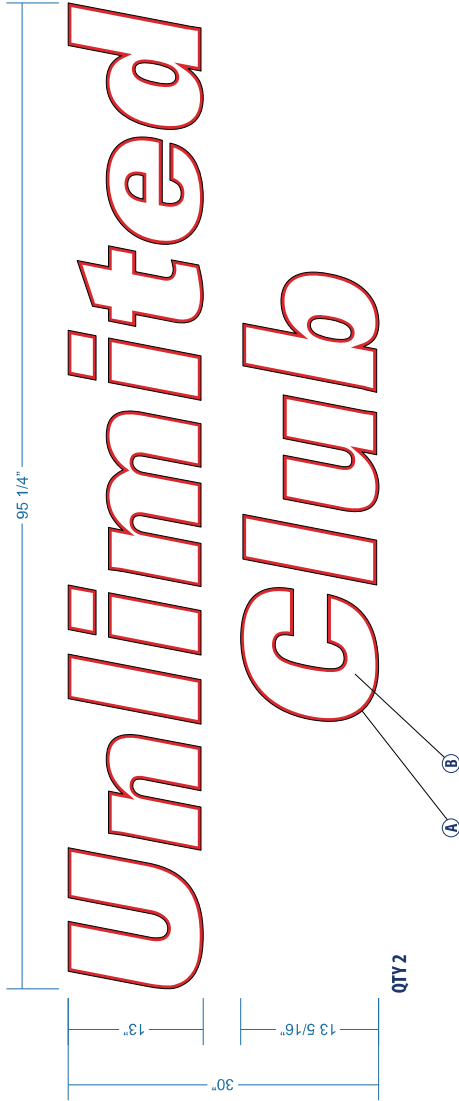


NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

DESIGNER: JR	SC1 REP: MP	PERMIT INFORMATION: N/A
REVISION DATE:	DATE: 10/22/2025	FINAL DATE & BY: 4/11

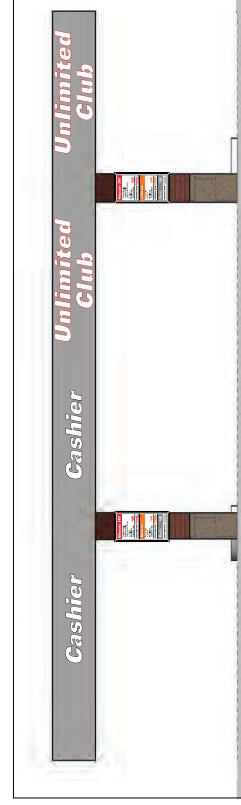
EC05



FABRICATE AND INSTALL QTY 2 NON-ILLUMINATED LETTER SETS

FACES - 1" WHITE PVC PAINTED TO MATCH SPECS
VINYL - MATCH SPECS

INSTALLATION - MOUNTED FLUSH TO CANOPY

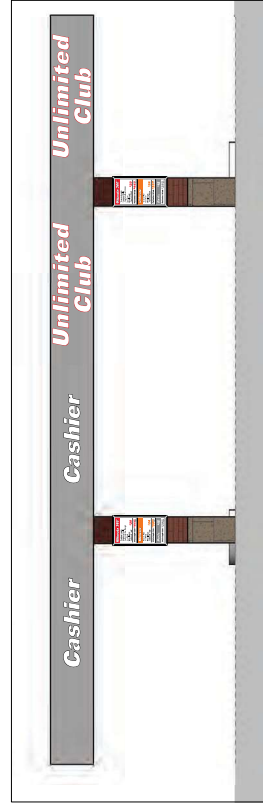
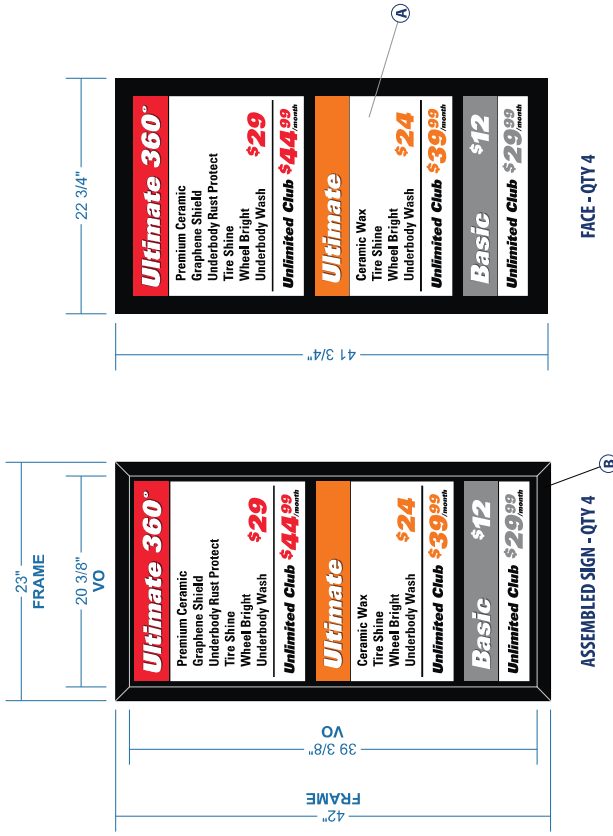


EAST ELEVATION

PHOTO SCALE: 1/8" = 1'-0"

		signCraft INDUSTRIES	
COLOR SPECIFICATIONS: A - PMS 1795 C RED B - ORACAL 651-010 WHITE C - D - E -		F G H I J	
NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.		DESIGNER: JR	PERMIT INFORMATION: N/A
IF ILLUMINATED: WILL BE WIRED TO 120VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.		SCI REP: MP	REVISION DATE: 10/22/2025
		DATE: 10/22/2025	FINAL DATE & BY: 5/11

EC06



EAST ELEVATION

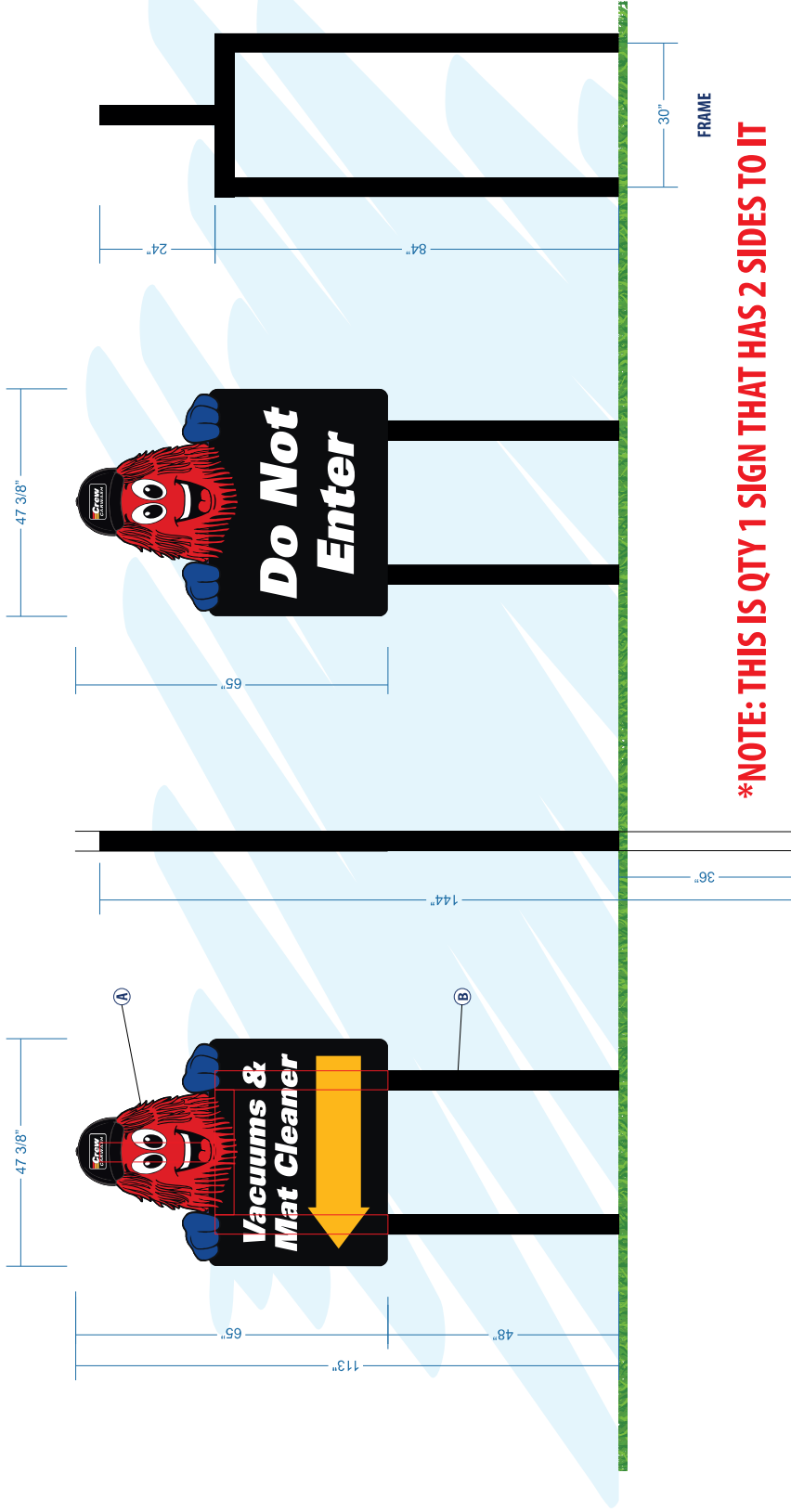
PHOTO SCALE: 1/8" = 1'-0"

FABRICATE AND INSTALL QTY 4 NEW SNAP FRAMES
 SIGN COMP KIT - 1899 & 1869A PAINTED TO MATCH SPECS
 FACES - 3MM WHITE DIBOND PRINTED TO MATCH SPECS

INSTALLATION - MOUNTED FLUSH TO COLUMNS

		COLOR SPECIFICATIONS: A DIG. PRINT B MP BLACK C D E	DESIGNER: JR	SC1 REP: MP	PERMIT INFORMATION: N/A
IF ILLUMINATED: WILL BE WED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.		DATE: 10/22/2025	REVISION DATE:	REVISION DATE:	FINAL DATE & BY:
					SHEET #: 6/11

EC07



***NOTE: THIS IS QTY 1 SIGN THAT HAS 2 SIDES TO IT**

FABRICATE AND INSTALL QTY 1 D/F VACUUM SIGN

FACE - 3MM BLACK DIBOND PRINTED TO MATCH SPECS
POSTS - 4" SQ ALUMINUM PAINTED TO MATCH SPECS

INSTALLATION - FACES MOUNTED TO POST, POST BURIED INTO GRADE



COLOR SPECIFICATIONS:
A DIG. PRINT
B MP BLACK
C
D
E

F **G** **H** **I** **J**

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WEDGED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCR REP:
MP

DATE:
10/22/2025

DESIGNER:
JR

REVISION DATE:

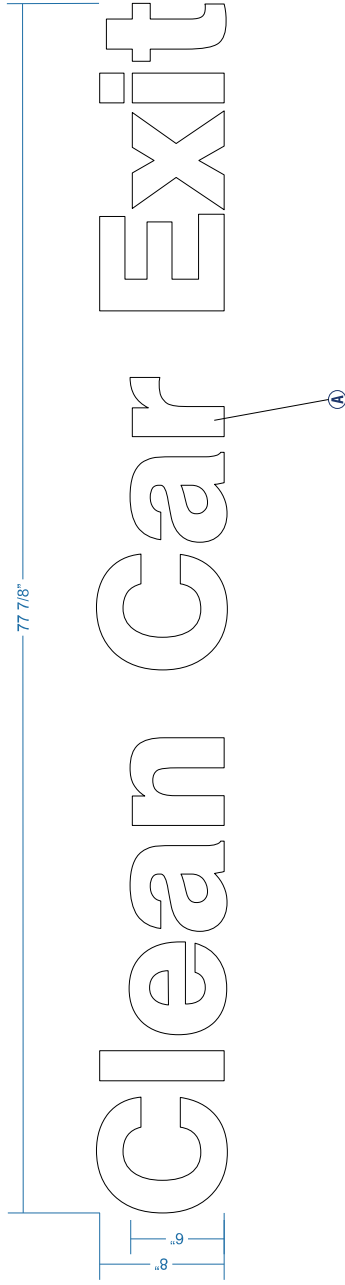
PERMIT INFORMATION:
N/A

FINAL DATE & BY:
SHEET #:

7/11



EC08



FABRICATE AND INSTALL QTY 1 SET OF NON-ILLUMINATED LETTERS

FACES - 1" WHITE PVC PAINTED TO MATCH SPECS

INSTALLATION - MOUNTED FLUSH TO FASCIA



COLOR SPECIFICATIONS:

- A MP WHITE
- B
- C
- D
- E
- F
- G
- H
- I
- J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



EAST ELEVATION

PHOTO SCALE: 3/32" = 1'-0"

DESIGNER:	JR
PERMIT INFORMATION:	N/A
REVISION DATE:	
FINAL DATE & BY:	8/11

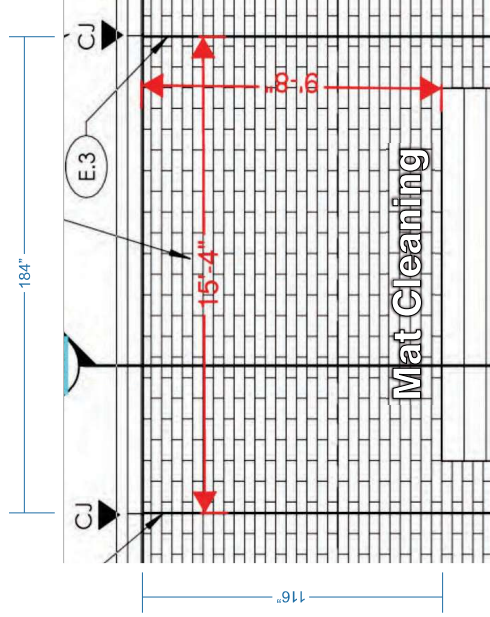
SCI REP:	MP
DATE:	10/22/2025

EC09

14 3/16" 11 5/16" 96" Mat Cleaning A



APPROX. PHOTO SCALE: 3/16" = 1'-0"



MOCK-UP SCALE: 1/4" = 1'-0"

FABRICATE AND INSTALL QTY 1 SET OF NON-ILLUMINATED LETTERS

FACES - 1" WHITE PVC PAINTED TO MATCH SPECS

INSTALLATION - MOUNTED FLUSH TO FASCIA



COLOR SPECIFICATIONS:

- A MP WHITE
- B
- C
- D
- E
- F
- G
- H
- I
- J

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IF ILLUMINATED: WILL BE WIRING TO 120VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

DESIGNER: JR	PERMIT INFORMATION: N/A
SCI REP: MP	REVISION DATE:
DATE: 10/22/2025	FINAL DATE & BY: 9/11
SHEET #: 9/11	



EC10



FABRICATE AND INSTALL QTY 1 S/F SIGN

FACE - 3MM BLACK DIBOND PRINTED TO MATCH SPECS
 POST - 2" SQ ALUMINUM PAINTED TO MATCH SPECS

INSTALLATION - FACE MOUNTED TO POST, POST BURIED INTO GRADE



COLOR SPECIFICATIONS:

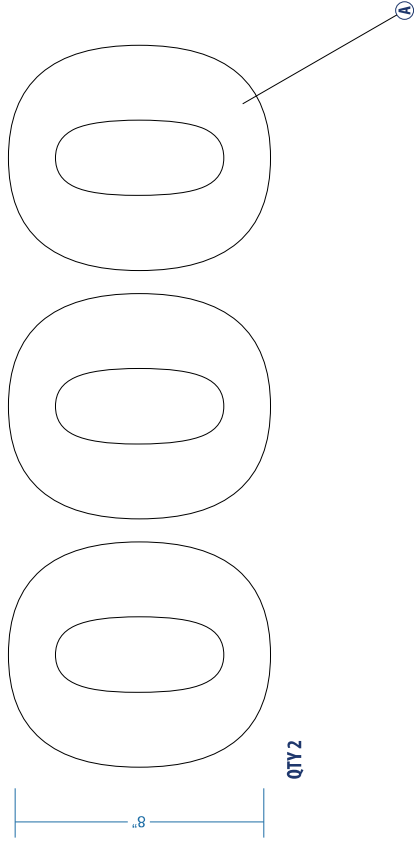
- A M2 BLACK
- B DIG. PRINT
- C
- D
- E
- F
- G
- H
- I
- J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE Wired TO 120VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

DESIGNER:	JR	PERMIT INFORMATION:	N/A
REVISION DATE:		FINAL DATE & BY:	10/11
SCI REP:	MP	DATE:	10/22/2025





QTY 2

***NOTE: ADDRESS NUMBERS ARE NEEDED**

FABRICATE AND INSTALL QTY 2 SETS OF PVC NUMBERS

FACES - 1" WHITE PVC PAINTED TO MATCH SPECS

INSTALLATION - MOUNTED FLUSH TO FASCIA



COLOR SPECIFICATIONS:

- A 1MP WHITE
- B
- C
- D
- E
- F
- G
- H
- I
- J

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SCI REP:
MP

DATE:
10/22/2025

DESIGNER:
JR

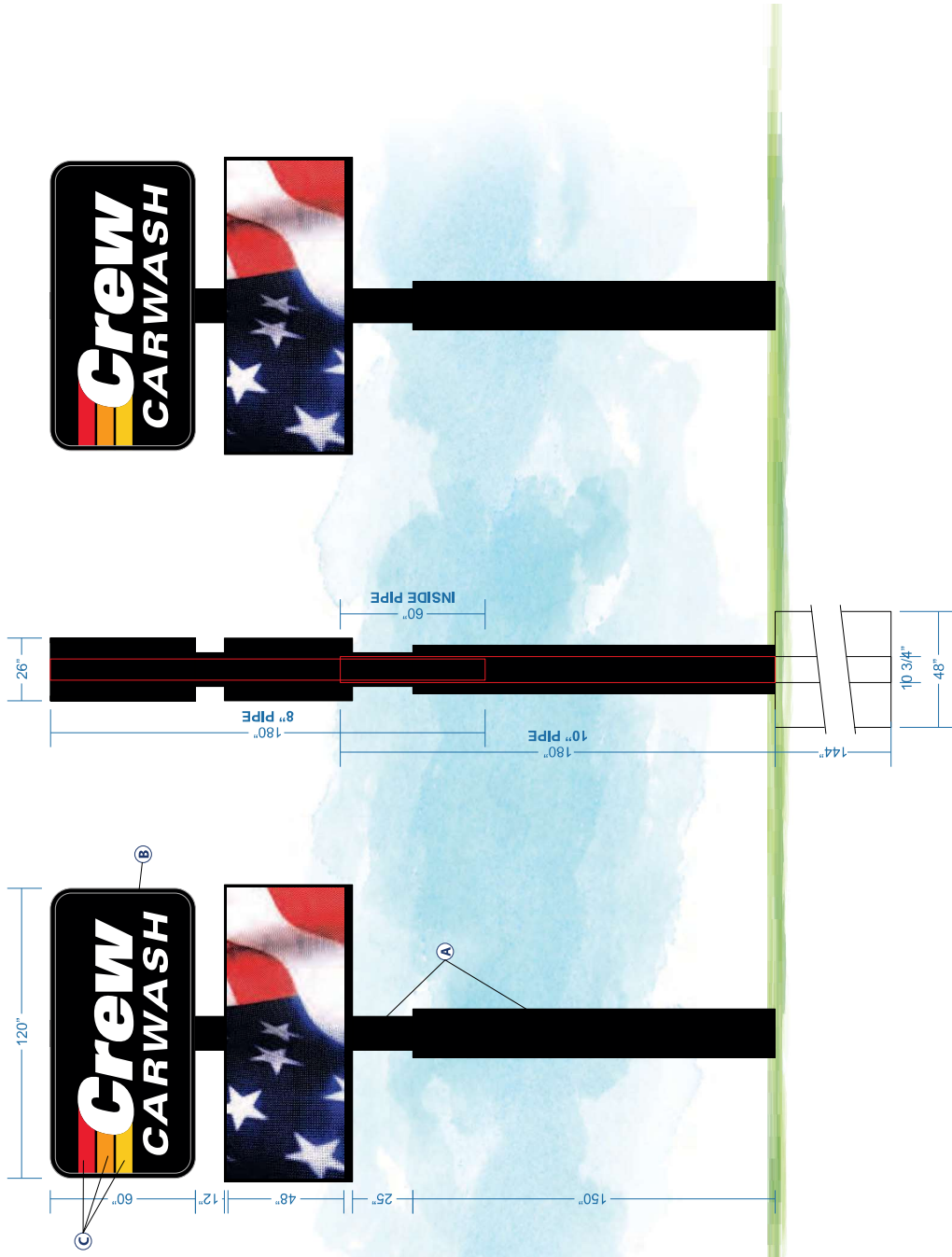
REVISION DATE:

PERMIT INFORMATION:
N/A

FINAL DATE & BY:

SHEET #: 11/11

EC11



50.00 SQ FT (CREW CABINET) + 48.00 SQ FT (EMC) = 98.00 SQ FT
 FABRICATE AND INSTALL QTY 1 D/F INTERNALLY
 ILLUMINATED POLE SIGN WITH EMC5

CABINET

- BODY - 2" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM PAINTED TO MATCH SPECS
- FACES - PAN FORMED, EMBOSSED PLASTIC TO MATCH SPECS
- FACE FLANGE - 2-1/2"
- FACE DEPTH - 2"
- RETAINERS - 2" TO MATCH SPECS
- LEDS - WHITE

POLE

- POLE - QTY 1 - 8" SCH 40 STUBBED TO 10" SCH 40 PIPE
- POLE COVERS - 2" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM PAINTED TO MATCH SPECS

EMCS (QTY 2)

- RESOLUTION - 10MM
- COLOR - FULL COLOR
- DEPTH - 6"

INSTALLATION - CABINETS MOUNTED AROUND POLE, POLE BURIED IN GRADE

SignCraft INDUSTRIES

COLOR SPECIFICATIONS:

- F A1MP BLACK
- G B BLACK RETAINERS
- H C MATCH COLOR SAMPLE
- I D
- J E

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

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DESIGNER: JR

REVISION DATE:

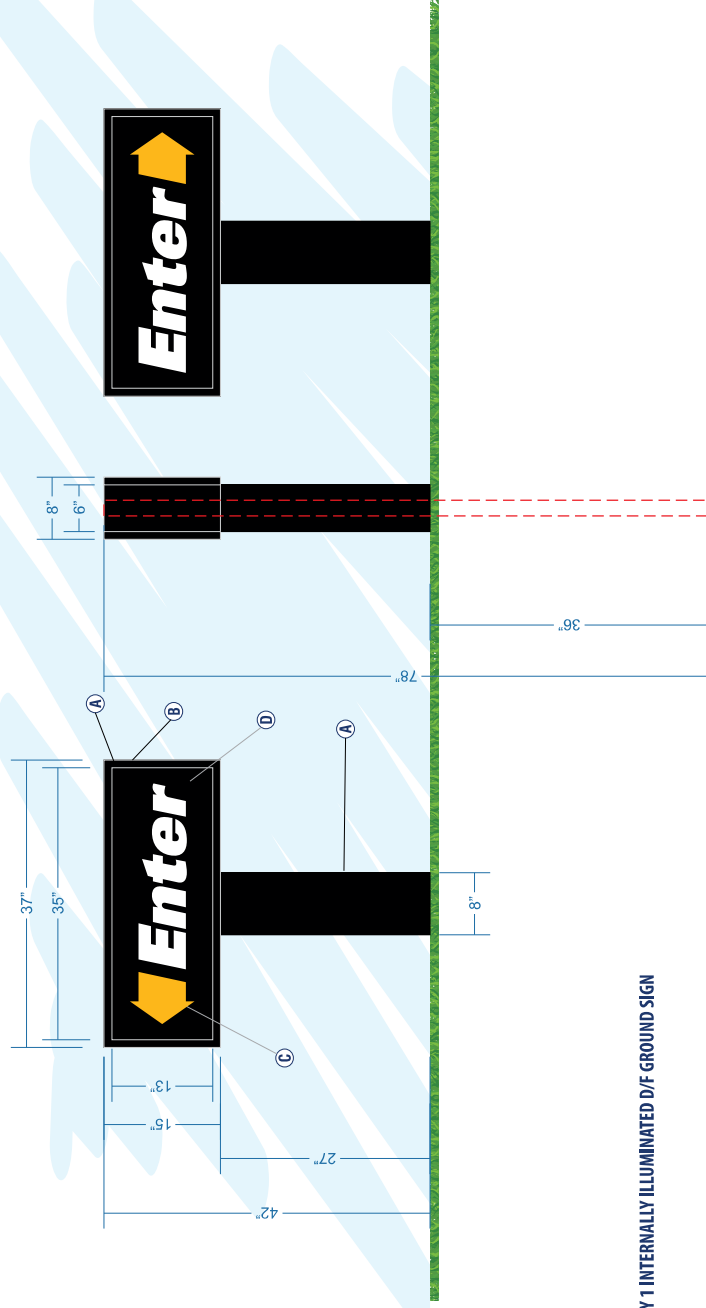
PERMIT INFORMATION: N/A

DATE: 10/24/2025

FINAL DATE & BY:

SHEET #: 1/1

EC12



3.85 SQ FT
FABRICATE AND INSTALL QTY 1 INTERNALLY ILLUMINATED D/F GROUND SIGN

CABINET
BODY - 1" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM PAINTED TO MATCH SPECS
FACES - 3/16" WHITE POLYCARBONATE
RETAINERS - 1" TO MATCH SPECS
VINYL - TO MATCH SPECS

INSTALLATION - MOUNTED TO BASE AND POST

BASE
BODY - 1" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM PAINTED TO MATCH SPECS

INSTALLATION - INSTALLED AROUND 2" SQ ALUMINUM POST BURIED INTO GRADE

COLOR SPECIFICATIONS:

- A** MP BLACK
- B** MP BLACK RETAINERS
- C** ORACAL 8500-020 GOLDEN YELLOW
- D** ORACAL 651-070 BLACK
- E** **F** **G** **H** **I** **J**

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

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DESIGNER:
JR

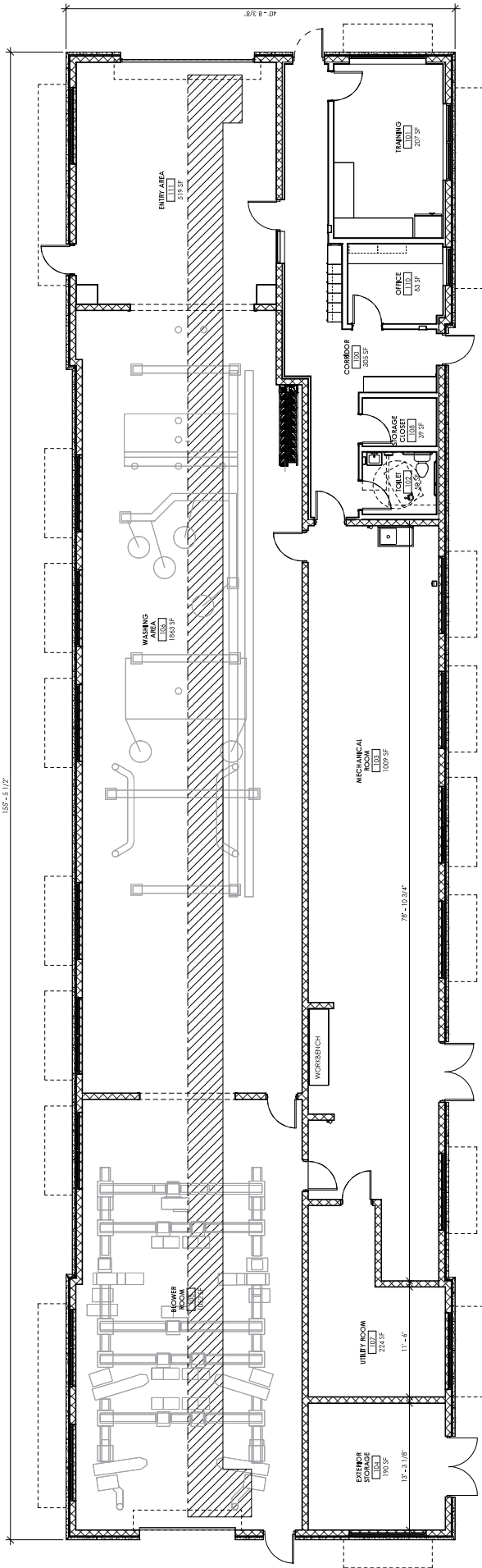
REVISION DATE:

PERMIT INFORMATION:
N/A

SCI REP:
MP

DATE:
11/18/2025

FINAL DATE & BY:
SHEET #:
1/1



ARCHITECTURAL FLOOR PLAN



NORTH

11/20/2025

PROJ025

3/16" = 1'-0"



PRELIMINARY FLOOR PLAN

CREW CARWASH, INC
BROOKLYN PARK, MN



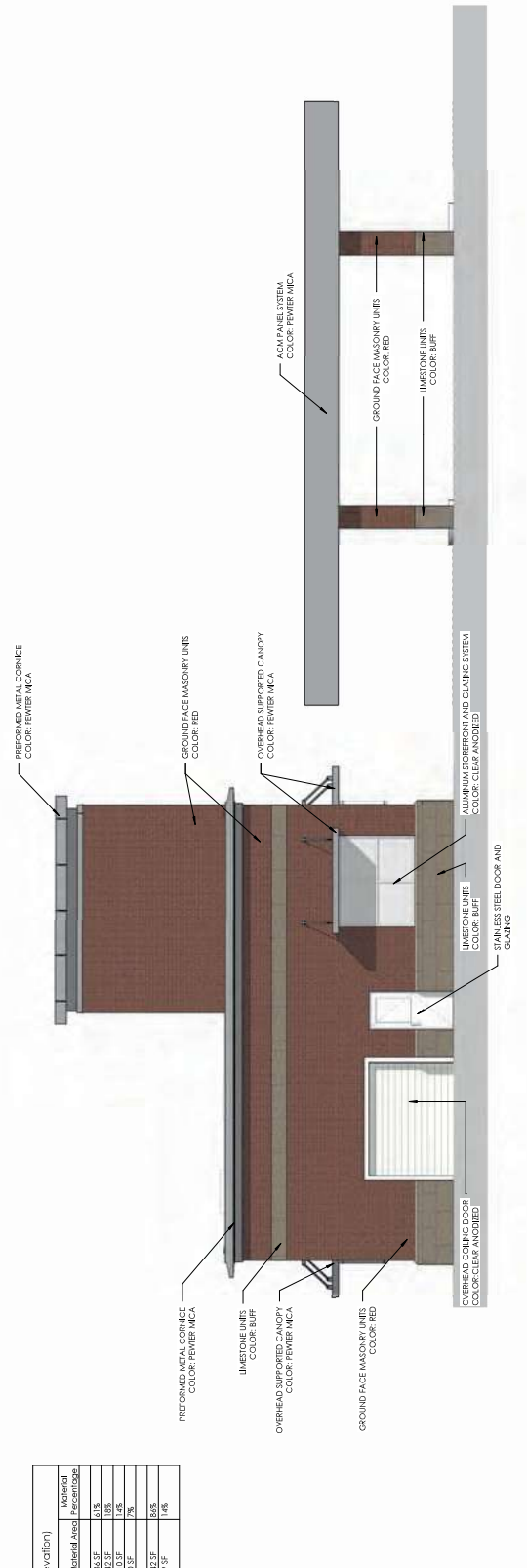
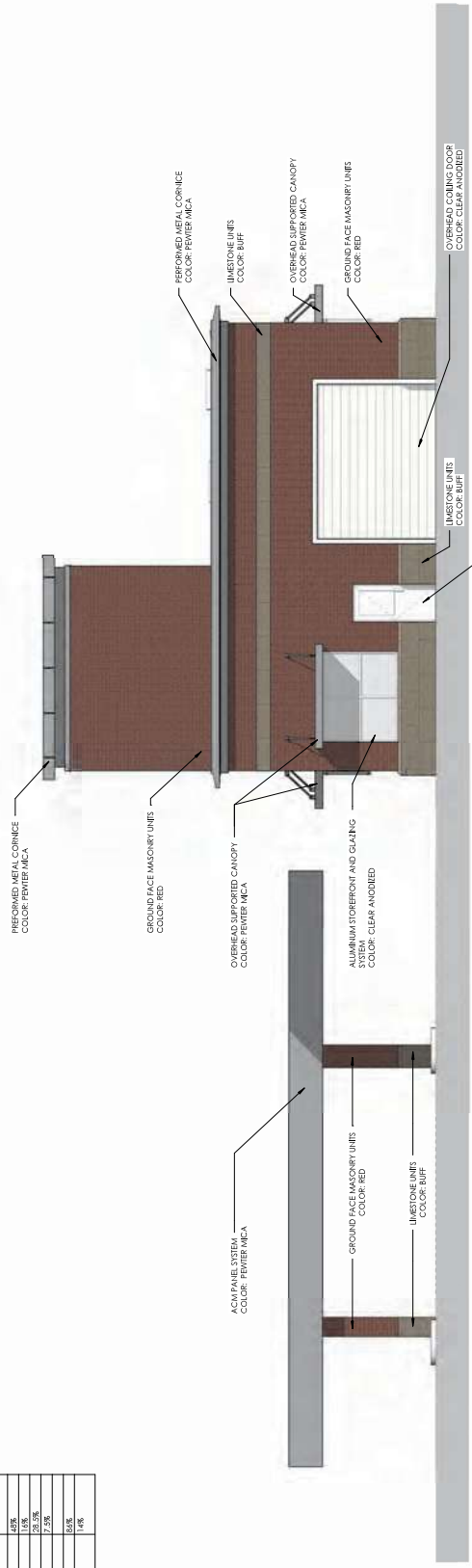
Solutions by Design Since 1937

Elevation Mark	Total Surface Area	Material Type	Material Area	Material Percentage
WEST	795 SF	Masonry	587 SF	73.8%
WEST		Imstone Units	138 SF	17.4%
WEST		Ground Face Masonry Units	227 SF	28.5%
WEST		Metal Cladding	69 SF	8.7%
Lower Typical One Side	1353 SF	Thin Brick Veneer	242 SF	18%
Lower Typical One Side		Aluminum Metal Panel	59 SF	4.4%

WEST ELEVATION

Elevation Mark	Total Surface Area	Material Type	Material Area	Material Percentage
EAST	795 SF	Masonry	587 SF	73.8%
EAST		Imstone Units	138 SF	17.4%
EAST		Ground Face Masonry Units	227 SF	28.5%
EAST		Metal Cladding	69 SF	8.7%
Lower Typical One Side	1353 SF	Thin Brick Veneer	242 SF	18%
Lower Typical One Side		Aluminum Metal Panel	59 SF	4.4%

EAST ELEVATION



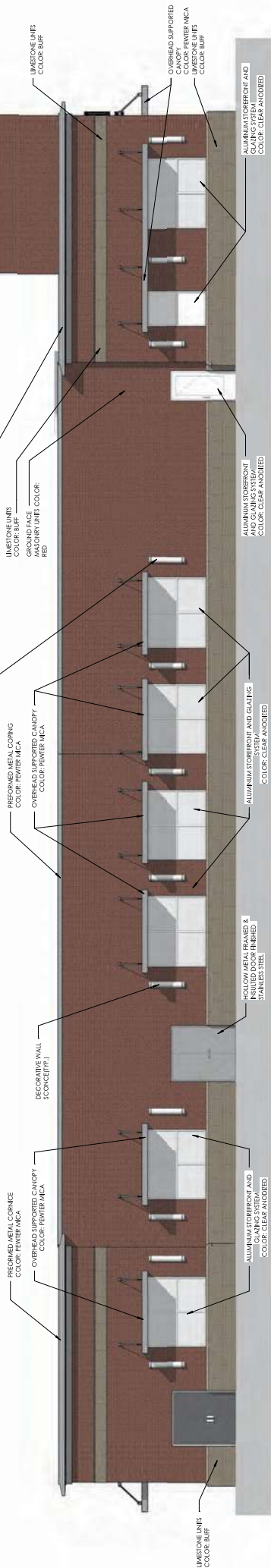
CREW CARWASH - BUILDING ELEVATIONS

CREW CARWASH, INC
BROOKLYN PARK, MN

11/20/2025
PROJ2025
3/16" = 1'-0"

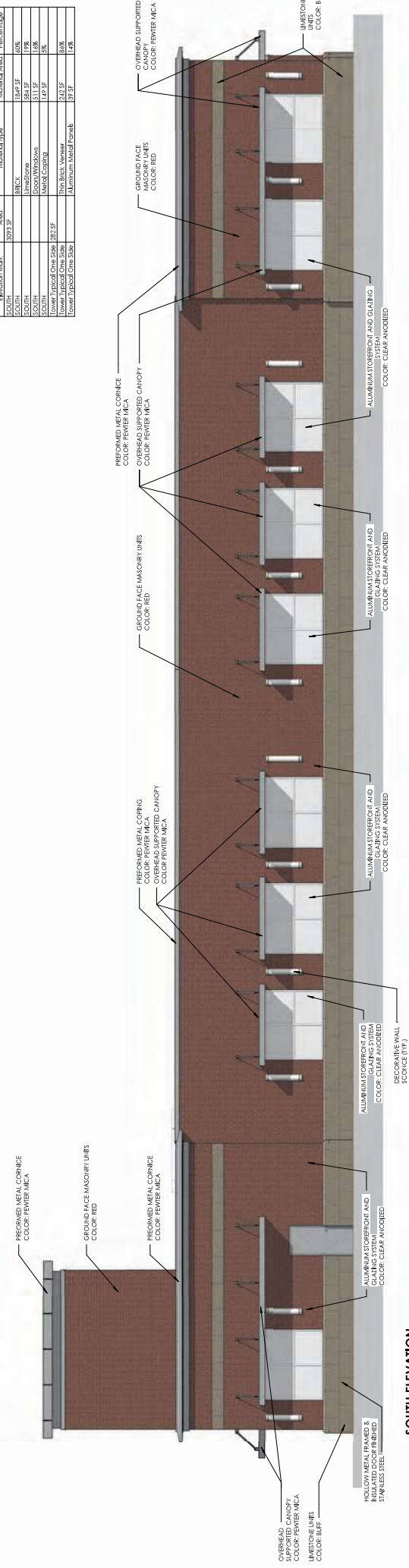


Material Percentage Schedule (North Elevation)			
Elevation Mark	Full Elevation	Material Type	Material Area Percentage
NSRTH	3093 SF	BRICK	61%
NSRTH	2893 SF	Ground Face Masonry Units	17%
NSRTH	5203 SF	Door/Windows	17%
NSRTH	148 SF	Metal Coping	1%
Lower Typical One Side	2853 SF	Thin Brick Veneer	86%
Lower Typical One Side	5023 SF	Aluminum Metal Panel	14%



NORTH ELEVATION

Material Percentage Schedule (South Elevation)			
Elevation Mark	Full Elevation	Material Type	Material Area Percentage
SOUTH	3093 SF	BRICK	18%
SOUTH	184 SF	Ground Face Masonry Units	6%
SOUTH	517 SF	Door/Windows	17%
SOUTH	311 SF	Metal Coping	10%
Lower Typical One Side	282 SF	Thin Brick Veneer	6%
Lower Typical One Side	517 SF	Aluminum Metal Panel	18%
Lower Typical One Side	397 SF		14%



SOUTH ELEVATION

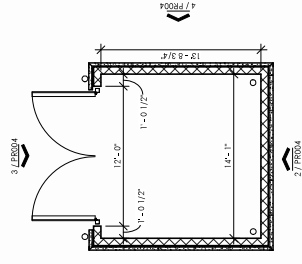


CREW CARWASH - BUILDING ELEVATIONS

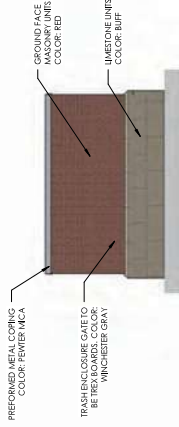
CREW CARWASH, INC
BROOKLYN PARK, MN

11/20/2025
PROJ2025
3/16" = 1'-0"





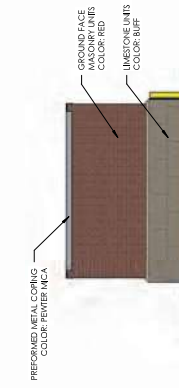
1 TRASH/ENCLOSURE FLOOR PLAN
3/16" = 1'-0"



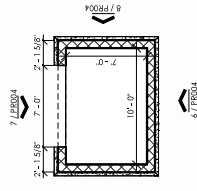
2 BACK TRASH ENCLOSURE ELEVATION
3/16" = 1'-0"



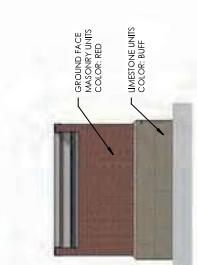
3 FRONT TRASH ENCLOSURE ELEVATION
3/16" = 1'-0"



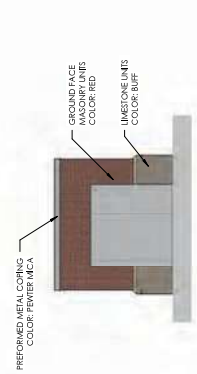
4 SIDE TRASH ENCLOSURE ELEVATION
3/16" = 1'-0"



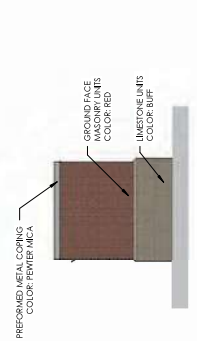
5 MAT WASH FLOOR PLAN
3/16" = 1'-0"



6 BACK MAT WASH ELEVATION
3/16" = 1'-0"



7 FRONT MAT WASH ELEVATION
3/16" = 1'-0"



8 SIDE MAT WASH ELEVATION
3/16" = 1'-0"

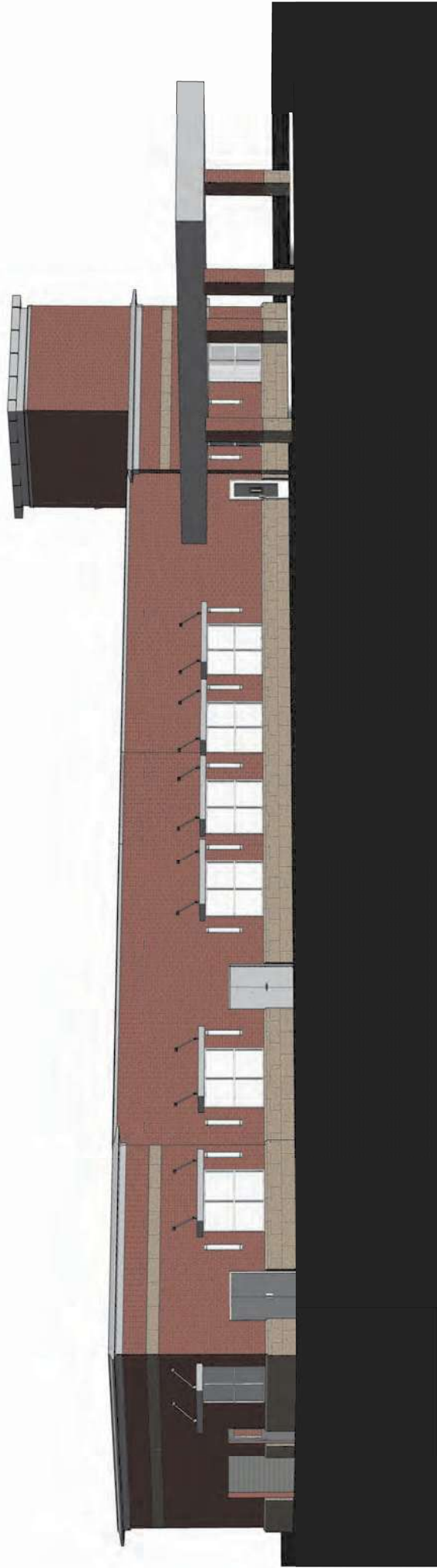


CREW CARWASH - TRASH/STORAGE ENCLOSURE

CREW CARWASH, INC
BROOKLYN PARK, MN

11/20/2025
PROJ2025
3/16" = 1'-0"

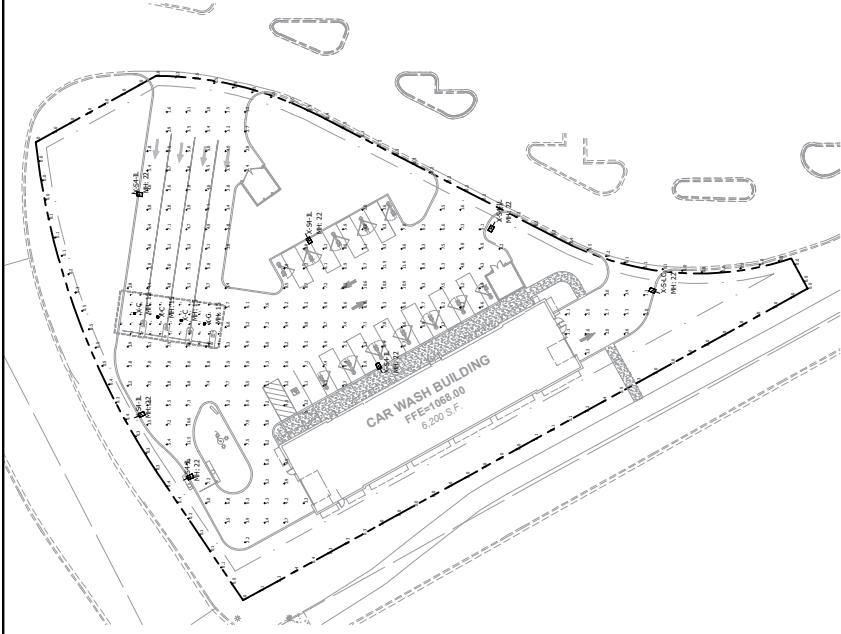




CREW CARWASH - 3D VIEWS

CREW CARWASH, INC
BROOKLYN PARK, MN

11/20/2025
PROJ025



Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description
—	1	X-S-LC	Single	8545	0.900	104	DL201261
—	6	X-S4-TL	Single	28747	0.900	261	DL201260
+	4	X-C	Single	3549	0.900	20.28	DL200722

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
_Property Line	Illuminance	Fc	0.18	0.5	0.0	N.A.	N.A.
Exit Drive	Illuminance	Fc	2.18	3.4	1.1	1.98	3.09
Paved Areas & Drives	Illuminance	Fc	5.97	11.9	1.2	4.98	9.92
Under Canopy	Illuminance	Fc	8.72	12.5	4.2	2.08	2.98

LIGHTING NOTES:
 - Mounting Height = 20' Poles / 2' Base
 - Light Loss Factor = 0.90
 - Footcandle Values Calculated @ Grade

National Lighting Vendor:
 For pricing and technical assistance contact:
 Rosaleigh, Simpson or CBMC INC. tel#
 317-446-9601, rsimpson@cbmcinc.com

All electrical work shall comply with National, State, and Local codes including and not limited to the National Electric Code, NFPA 101 Life Safety Code, ASHRAE and/or IEEE Energy Codes.
 The information contained in this document is proprietary to CBMC Lighting Solutions. This document is prepared for a specific site and incorporates calculations based on data available from the client. It is not to be used for any other project without the written permission of CBMC Lighting Solutions. © 2018 CBMC Lighting Solutions all rights reserved.

CBMC LIGHTING SOLUTIONS
 5855 KOPETSKY DR, SUITE G. | INDIANAPOLIS, IN 46217
 317-780-8350 | WWW.CBMCINC.COM

SEE MORE

This lighting solution represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with IESNA approved methods. Actual performance of any manufacturer's luminaire may vary due to site specific conditions, such as mounting height, distance in lamps and LED lumen package, location adjustments, and other variables not covered here.

Contractor to check and verify all dimensions on site before commencing any work above.

CREW CARWASH - BROOKLYN PARK, MN

SITE LAYOUT

Scale: 1" = 30' Drawing No.:
 Date: 10/22/25 Prepared By:
 Drawn By: SKM
CB28644-SITE

City of Brooklyn Park Planning Commission Staff Report

Agenda Item:	5.4	Meeting Date:	February 11, 2026
Agenda Section:	Public Hearing	Originating Department:	Community Development
Resolution:	X	Prepared By:	Cara Donovan, Senior Planner
Ordinance:	N/A		
Attachments:	3	Presented By:	Cara Donovan, Senior Planner
Item:	Green Lane Express – Planning Case #26-103 Site Plan Review for a building addition for cannabis retail curbside pickup.		

Proposed Actions:

MOTION _____ SECOND _____ TO RECOMMEND APPROVAL OF SITE PLAN REVIEW FOR THE CONSTRUCTION OF AN ADDITION TO THE EXISTING STRUCTURE AT 8841 XYLON AVE N, SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.

Summary:

The request is for the construction of an addition to the existing structure located at 8841 Xylon Ave N. The 565 square foot addition on the south side of the existing building will allow for curbside pickup for a cannabis retailer.

Current Conditions:

Planning and Zoning Information		
	Current	Proposed
Land Use Plan	Employment; Business Park	No Change
Current Zoning	Business Park (BP)	No Change
Site Area	0.87 acres	
Neighborhood	Commerce	
Conforms to	Land Use Plan – Yes Zoning Code – Yes	
Public Notice	Legal notice was published in the Sun Post, 27 Notices were mailed to properties within 500 feet.	
60-Day	February 28, 2026	
120-Day	April 29, 2026	

Previous Approvals:

This property was subdivided as part of the Aurora Technical Park in 1984. The existing structure was constructed in 1997.

Current Conditions:

This site is developed with an existing 9,780 square foot building, parking to the east of the existing building, and circulation around the building connecting the two access points on Xylon Ave N.

Land Use/Zoning (and Overlay):

This property is zoned Business Park and is guided Business Park by the 2040 Comprehensive Plan. Cannabis retail and cultivation are permitted uses in the Business Park zoning district, and conform to the Comprehensive Plan. This building addition proposal meets all district setback requirements.

Proposed Development:

The applicant is proposing a 565 square foot building addition on the south side of the existing building.

Site Plan Review:

Site plans must be reviewed against the evaluation criteria required by the Code (§ 152.303). In addition, site plans are reviewed for compliance with multiple applicable sections of the Zoning Code, including standards related to use, site layout, access, parking, and public infrastructure. Staff have reviewed the proposed site plan for compliance against these requirements. Below is an analysis of the proposed site plan:

Vehicular Access and Circulation:

The property is located on Xylon Ave N with two existing access points. No additional access points are proposed.

Vehicles are proposed to enter the north entry and circulate north, west, and south of the building. Vehicles can access or bypass the curbside pickup addition on the south side of the building and exit through the southern access point.

Pedestrian Circulation:

There are no existing sidewalks on Xylon Ave N, however, sidewalks along 80th Ave N are not required. The site plan includes existing and proposed pedestrian facilities which meet circulation requirements (§ 152.1022). A Metro Transit bus stop is proposed by the applicant in the public right-of-way on Xylon Ave N. There is a proposed sidewalk connecting the bus stop to striping across the south side of the parking lot which allows pedestrians to access the proposed pedestrian path in front of the building.

Parking:

There are 16 proposed parking stalls in the existing parking area east of the building, two of which are accessible stalls. The parking code calculations for retail and manufacturing indicate 11 parking stalls are required for the existing building and proposed addition. The proposed parking stalls meet the parking requirements.

Enclosures and Screening:

The site plan proposes a waste enclosure on the north side of the property. The applicant shall provide information about the screening material for the waste enclosure that meets requirements in §152.1028.

The site plan indicates mechanical equipment that will need to be screened. The applicant shall provide information about the screening materials for mechanical equipment that meets requirements in §152.1024.

Landscaping:

The site currently has 4 existing trees and 6 shrubs. The proposed landscaping changes are minimal. The applicant shall provide detailed information about proposed landscaping materials that meet landscaping requirements in § 152.1013.

Building and Site Design Standards:

The proposed building meets the setback requirements in the Business Park district (Table 152.608.2).

The minimum height for a principal building on any property must be no less than 15 feet in height as measured from the highest adjacent grade to the top of the roof (§152.608(B)(3)). The proposed building addition is 20 feet and the existing building is 24 feet in height.

The exterior materials for the building addition will be consistent with the existing building and § 152.1005. The applicant shall provide more detailed information about the proposed architectural materials.

Grading, Drainage, and Impervious Surface:

There are no proposed changes to grading, drainage, or impervious surface coverage on the site associated with the building addition.

Lighting:

A lighting plan was not provided. Any exterior lighting changes will be required to meet lighting requirements. (§ 152.1014)

Utilities:

The existing structure is already serviced by utilities, and the expansion can be supported by existing utilities.

Staff Recommendation:

Staff recommend approval of the site plan as presented, subject to the provisions in the draft resolutions.

Alternatives to Consider:

1. Recommend approval of the site plan request as presented.
2. Recommend approval of the site plan request with modifications.
3. Recommend denial the proposal based on certain findings.

Budgetary/Fiscal Issues:

There are no budgetary or fiscal impacts anticipated by this application.

Attachments:

- A. DRAFT SITE PLAN RESOLUTION
- B. LOCATION MAP
- C. PLAN SET

RESOLUTION #2026-

RESOLUTION APPROVING A SITE PLAN REVIEW FOR THE FOR THE CONSTRUCTION OF AN
ADDITION TO THE EXISTING STRUCTURE AT 8841 XYLON AVE N

Planning Commission File #26-103

WHEREAS, Shelter Architecture, on behalf of Green Lane Express, LLC, has made application for a site plan application under the provisions of Chapter 152 of the City Code at 8841 Xylon Avenue North and legally described as:

See EXHIBIT A

WHEREAS, the zoning of the property is Business Park in which cannabis retail and cannabis cultivation are permitted uses; and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission who held the public hearing on February 11, 2026.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park:

The Site Plan Review for the construction of an addition to the existing structure is hereby approved with the following conditions:

1.00 DRAWINGS

- 1.01 Site, landscaping, and grading plans for the property on file in the City Clerk's office dated December 30, 2026 are approved, subject to conditions listed below.

2.00 BONDS, ESCROWS AND DIRECT PAYMENTS

- 2.01 A Development Contract and bonding shall be required as a development bond or letter of credit in the amount of **\$2,310,200.00**, a cash bond in the amount of **\$121,500.00**, and a developer's escrow in the amount of **\$72,900.00** as required by Chapter 152. The developer's escrow must be posted with the City to cover engineering, legal and administrative costs incurred by the City. If this account becomes deficient, it shall be the developer's responsibility to deposit additional funds. This must be done before final bonding obligations are complete.

3.00 REQUIRED DOCUMENTS

- 3.01 All utility construction, drainage, grading and development plans must be approved by the City Engineer prior to receiving a building permit.

4.00 GENERAL CONDITIONS

- 4.01 It shall be the developer's responsibility to keep active and up to date the developer's contract and financial surety (Letter of Credit, bonds, etc.). These documents must remain active until the developer has been released from any further obligation by City Council motion received in writing from the Engineering Department.

- 4.02 Before final bonding obligations are released, a certificate signed by a registered engineer must be provided. This certificate will state that all final lot and building grades are in conformance to drainage development plan(s) approved by the City Engineer.
- 4.03 No burying of construction debris shall be permitted on the site.
- 4.04 Dust control and erosion measures must be in place to prevent for dust and erosion including, but not limited to, daily watering, silt fences, and seeding. The City Engineer may impose measures to reduce dust and run-off.
- 4.05 Adequate dumpsters must be on site during construction. When full, they must be emptied immediately or replaced with an empty dumpster.
- 4.06 Signs must conform to the requirements of Chapter 150. The sign plans will be approved by staff to verify code compliance at time of building permit.

5.00 CONDITIONS

- 5.01 The applicant must submit screening details for mechanical equipment that meets requirements in §152.1024.
- 5.02 The applicant must submit screening details for the waste enclosure that meets requirements in §152.1028.
- 5.03 A photometric plan must be submitted that meets requirements in §152.1014.
- 5.04 A detailed landscaping plan is required that meets requirements in § 152.10.13.
- 5.05 Proposed building materials that meet §152.1005 must be provided.
- 5.06 A stormwater maintenance agreement is required and must be recorded with Hennepin County.

EXHIBIT A

Lot 10, Block 2, Aurora Technical Park.



Site Plan

Case #26-103 – Green Lane Express

Area of Request (August 2025 Air Photo)

8841 Xylon Ave N, Brooklyn Park MN

Brooklyn Park 



GREEN LANE EXPRESS

8841 Xylon Ave N, Brooklyn Park, MN 55428



Sheet Index

- A001 TITLE / INDEX / CONTACTS
- A002 CODE SUMMARY
- A003 SITE SURVEY
- A004 BUILDING SITE PLAN
- A005 SITE CIRCULATION PLAN
- A006 LANDSCAPING PLAN
- A100 OVERALL FLOOR PLAN
- A200 EXTERIOR ELEVATIONS
- A201 EXTERIOR ELEVATIONS
- A300 SECTIONS
- A301 SECTIONS
- A600 3D REPRESENTATIONS
- A700 SITE PHOTOS



SHELFER ARCHITECTURE
 10000 Lyndale Ave S
 Minneapolis, MN 55425
 763.455.6825
 shel@shelpher.com

project no. 250331

Green Lane Express
 Brian Buntary
 8841 Xylon Ave N
 Brooklyn Park, MN 55428

ISSUES	NO.	DESCR	DATE
	1	Review Set	12/29/25

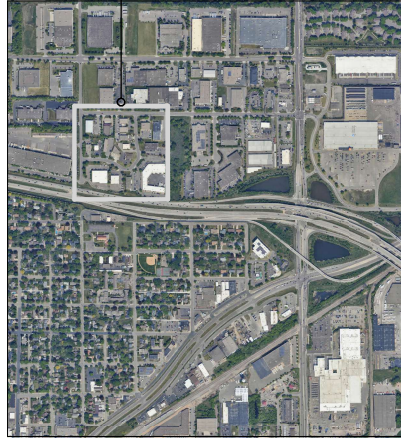
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License No.	KA / JD
Date Signed	12/29/25
Checked By	GE
Date	12/29/25

TITLE / INDEX / CONTACTS

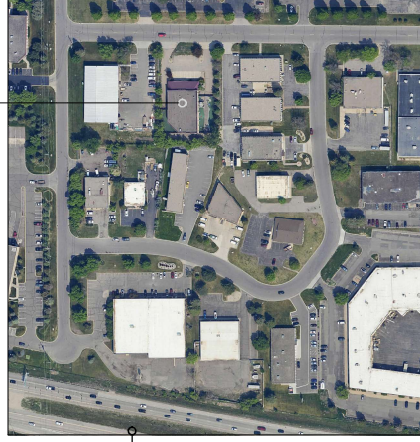
A001

NOT FOR CONSTRUCTION

Project Location Map



8841 XYLON AVE N
 BROOKLYN PARK, MN 55428



Project Information / Code Summary

Property Address:

8841 Xylon Ave N
 Brooklyn Park, MN 55428
 International Residential Code- 2021 - MN Amendments - City of Brooklyn Park
 Permit ID: 18T924-20028
 School District: 279
 Municipality: City of Brooklyn Park
 Watershed: 8

Property Area Info:

Areas:
 Total Lot Size: 37,677 Sq Ft
 Building Footprint: 8,950 Sq Ft
 Impervious Site Area: 72,000 Sq Ft
 Impervious to Lot Size %: 48.3%
 Existing building area: 8,950 Sq Ft
 Building addition area: 505 Sq Ft

Structural Engineer:

AM Structures Engineering
 10000 Lyndale Ave S
 Minneapolis, MN 55425
 Contact: Dan Wagner
 Phone: 763-426-4930
 Email: dan@amstructs.net

Contact Information

Owner:

Contact: Brian Buntary
 Phone: 763-724-9711-5401
 Email: brian@greenlaneexpress.com

Architect:

Shelpher Architecture LLC
 725 Marcell Street
 Minneapolis, MN 55405
 Contact: Greg Clarke, AIA
 Phone: 612-870-4081
 Email: greg@shelpherarchitecture.com
 Kelly Allison, Assoc. AIA
 Phone: 612-870-4081
 Email: kelly@shelpherarchitecture.com

General Contractor:

TBO
 Contact: [Redacted]
 Phone: xxx
 Email: xxx

Surveyor: (Existing Survey)

Loriford Professional Services, LLC
 10000 Lyndale Ave S
 Minneapolis, MN 55425
 Contact: Greg Larson
 Phone: 612-638-0976
 Email: G.Larson@loriford.com

Code Summary

PROJECT TYPE
 Tenant Improvement

ACCESSIBILITY CODES
 2010 Minnesota State Building Code
 2010 ADA Standards for Accessible Design
 2018 International Existing Building Code

CONSTRUCTION AND OCCUPANCY

Occupancy: M / F / I-1
 Change of Occupancy: YES
 Construction Type: IIB
 Special Requirements: N/A

BUILDING AREA (BSF) - Per Brooklyn Park Zoning & Land Use

Zoning District: BP
 Maximum Allowable Area: 30'
 Existing Tenant Space Area: 94,01 SF

PARKING REQUIREMENTS - Per Brooklyn Park Zoning (Table 152.1019.2)

USE: Manufacturing (17), Retail (1)
 REQUIRED: 17, 1
 PROVIDED: 16

MEANS OF EGRESS
 Egress Stairs: 36'
 Egress Stairs @ OCC: x 0.21
 Section 1005.5.4'

PLUMBING SYSTEMS SUMMARY

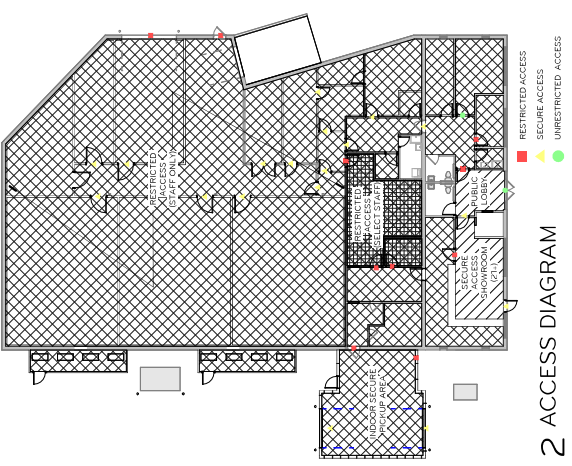
Water: Clean (0), Sewer (0), Vent (0), Lavatories (1), Service Sinks (2)

FIRE RESISTANCE RATING REQUIREMENTS (hours)
 Building Element: Type IIB
 Fire Alarm: 0
 Non-Bearing Walls and Partitions - Exterior: 0
 Non-Bearing Walls and Partitions - Interior: 0
 Non-Bearing Walls and Partitions - Secondary Members: 0
 Roof Construction and Associated Secondary Members: N/A
 Fire Protection: Section 913 (Sprinklered), Section 907 (Fire Alarm), Section 909 (Smoke Control), Section 915 (Carbon Monoxide Detection)

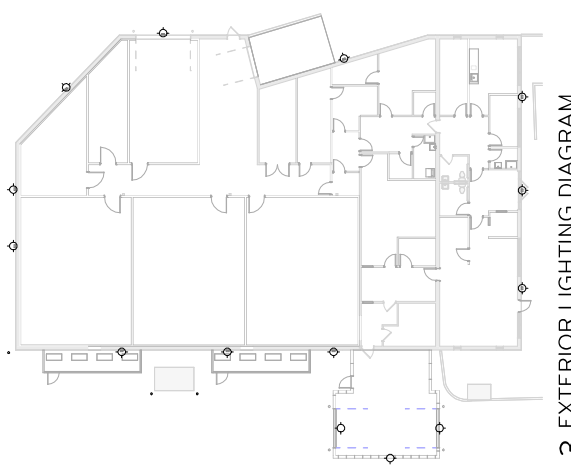
Legend

- WALL MOUNTED EXIT SIGN
- WALL MOUNTED MANUAL PULL STATION
- WALL MOUNTED FIRE ALARM WITH STROBE
- WALL MOUNTED FIRE EXTINGUISHER CABINET
- WALL MOUNTED CARBON MONOXIDE DETECTOR
- WALL MOUNTED SMOKE DETECTOR

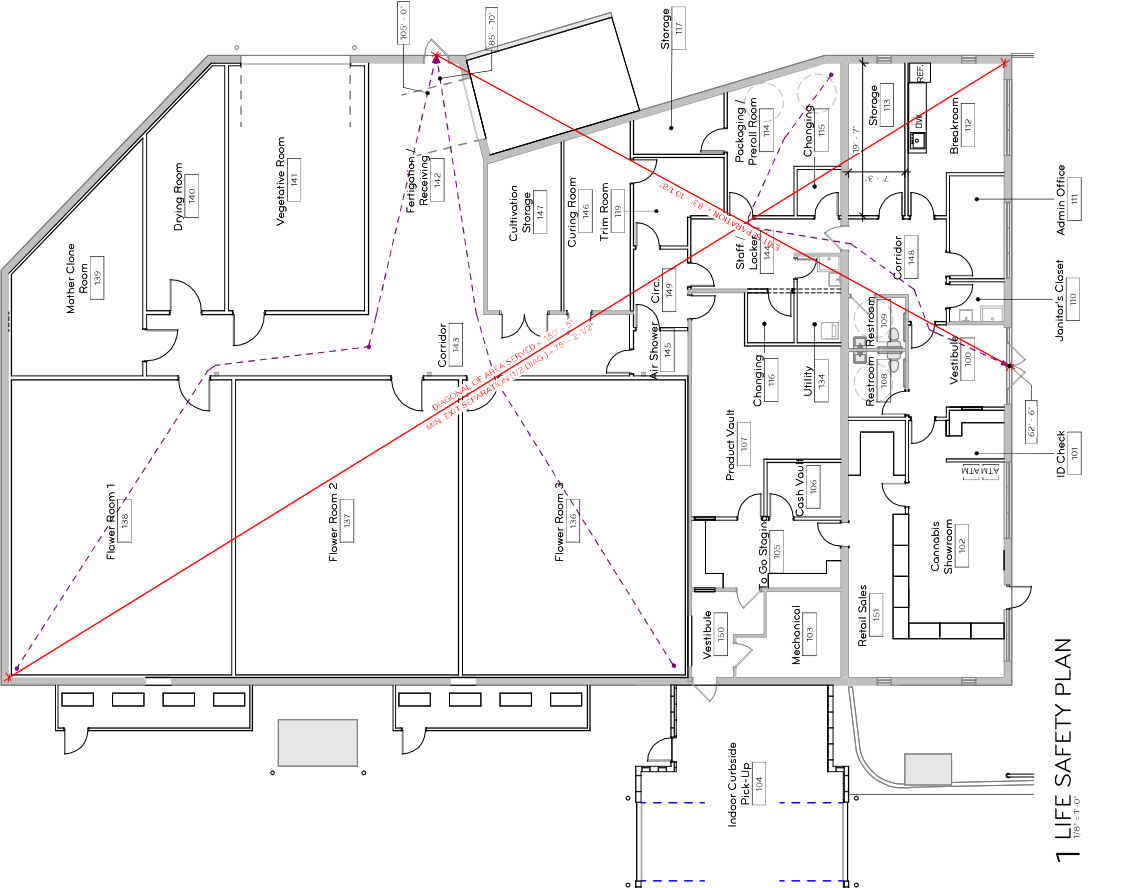
* The location of fire suppression devices subject to change to meet relevant code requirements.



2 ACCESS DIAGRAM



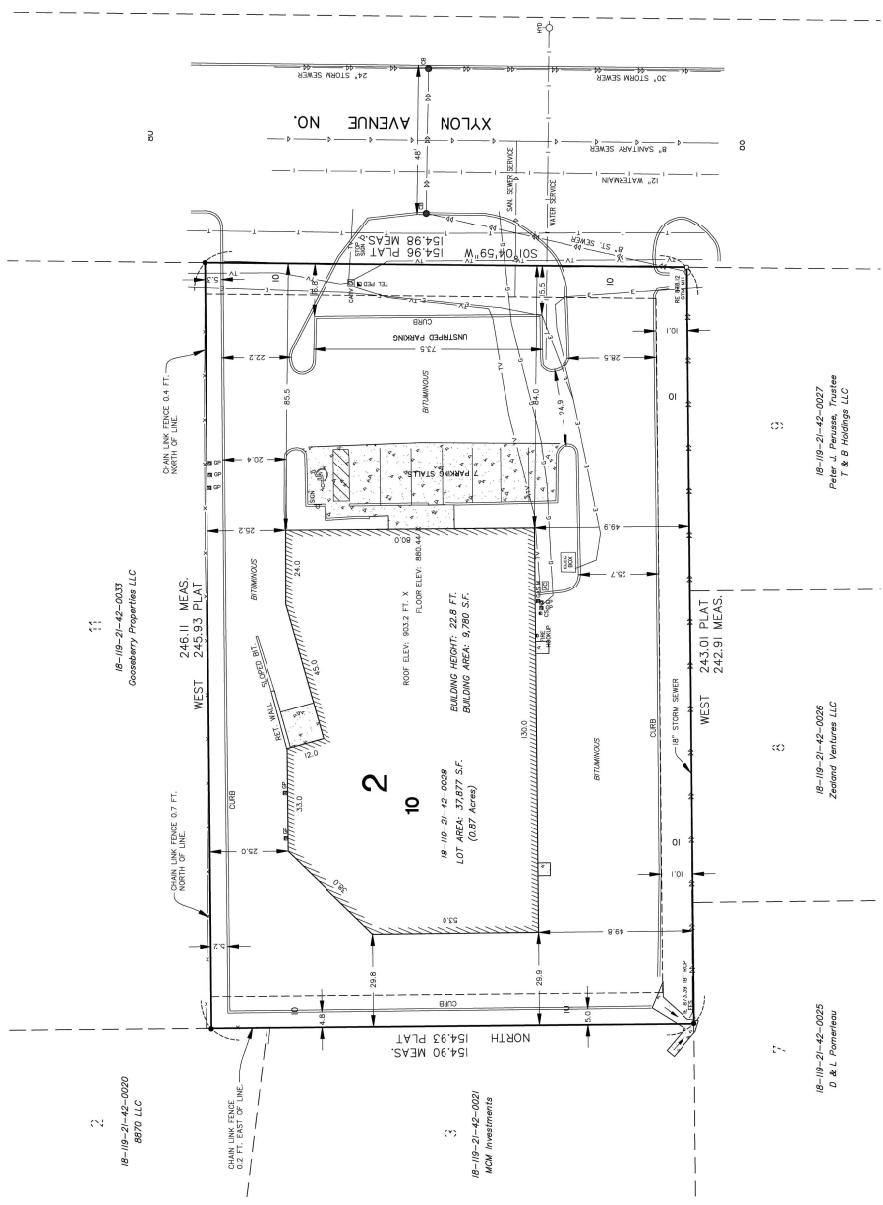
3 EXTERIOR LIGHTING DIAGRAM



OCCUPANCY & PLUMBING CALCULATIONS

Room	Occupancy Breakdown			Water Closet Breakdown		
	Men	Women	Children	Men	Women	Children
101	100	100	0	0	0	0
102	100	100	0	0	0	0
103	100	100	0	0	0	0
104	100	100	0	0	0	0
105	100	100	0	0	0	0
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1 LIFE SAFETY PLAN

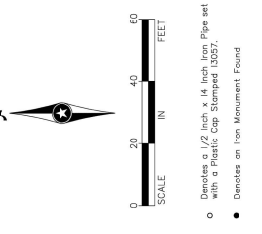


LEGEND

- Detectors Existing Water Hydrant
- Detectors Curb Stop
- Detectors Existing Sanitary Sewer Manhole
- Detectors Existing Storm Sewer Manhole
- Detectors Existing Catch Basin
- Detectors Existing Telephone Pedestal
- Detectors Existing Telephone Post
- Detectors Existing Gas Meter
- Detectors Existing Fire Hookup
- Detectors Existing Traffic Sign
- Detectors Existing Cable TV Box
- Detectors Existing Storm Flared End Section
- Detectors Existing Electric Box
- Detectors Existing Electric Pole
- Detectors Existing Underground Gas Line
- Detectors Existing Barbed Wire Fence
- Detectors Existing Underground Television
- Detectors Existing Underground Electric

Distances and Utility Easements are shown
 thus:

○ Detectors 10 feet in width and underlying right-of-way and lot lines, as shown on plat.



SUBJECT PROPERTY
 Lot 10, Block 2, AURORA TECHNICAL PARK, Hennepin County, Minnesota.
 Reference Title Commitment File No. 53825, with an effective date of November 20, 2017, by Commercial Partners Title, LLC as agent for Chicago Title Insurance Company, furnished to the subject property. The following comments on easements etc. in Schedule B, thereof use the same numbering system as in said Schedule B.

NOTES RE: SCHEDULE B - PART 2 EXCEPTIONS

- 2.) Rights of chains of parties in possession not shown by the public records. None observed.
- 3.) Any encroachment, encroachment, violation, variance or adverse encroachment encroaching into 1 line was noted to encroach by an owner of the land. There is a chain link fence encroaching onto the subject property along the west line road from the northwest corner.
- 4.) Easements or chains of easements are shown by the public records. None observed.
- 9.) Easements for utilities and drainage as shown (dedicated) on the record plat of AURORA TECHNICAL PARK. The easements are shown.
- 10.) Easement for street and drainage purposes in favor of the City of Brooklyn Park, a Minnesota municipal corporation, contained in the following easements:
 - A) Easement Dated April 28, 1982, filed July 22, 1982, as Doc. No. 4729792. The easement describes the right of way of Xylon St. No. and a temporary construction easement.
 - B) Easement Dated March 4, 1982, filed July 22, 1982, as Doc. No. 4729799. The easement describes the right of way of Xylon St. No. and a temporary construction easement.
 - C) Easement Dated March 8, 1982, filed July 22, 1982, as Doc. No. 4729801. The easement describes the right of way of Xylon St. No. and a temporary construction easement.
- 11.) Terms and conditions of Resolution No. 1998-113, granting a variance dated April 27, 1998, filed as Doc. No. 6899916. This is a variance for the width of the driving lane on the north side of the building.

NOTES RE: ITEMS IN "TABLE A"

- 1.) Monuments are shown as found or set at the corners of the boundary of the property.
- 2.) The subject property address is 8641 Xylon Ave. N., Brooklyn Park, MN.
- 3.) The subject property within Flood Zone A, area determined to be in accordance with the annual chance floodplain, according to the FIRM, Flood Insurance Rate Map, Number 2705030182F, map effective date November 4, 2016.
- 4.) The area of the subject property is 37,877 sq. ft. or 0.87 acres.
- 5.) (a) According to the Minnesota State Building Code, the building shall be constructed in accordance with the City of Brooklyn Park, Minnesota Building Code, which is based on the International Building Code, 2015 Edition, with amendments. The building shall be constructed in accordance with the City of Brooklyn Park, Minnesota Building Code, which is based on the International Building Code, 2015 Edition, with amendments. The building shall be constructed in accordance with the City of Brooklyn Park, Minnesota Building Code, which is based on the International Building Code, 2015 Edition, with amendments. The building shall be constructed in accordance with the City of Brooklyn Park, Minnesota Building Code, which is based on the International Building Code, 2015 Edition, with amendments.
- 7.) (a) The building dimensions are shown.
- 8.) Substantial features observed in the process of conducting the fieldwork are shown.
- 9.) The marked parking areas consist of 7 regular outdoor parking spaces, and 1 handicap space.
- 10.) (a) As designed by the client, a determination of the relationship and location of certain features or party walls with respect to adjoining properties (client to obtain necessary permission). None designated.
- 11.) Utilities shown are per a combination of the following:
 - a.) Visual evidence
 - b.) Utility records
 - c.) Information provided to us by Cooper State One-Call, Ticket No. 17546994, dated December 20, 2017. Some utilities may not have been located.

Note: The utility records and maps, with regard to Table A, Item 11, contain information from plans and mappings will be combined with the visual evidence and utility records to show a 5 ft. or greater clearance of the utility lines. In the event of a utility line crossing over the subject property, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case, the utility lines may not be shown. The client is advised that excavation and/or a private utility locate request may be necessary.

- 13.) Names of adjoining owners according to the current tax record. The names are shown.
- 16.) Evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork. None observed.
- 17.) Proposed changes in access right of way lines, if such information is made available to the surveyor by the consulting jurisdiction. None proposed.
- 18.) No delineation was provided by the client. No markers were observed.
- 19.) No office easements or servitudes disclosed.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Permit Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(b), 8, 9, 10(a), 11, 13, 16, 17, 18 and 19 of Table A thereof. The field work was completed on December 28, 2017.

Date of Map or Plat: January 09, 2018.

OLIVER SURVEYING & ENGINEERING, INC.

Oliver P. C. [Signature]
 Surveyor
 Minnesota License No. 14307

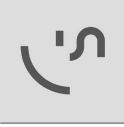
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 BOOK/PAGE: 272/20
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 CHECKED BY: LFC
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 TEXT: 1
 FILE NO.: 9203-10-10

Oliver Surveying & Engineering, Inc.
 Land Surveying • Civil Engineering • Land Planning
 580 Lodge Ave. Elk River, Minnesota 55330
 (763) 441-2072 • Fax: (763) 441-5665
 www.oliver-survey.com

AURORA TECHNICAL PARK
 HENNEPIN COUNTY, MN
 FOR
Toryon Technologies
 ALTA/NSPS LAND TITLE SURVEY

SHEET NO. 1 OF 1

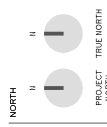


SHELTER ARCHITECTURE
 1111 W. 7th St. S
 WYOMING, MN 55093
 shelterarchitecture.com

PROJECT NO. 250331

Green Lane Express
 Brooklyn Park, MN 55428

ISSUES	NO.	DESCR.	DATE
1		Review Set	12/29/25



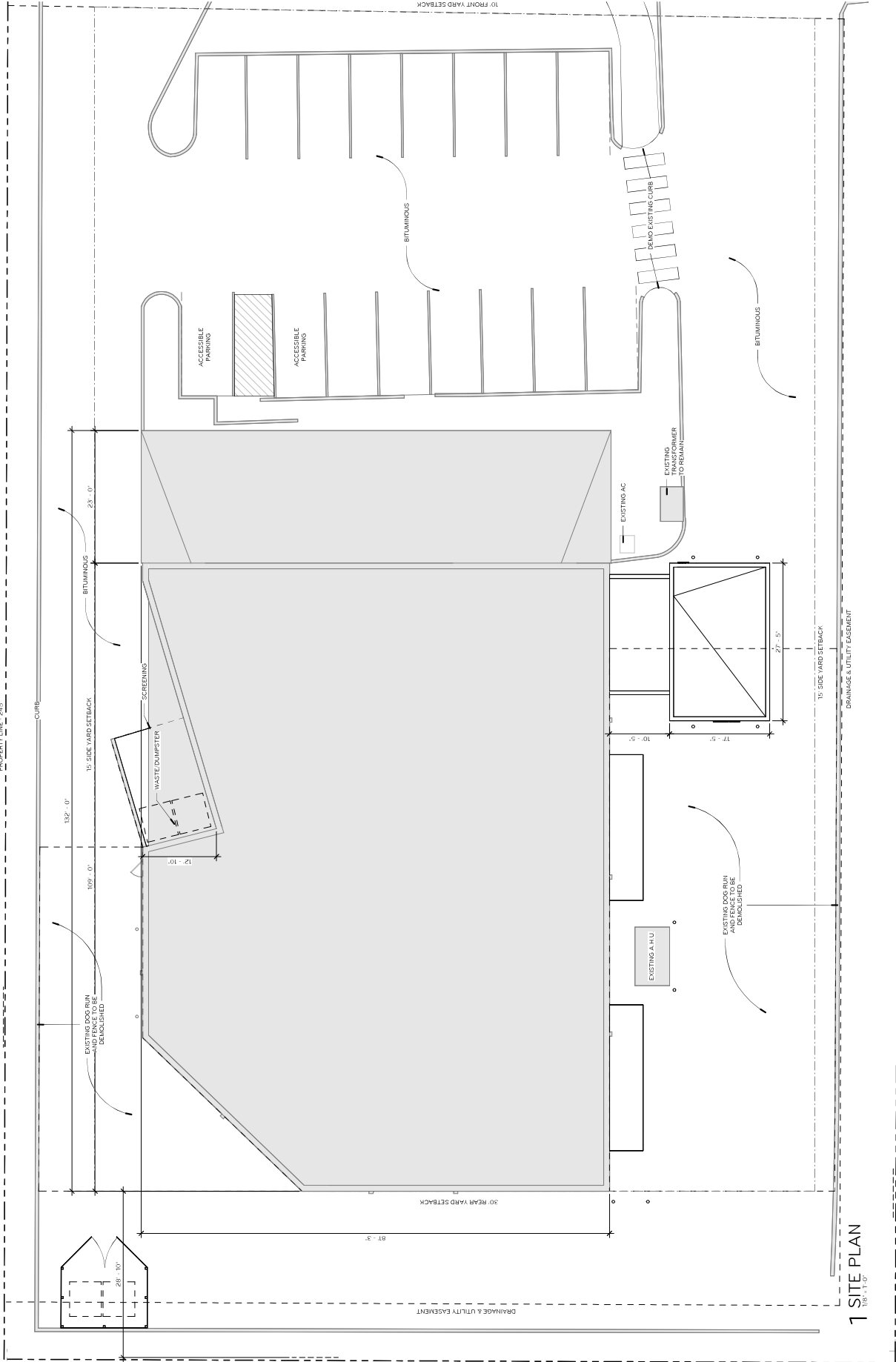
PROJECT: GREEN LANE EXPRESS
 REGISTRATION: 12/29/25

OWNER: [Redacted]
 LICENSE NO.: 53416
 DATE SIGNED: [Redacted]
 DRAWN BY: KA / JD
 CHECKED BY: GE
 DATE: 12/29/25

BUILDING SITE PLAN

A004

NOT FOR CONSTRUCTION



1 SITE PLAN
 10/21/20

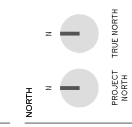


SHELTER ARCHITECTURE
 1000 Hennepin Avenue
 Minneapolis, MN 55403
 763.455.6253
 shelterarchitecture.com

PROJECT NO: 250331
 PROJECT NAME: Green Lane Express
 8841 Xylon Ave N
 Brooklyn Park, MN 55428
 DATE: 12/29/25
 REVISION: Review Set

ISSUES

NO.	DESCR.	DATE
1	Review Set	12/29/25



PROJECT NAME: Green Lane Express
 LICENSE NO.: 53416
 DATE SIGNED: KA / JD
 DRAWN BY: GE
 CHECKED BY: 12/29/25

REGISTRATION
 I am a duly licensed professional architect in the State of Minnesota. I am duly licensed in the State of Minnesota. I am duly licensed in the State of Minnesota.

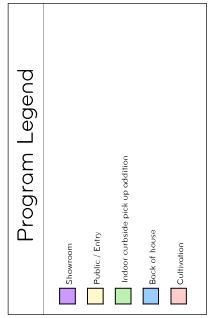
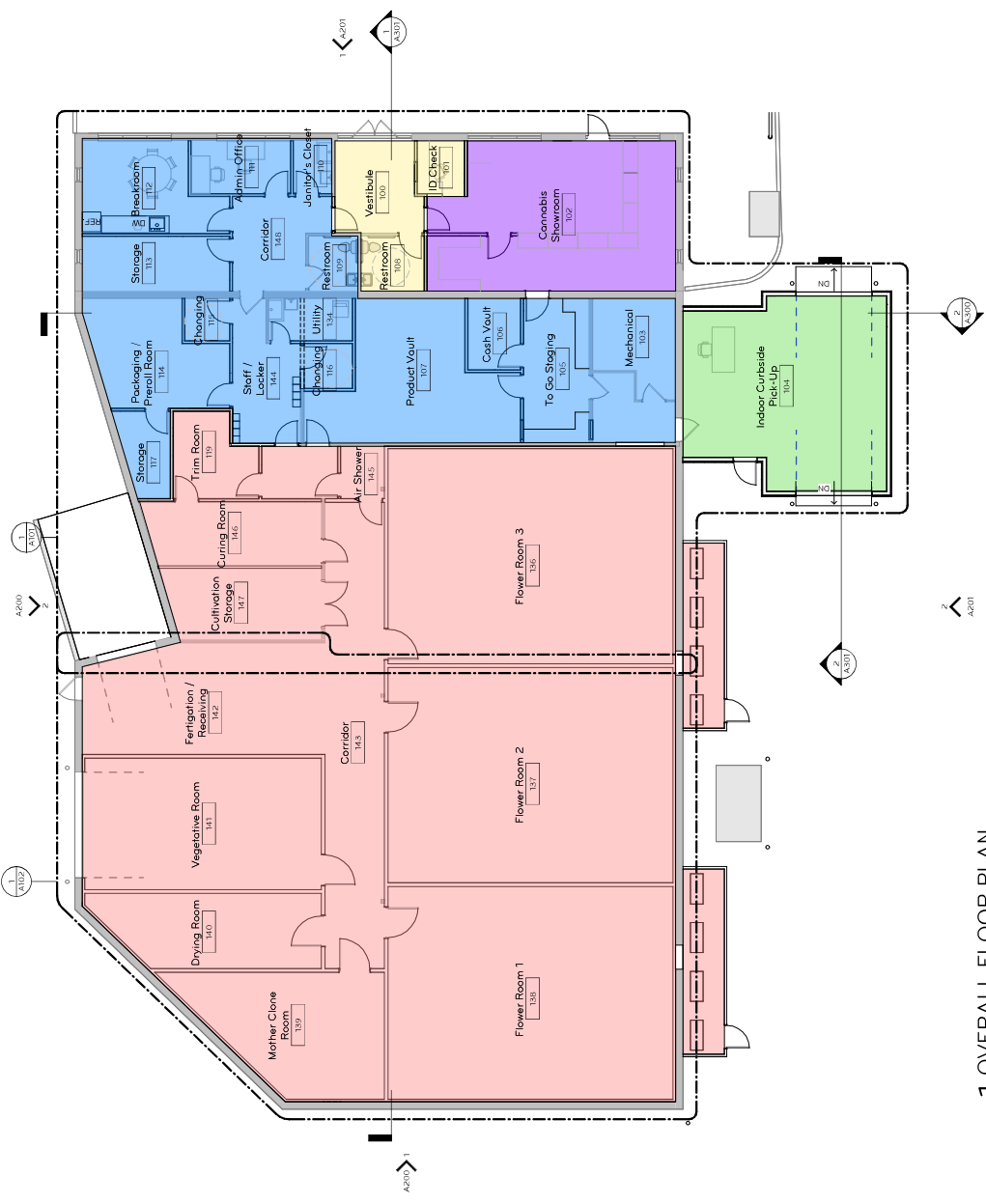
Green Lane Express
 LICENSE NO.: 53416
 DATE SIGNED: KA / JD
 DRAWN BY: GE
 CHECKED BY: 12/29/25

Notes: Architectural drawings are to be used only for the project and location specified. Any other use without the written consent of the architect is strictly prohibited. The architect is not responsible for construction methods or details not shown on these drawings.

OVERALL FLOOR PLAN

A100

NOT FOR CONSTRUCTION



1 OVERALL FLOOR PLAN
 100 - 110

12/29/25 10:44 AM



SHELTER ARCHITECTURE
 1111 W. 7th St. Suite 100
 Minneapolis, MN 55415
 612.338.8823
 shelterarchitecture.com

project no. 25033

Green Lane Express
 Brooklyn Park, MN 55428
 8841 Xylon Ave N
 Brooklyn Park, MN 55428

ISSUES	NO.	DESCR.	DATE
	1	Review Set	12/29/25

REGISTRATION
 I am a registered professional architect in the State of Minnesota. My registration number is 53416. I am currently in good standing with the State of Minnesota. I hereby certify that I have prepared the above drawings in accordance with the laws and regulations of the State of Minnesota.

Graphic Element	
LICENSE NO.	53416
DATE SIGNED	

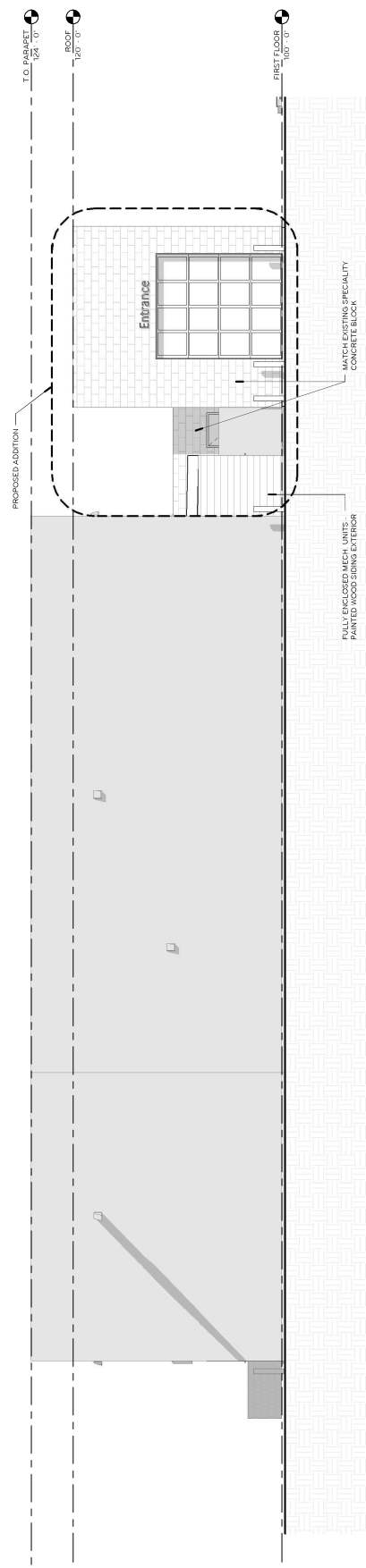
DRAWN BY	KA / JD
CHECKED BY	GE
DATE	12/29/25

Notes: All drawings are to be read in conjunction with the project description and specifications. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the construction of the project.

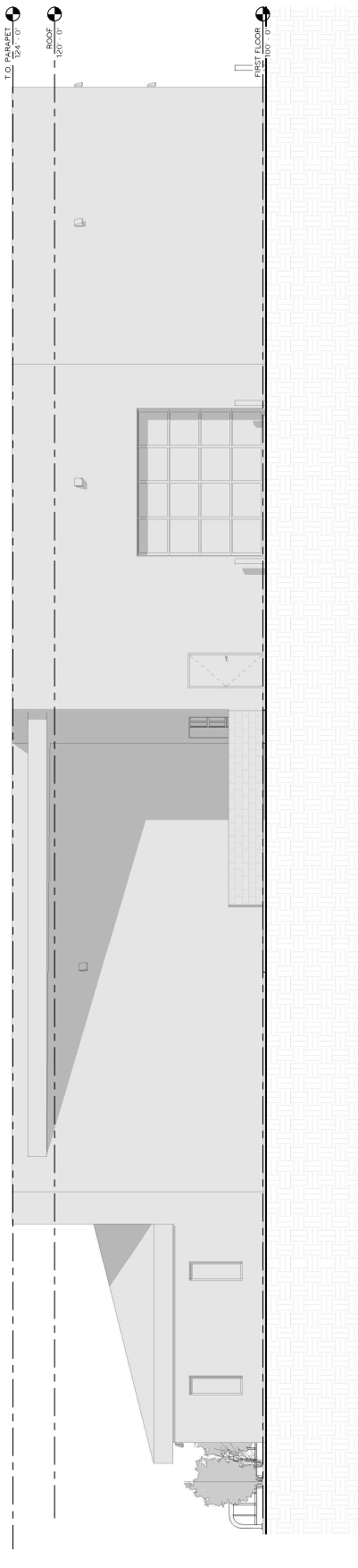
EXTERIOR ELEVATIONS

A200

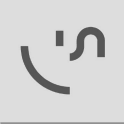
NOT FOR CONSTRUCTION



1 ELEVATION - WEST



2 ELEVATION - NORTH



SHEPHERD ARCHITECTURE
 1111
 WYOMING AVE
 WYOMING, MN 55052
 shepherdarchitecture.com

project no. 25033

Green Lane Express
 Brook Brewery
 8841 Xylon Ave N
 Brooklyn Park, MN 55428

ISSUES	NO.	DESCR.	DATE
1		Review Set	12/29/25

REGISTRATION
 I hereby certify that I am the author of the design of the drawings herein, and that I am a duly licensed and registered professional architect in the State of Minnesota.
 REGISTERED ARCHITECT

Gregory Blumh
 LICENSE NO. 53416
 DATE SIGNED

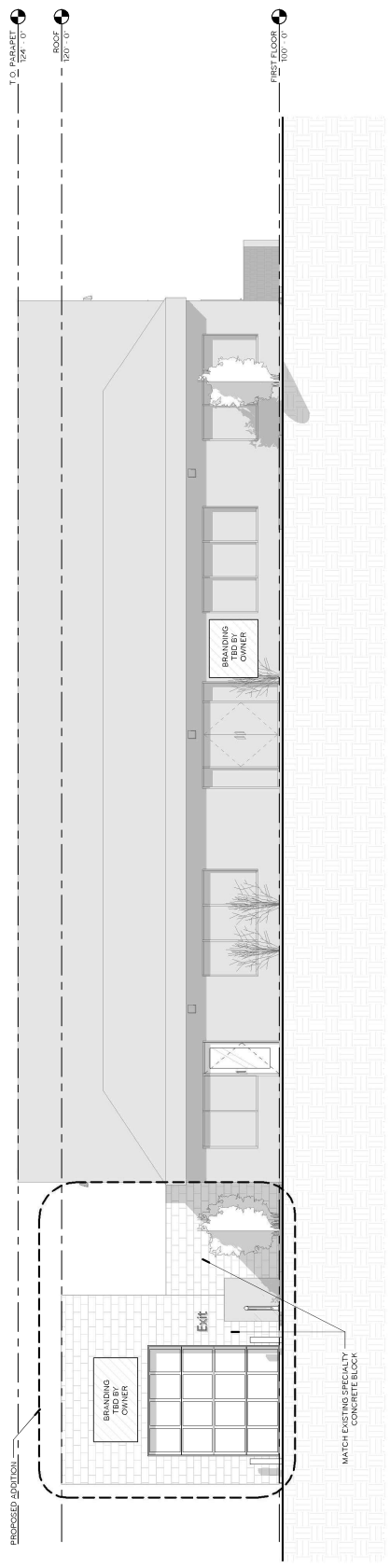
DRAWN BY KA / JD
 CHECKED BY GE
 DATE 12/29/25

Notes: Architect is not responsible for construction methods or materials. Construction methods and materials shall be determined by the contractor. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect shall not be responsible for the construction of the project.

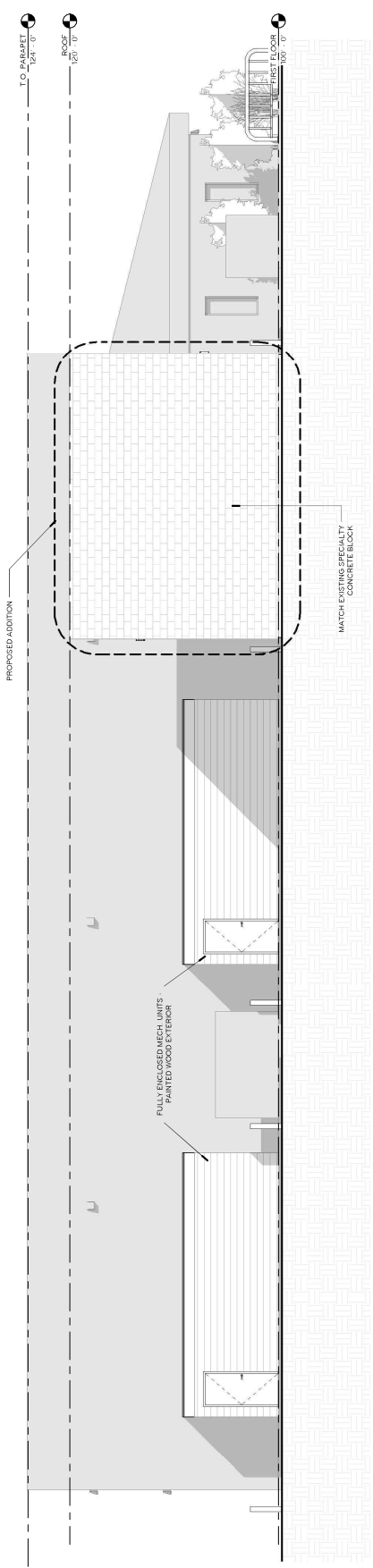
EXTERIOR ELEVATIONS

A201

NOT FOR CONSTRUCTION



1 ELEVATION - EAST
3/16" = 1'-0"



2 ELEVATION - SOUTH
3/16" = 1'-0"



SHEPHERD ARCHITECTURE
 1111 Hennepin Avenue
 Minneapolis, MN 55403
 763.450.0823
 shepherdarchitecture.com

Green Lane Express
 841 Xylon Ave N
 Brooklyn Park, MN 55428
 project no. 25033

ISSUES
 NO. DESCR. DATE
 1 Review S-4 12/29/25

REGISTRATION
 I hereby certify that I am the author of the design and content of the drawings herein, and that I am a duly licensed professional architect in the State of Minnesota.
 SHEPHERD ARCHITECTURE

Greater Events 53416
 LICENSE NO.
 DATE SIGNED
 DRAWN BY KA / JD
 CHECKED BY GE
 DATE 12/29/25

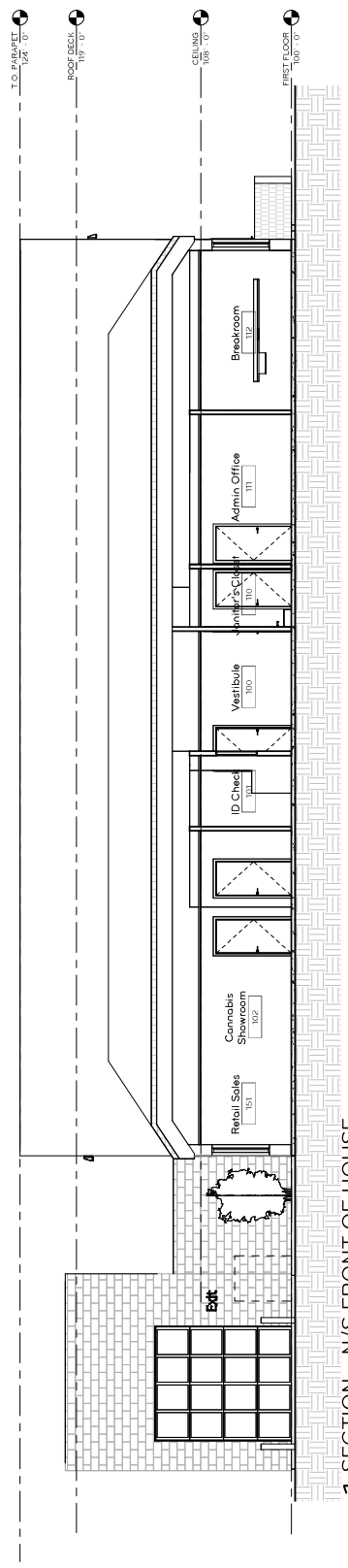
Notes: All work shall be in accordance with the Minnesota State Board of Architecture and Professional Engineers, Inc. (MBAPE) Rules and Regulations, and the Minnesota State Board of Building and Fire Safety (MSBFS) Rules and Regulations.

SECTIONS

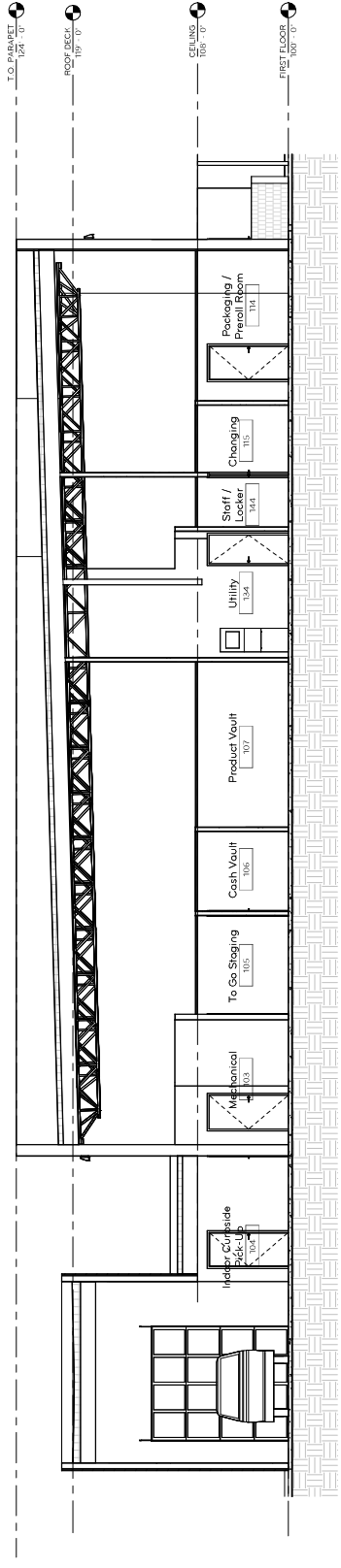
A300

NOT FOR CONSTRUCTION

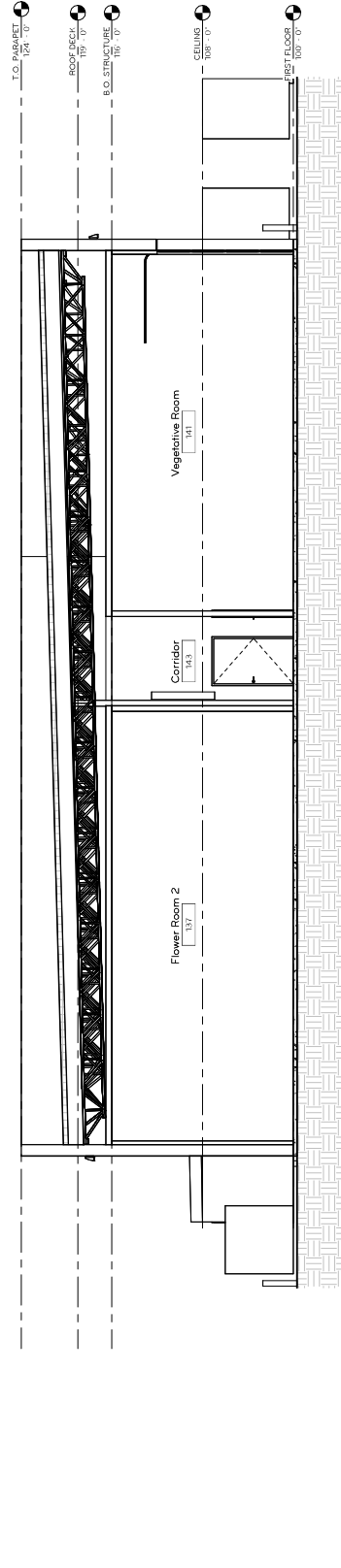
01/20/2024



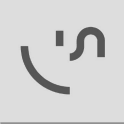
1 SECTION - N/S FRONT OF HOUSE
 3/16" = 1'-0"



2 SECTION - N/S BACK OF HOUSE
 3/16" = 1'-0"



3 SECTION - N/S CULTIVATION
 3/16" = 1'-0"



SHEPHERD ARCHITECTURE
 1000 Hennepin Avenue, Suite 100
 Minneapolis, MN 55403
 612.338.8823
 shepherdarchitecture.com

project no. 20033

Green Lane Express
 Brian Burtley
 8841 Xylon Ave N
 Brooklyn Park, MN 55428

ISSUES	NO.	DESCR	DATE
	1	Review Set	12/29/25

REGISTRATION
 I am a duly licensed and registered architect in the State of Minnesota, License No. 53416, and I hereby certify that I am the author of the design and content of the drawings herein, and that I am not providing any services to the client in violation of the Minnesota Professional Practice Act.

Designer: Brian Burtley
 License No.: 53416
 Date Signed: 12/29/25

Drawn By: KA / JD
 Checked By: GE
 Date: 12/29/25

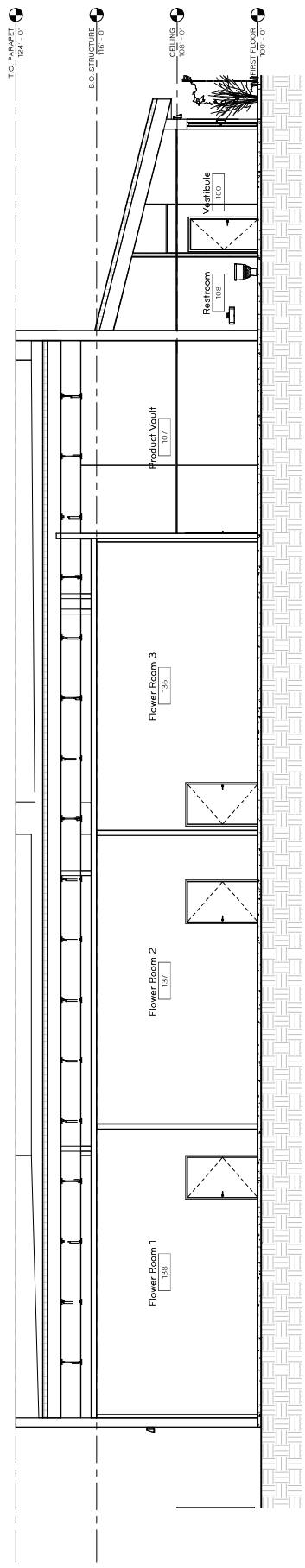
Notes: All drawings are to be reviewed and approved by the client. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect is not responsible for the construction of the project.

SECTIONS

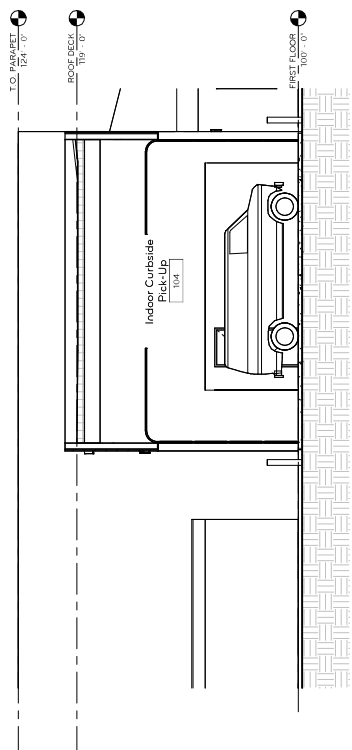
A301

NOT FOR CONSTRUCTION

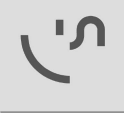
12/29/25



1 SECTION - E/W
3/8" = 1'-0"



2 SECTION - E/W PICKUP AREA
3/8" = 1'-0"



SHelter ARCHITECTURE
1500 University Ave
W715-455-0825
shelterarchitecture.com

project no. 250331

Green Lone Express
Brooklyn Park, MN 55428
Brian Buntz
8841 Xylon Ave N

ISSUES	NO.	DESCR	DATE
	1	Revised	12/29/25

REGISTRATION
I hereby certify that I am a duly registered professional architect in the State of Minnesota, and that I am the author of the work herein.

Gregory Elmer	
LICENSE NO.	53416
DATE SIGNED	
DRAWN BY	KA / JD
CHECKED BY	GE
DATE	12/29/25

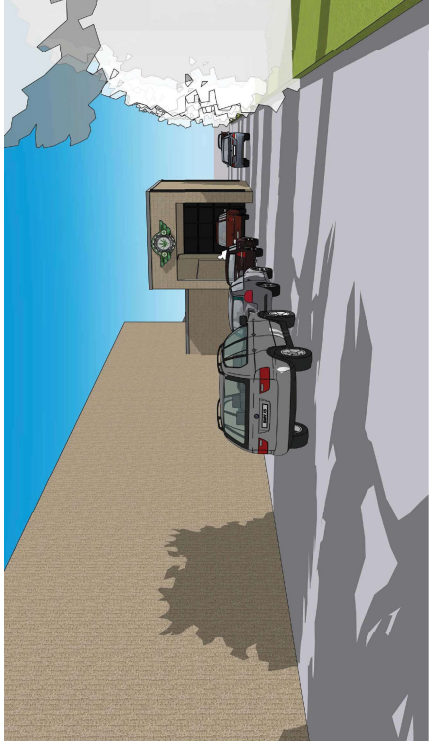
3D REPRESENTATIONS

A600

NOT FOR CONSTRUCTION



NORTHEAST PERSPECTIVE



INDOOR CURBSIDE PICK-UP ENTRANCE



SOUTHEAST PERSPECTIVE



INDOOR CURBSIDE PICK-UP EXIT

City of Brooklyn Park Planning Commission Staff Report

Agenda Item:	6.1	Meeting Date:	February 11, 2026
Agenda Section:	Public Hearing	Originating Department:	Community Development
Resolution:	N/A	Prepared By:	Cara Donovan, Senior Planner
Ordinance:	N/A		
Attachments:	N/A	Presented By:	Cara Donovan, Senior Planner
Item:	Brooklyn Boulevard Corridor Plan Presentation		

Summary:

The City of Brooklyn Park is developing a small area plan on Brooklyn Blvd that is funded by the Economic Development Authority and a \$50,000 Planning Grant from Hennepin County. This plan will focus on Brooklyn Blvd between Bottineau Blvd and Regent Ave. The plan aims to guide future development such as housing and new spaces for businesses by studying the current real estate market, researching economic conditions, and working with property owners to determine what is achievable and desired in today's environment.

Tonight's presentation will introduce the project team, describe what work has been done so far, and explain next steps.