
June 11th, 2025
7:00 p.m.

Brooklyn Park Council Chambers
5200 85th Avenue North
Brooklyn Park, MN 55443

PLANNING COMMISSION REGULAR MEETING – AGENDA #6

For reasonable accommodations or alternative formats, please provide a 72-hour notice by calling 763-424-8000 or emailing Asma.Jihad@brooklynpark.org. Si usted necesita esta información en español, llame al 763-424-8000 y solicite un intérprete. Yog xav tau kev pab, hu 763-493-8059.

Commissioners: Chair Liam Cavin, Vice Chair Kathy Fraser, General Officer John Kiekow, Christopher Udomah, Philip Gaye-Bai, Teshite Wako, Maggie Borer, Shereese Turner.
Staff Liaison Paul Mogush, Erin McDermott, Cara Donovan, Matt Hayes-Regan, Ruby Davis and Asma Jihad

Members of the public can monitor the meeting by watching it on CCX Media Channel 16 or by livestreaming it at https://nwscce-brooklynpark.granicus.com/ViewPublisher.php?view_id=5.

Anyone who wants to address the Planning Commission during the Public Comment period may do so in person or by calling **763-493-8056** or emailing planning@brooklynpark.org by 4:00 p.m. on the meeting day. You will be asked to provide your name, address, email, and phone number. You will then be registered to speak during the Public Comment period or on the agenda item and will be provided with the call-in number to address the Planning Commission.

I. ORGANIZATIONAL BUSINESS

1. CALL TO ORDER/ROLL CALL/PLEDGE OF ALLEGIANCE

2. EXPLANATION BY CHAIR

Please be advised that the public hearings are recorded and televised live on cable television and web-streamed over the internet at brooklynpark.org. The audio system will not pick up comments from the seating area. If you want to be heard and made a part of the public record, please go to the podium or, if participating remotely, turn on your camera; speak into the microphone, stating your full name and address. Please sign the public hearing logbook on the table near the entrance to the Council Chambers if you are attending in person to ensure accuracy of name and address in the public record. Please note that the agenda for tonight's meeting indicates that the Commission Chair has the prerogative to invoke a time limit for speakers during any public hearing in the interest of maintaining focus and the effective use of time. Thank you in advance for your cooperation.

The Planning Commission consists of nine resident-volunteer members appointed by the City Council to advise the City Council on planning and land use issues. The Commission discusses and evaluates development proposals based on zoning regulations and comprehensive plan policies. The Planning Commission vote is a recommendation that is forwarded to the City Council for official and final action.

3. APPROVAL OF AGENDA

II. REQUIRED DUTIES

4. CONSENT AGENDA

4.1 Approval of Minutes May 14th, 2025 Regular Meeting

4.2 Approval of Minutes May 14th, 2025 Work Session

5. PUBLIC HEARING

§ 31.61 DUTIES. The Planning Commission must hear and review all petitions to amend the zoning classifications of this code or to obtain a special permit. The Planning Commission must then report its recommendations to the Council for action.
(’72 Code, § 250:10)

5.1 Planning Case #24-116 | BCS African Foods | Site Plan, Preliminary and Final Plat, and Variance

OVERVIEW: This request is for a 3,171 square foot building addition at 7916 Brooklyn Blvd. Three land use applications are included with this application: a preliminary plat, a variance, and a site plan.

STAFF RECCOMENDATION: Staff recommends approval of the preliminary plat, variance, and site plan with the conditions listed in the attached draft resolutions.

Presented by: Cara Donovan, Senior Planner

5.2 Planning Case #25-110 | BAPS Temple | Conditional Use Permit

OVERVIEW: BAPS Shri Swaminarayan Mandir, Minneapolis (hereafter BAPS Mandir) has submitted a CUP application to use 8700 Wyoming Ave N as a Hindu Place of Worship. BAPS Mandir is also requesting a CUP for the operation of a rectory in the same building as the Mandir.

STAFF RECOMMENDATION: Staff recommend approval of the CUPs as presented, subject to the provisions in the draft resolutions.

Presented by: Matt Hayes-Regan, Associate Planner

6. OTHER BUSINESS

III. DISCUSSION ITEMS

IV. VERBAL REPORTS AND ANNOUNCEMENTS

- 7. OLD BUSINESS**
- 8. COUNCILMEMBER LIASON COMMENTS**
- 9. PLANNING COMMISSIONER COMMENTS**
- 10. STAFF LIASON COMMENTS**

V. ADJOURNMENT

UNAPPROVED MINUTES

MINUTES OF THE BROOKLYN PARK PLANNING COMMISSION Regular Meeting – May 14, 2025



I. ORGANIZATIONAL ITEMS

1. CALL TO ORDER/ROLL CALL/PLEDGE OF ALLEGIANCE

The meeting was called to order at 7:00 PM.

Those present were: Commissioners Cavin, Arah, Borer, Fraser, Udomah, Turner, and Wako; Council Liaison McGarvey; Planning Director Mogush; Senior Planner Cara Donovan, Senior Planner Erin McDermott, Associate Planner Matt Hayes-Regan, and Program Assistant Asma Jihad.

Those arrived late: None.

Those not present were: Commissioners Gaye-Bai and Korosso. (with prior notice).

2. EXPLANATION BY CHAIR

3. APPROVAL OF AGENDA

MOTION WAKO, SECOND FRASER TO APPROVE THE MAY 14, 2025, AGENDA.

MOTION CARRIED UNANIMOUSLY.

II. REQUIRED DUTIES

4. CONSENT AGENDA

4.1 Minutes – April 9, 2025

MOTION TURNER, SECOND WAKO TO APPROVE THE APRIL 9, 2025, CONSENT AGENDA.

MOTION CARRIED UNANIMOUSLY.

5. PUBLIC HEARING

5.1 Planning Case #25-108 – Park Commons – Drive-Through Variance

Senior Planner McDermott introduced the application for a variance request for Park Commons on behalf of 7625 Holdings LLC. She provided information about the property location, zoning, buildings currently on the site, and adjacent uses. She stated that the variance request is related to the northwest building and provided background information on how a variance request is reviewed and considered. She explained that the first variance is related to the drive-through, which would be proposed between the structure and right-of-way. She explained that this site was constructed prior to the existing zoning standards and is a legally non-conforming use. She stated that there are other legal non-conforming uses with drive-throughs. She stated that the applicant noted the many vacant spaces in the area, and this drive-through would ensure that the tenant space can be rented. She explained that only the variance is before the Commission, as

they wanted to determine if that would be approved before spending additional time and funds on the Conditional Use Permit (CUP) and site plan. She provided a concept plan provided by the applicant and stated that staff recommend approval of the findings of fact and variance.

Planning Director Mogush stated that he received a voicemail from the applicant who stated that he was on the way to the meeting but had car trouble.

Commission Chair Cavin opened the public hearing.

Seeing no one approach the podium, Commission Chair Cavin closed the public hearing.

Commissioner Borer asked if the drive-through would be available to any tenant or one specific tenant.

Senior Planner McDermott replied that the drive-through would be for Chipotle, which is a long-time tenant. She explained that the applicant is working with Chipotle to maintain them as a tenant in the building while meeting their current needs.

Commission Chair Cavin commented that the pass-by lane looks tight around the building and asked if public safety would review the plans to ensure the requirements are met.

Senior Planner McDermott confirmed that would be a part of the site plan review.

Commissioner Udomah asked for additional information on the flow of traffic.

Senior Planner McDermott replied that would be reviewed as part of the site plan review.

Commissioner Wako recognized that this is a multitenant space and asked if the drive-through would be only for one tenant or could provide an opportunity for other tenants.

Senior Planner McDermott replied that this would only be for Chipotle. She stated that there are three buildings on the site, and if the need arises, they could work with the property owner to determine if that could be accommodated. She stated that the other tenants do not have the same interest.

MOTION BORER, SECOND TURNER TO ADOPT THE FINDINGS OF FACT FOR THE APPROVAL OF A VARIANCE REQUEST FOR A DEVIATION FROM ZONING CODE SECTION 152.904(E)(1) FOR THE CONSTRUCTION OF A DRIVE-THROUGH BETWEEN THE PRINCIPAL STRUCTURE AND PUBLIC RIGHTS-OF-WAY AT 7631 JOLLY LANE NORTH, SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.

MOTION CARRIED UNANIMOUSLY.

Senior Planner McDermott stated the public hearing item is scheduled to be reviewed at the City Council meeting on May 28, 2025.

5.2 Planning Case #25-109 – SotaShine – Site Plan and Conditional Use Permit

Associate Planner Hayes-Regan introduced the application for a site plan review and Conditional Use Permit (CUP) from SotaShine. He provided details on the property location, zoning, and adjacent property uses. He reviewed details of the site plan, which meets all requirements. He also reviewed the elevations and exterior finish information provided by the applicant. He stated that car washes are a conditional use within the BP District and reviewed the factors used to review a CUP request, noting that the requirements are met by the request. He reviewed the conditions proposed for the CUP. Staff recommends approval of the site plan review and CUP for a car wash as submitted.

Nick Netley, applicant, stated that they are excited about this location, which would break a world record in length, noting that this would be their third location. He commented on the benefits of indoor vacuuming in winter conditions. He stated that this location has great traffic counts. He provided information on the three stacking lanes and how traffic would flow through the site.

Commission Chair Cavin asked if there would be food inside.

Mr. Netley commented that they would not have food, but they would have a mat cleaning station and a public restroom.

Commission Chair Cavin opened the public hearing.

Bonnie O'Brien, 8203 109th Place N, was interested to know the hours of operation and whether the business would be open 24 hours. She asked for details on when construction would begin and be completed, and whether it would coincide with the road project. She asked if construction would follow the quiet times of Champlin to not begin prior to 7 a.m. She commented on the disruption she has experienced from the construction of other buildings on this property. She asked if the residents would be notified of when this goes before the City Council.

Seeing no one further approach the podium, Commission Chair Cavin closed the public hearing.

Associate Planner Hayes-Regan commented that this is scheduled to move forward to the City Council at the May 28th meeting. He stated that if approved, the applicant would have until December 2026 to complete construction or request additional time.

Planning Director Mogush commented that Brooklyn Park does have similar quiet hours and encouraged her to reach out if she is hearing construction noise prior to 7 a.m.

Mr. Netley commented that their other locations are open 7 a.m. to 8 p.m., so this would be similar, but could perhaps be open until 9 p.m., as this would have indoor vacuuming. He stated that they are open seven days per week. He stated that they would propose a pylon sign along the northwest corner of TH 169.

Boyd Netley, SotaShine, provided additional details on the sign location. He confirmed that the sign would be backlit with a digital reader.

Commission Chair Cavin asked for information on water usage and chemicals used.

Mr. B. Netley replied that they would have a reuse system and provided details on how the system works.

Commission Chair Cavin asked if there are any other elements of sustainability.

Mr. B. Netley replied that they would be using solar panels on the roof.

Planning Director Mogush commented that the City Council meeting for this item and the previous item is Tuesday, May 27th because of the holiday. He stated that neighbors were notified of the public hearing tonight and explained that there is not a separate notification for the Council meeting.

Commissioner Borer recognized the access to the site from 108th and asked for details on traffic flow.

Associate Planner Hayes-Regan commented that this would be an amenity for the business park, and therefore, many users would come from within that area as well as residents in the area. He noted that the traffic engineer reviewed the plans and did not have any concerns with traffic flow or volume.

Commission Chair Cavin asked if there are plans for Outlot C.

Associate Planner Hayes-Regan replied that there is nothing proposed for that Outlot at this time.

Commissioner Udomah commented that while he will miss the festivals and events that were held on the site, this will also be an amenity for the area. He asked for details on the anticipated employment of the facility.

Mr. N. Netley replied that this facility would have more staff than their other facilities and estimated three employees in the vacuum area, with eight to ten employees onsite at any time.

Commissioner Borer asked if the customers or employees would vacuum the vehicles.

Mr. N. Netley replied that the vacuums are self-service but are included as part of the cost.

Commissioner Udomah asked if there would be detailing available where customers drop off their vehicles for cleaning.

Mr. N. Netley replied that they would not do detailing. He explained that the carwash washes the vehicle, and the vacuum area would be self-service.

Commissioner Borer asked how the noise of the vacuums would be for the employees.

Mr. N. Netley explained that the vacuum area would be separate and noted that they have not had complaints about the noise from the vacuum facilities at his other locations.

Commissioner Wako asked if there would be access from TH 169.

Mr. N. Netley replied that there would not be access from TH 169. He confirmed that vehicles would not be dropped off for cleaning.

Commissioner Wako asked for clarification on the location of the vacuums.

Mr. N. Netley reviewed the path a vehicle would take through the car wash and how a customer could choose to exit after the wash or circle back around to the indoor vacuum area.

Commissioner Wako asked where snow would be stored on the lot.

Mr. N. Netley replied that they use snowblowers on their other lots and would do the same here, as that allows them to direct the snow where they want it. He identified areas where snow could be stored on the lot.

Commissioner Wako asked how often the water debris is cleaned out.

Mr. B. Netley replied that it is cleaned out once per quarter.

Mr. N. Netley replied that sometimes it is emptied more often in the winter. He explained that there is a gauge on the system that allows them to schedule clean out when it is needed. He explained that a large pump truck comes to collect the material early in the day. He commented that the material is mostly rocks and sand, the debris that builds up on vehicles and comes off in the wash.

Commission Chair Cavin asked if there would be a lighting plan that would meet the standards.

Associate Planner Hayes-Regan commented that a photometric plan was submitted and reviewed.

Commission Chair Cavin reopened the public hearing.

The audio recording of the meeting ended unexpectedly right before the public hearing. The remainder of the meeting minutes are drafted based on staff recollection of the regular meeting.

Margaret Schoolmaster 8225 109th Place N., Champlin, asked about what the hours of operations would be for this development. She has concerns about the noise of operations because it has been a nuisance for her in the past with other development projects in the area. She also stated that the City of Champlin has quiet hours ordinance and would like for the development of Sota Shine to abide by the ordinance. She also asked when the construction will start and anticipated the completion date on 109th street.

Commission Chair Cavin requested that staff answer Maragaret Schoolmaster's questions.

Planning Director Mogush replied with confirmation that Brooklyn Park also has a quiet hours ordinance.

Mr. N Netley stated that the hours of operations will be like their other locations in the metro.

MOTION TURNER SECOND BORER TO RECOMMEND APPROVAL OF RESOLUTION APPROVING A SITE PLAN REVIEW FOR THE CONSTRUCTION OF A CAR WASH LOCATED AT AN ADDRESS TO BE DETERMINED AT 108TH COURT, BROOKLYN PARK, MN 55445.

MOTION CARRIED UNANIMOUSLY.

MOTION TURNER SECOND BORER TO RECOMMEND APPROVAL OF A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR THE OPERATION OF A CAR WASH LOCATED AT AN ADDRESS TO BE DETERMINED AT 108TH COURT, BROOKLYN PARK, MN 55445.

MOTION CARRIED UNANIMOUSLY.

Planning Director Mogush stated the public hearing item is scheduled to be reviewed at the City Council meeting on May 27th, 2025.

6. OTHER BUSINESS

Planning Director Mogush stated that there will be a work session after the regular meeting where we will review engineering's role in the planning process.

III. DISCUSSION ITEMS

Planning Director Mogush confirmed that Brooklyn Bridge Alliance for Youth will be at the next regular meeting net month to present their project that they have been working on.

IV. VERBAL REPORTS AND ANNOUNCEMENTS

7. Council Comments

Council Liaison McGarvey provided an update on recent actions and discussions of the City Council.

8. Commission comments

Commissioner Chair Cavin had no commission comments.

9. Staff Comments

Planning Director Mogush reminded the commission that the work session would be immediately after.

V. ADJOURNMENT

Commission Chair Cavin adjourned the meeting at 8:09 PM.

Respectfully submitted,

Paul Mogush
Planning Director

UNAPPROVED MINUTES

MINUTES OF THE BROOKLYN PARK PLANNING COMMISSION Work Session – May 14th, 2025



I. CALL TO ORDER

The meeting was called to order at 8:10 PM.

Those present were: Commissioners Cavin, Fraser, Arah, Udomah, Borer and Wako; Councilmember Liaison McGarvey; Planning Director Mogush, Senior Planner Donovan, Senior Planner McDermott, Planning Assistant Jihad, Associate Planner Hayes-Regan.

Those excused were: Commissioner Korosso

Those absent were: Commissioner Gaye-Bai

II. GENERAL INFORMATION

None.

III. DISCUSSION ITEMS/GENERAL ACTION ITEMS

1. Engineering Review for Development Projects

The Engineering Review for Development Projects presentation, led by City Engineer Marc Culver and Assistant City Engineer Mitch Robinson, provided an overview of Transportation Impacts, Stormwater Management, and Public Utilities.

City Engineer, Marc Culver explained Traffic Impact Studies which is required for any development generating approximately 1,000 or more trips per day or 100 or more vehicles in any one-hour period. He also explained Intersection Control Devices which are required when projected traffic exceeds warrants for intersection traffic control. They are also installed if warranted at opening, collect assessments if needed when future development trigger warrants.

Assistant City Engineer, Mitch Robinson explained the requirements for stormwater basins sizing form MPCA and Shingle Creek/West Mississippi Watershed Management Organization. He also explained the significance of stormwater maintenance agreement and if they are privately or publicly maintained based on the drainage area.

Commissioners appreciated the overview of how Engineering is involved in the planning process. They also expressed interest in transportation impacts and would appreciate more conversations regarding how they execute these processes.

IV. VERBAL REPORTS AND ANNOUNCEMENTS

A. COUNCILMEMBER LIASON COMMENTS

None.

B. PLANNING COMMISSION COMMENTS

None.

C. STAFF LIASON COMMENTS

None.

V. ADJOURNMENT

Interim Commissioner Chair Fraser adjourned the meeting at 9:15 PM.

City of Brooklyn Park Planning Commission Staff Report

Agenda Item:	5.1	Meeting Date:	June 11, 2025
Agenda Section:	Public Hearing	Originating Department:	Community Development
Resolution:	X	Prepared By:	Cara Donovan, Senior Planner
Ordinance:	N/A		
Attachments:	6	Presented By:	Cara Donovan, Senior Planner
Item:	BCS African Foods – An application for a Preliminary Plat, Site Plan Review, and Variance for a building addition at Kentucky Ave and Brooklyn Blvd.		

Proposed Actions:

MOTION _____ SECOND _____ TO RECOMMEND APPROVAL OF A PRELIMINARY PLAT FOR “BCS DEVELOPMENT” AT 7916 BROOKLYN BLVD.

MOTION _____ SECOND _____ TO ADOPT FINDINGS OF FACT FOR THE APPROVAL OF A VARIANCE REQUEST FOR A STAGING AREA VISIBLE FROM BROOKLYN BLVD, KENTUCKY AVE N, AND KENTUCKY CIRCLE N AT 7916 BROOKLYN BLVD, A DEVIATION WHERE A STAGING AREAS IS LOCATED BETWEEN THE PRINCIPAL BUILDING AND THE PUBLIC RIGHTS-OF-WAY, SUBJECT TO THE CONDITIONS IN THE DRAFT RESOLUTION.

MOTION _____ SECOND _____ TO RECOMMEND APPROVAL OF A SITE PLAN REVIEW FOR THE CONSTRUCTION OF A BUILDING ADDITION AT 7916 BROOKLYN BLVD SUBJECT TO CONDITIONS CONTAINED IN THE DRAFT RESOLUTION.

Overview:

This request is for a 3,171 square foot building addition at 7916 Brooklyn Blvd. Three land use applications are included with this application: a preliminary plat, a variance, and a site plan.

The property is currently an outlot and the property is required to be platted prior to additional work on site.

The site plan proposes a 3,171 square foot building addition on the north side of the existing multi-tenant building. The site plan application proposes conditions of property development and site design standards within the City. Site plans are reviewed by the Brooklyn Park Planning Commission and a recommendation is made to the City Council which votes to approve or deny the application.

The variance request for this project is related to the proposed staging area and overhead door. §152.1015(C) notes that staging areas must not be located between the principal building and a public right-of-way. This property is bordered on three sides by public right-of-way which has led to the property owner seeking a variance. The applicant has provided findings of fact as part of the submittal for this application. These variance findings of fact are described below.

Current Conditions:

The subject property is 1.02 acres. There is an existing 5,968 square foot building and parking lot on the property. The site is bounded on the west by an existing commercial building, to the north by Kentucky Circle N, to the east by Kentucky Ave, and the south by Brooklyn Blvd.

Future Land Use Plan	Community Commercial, LRT Station Area
Current Zoning	Transit Oriented Development Center District
Proposed Zoning	Transit Oriented Development Center District

Neighborhood	Shingle Creek
Site Area	1.02 Acres
Conforms to:	
Land Use Plan	Yes
Zoning Code	Yes
Notification	Legal notice was published in the Sun Post, 47 Notices were mailed to properties within 500 feet, A Neighborhood email was sent to the Shingle Creek neighborhood.
Timeline (MN §15.99)	
60-day	July 1, 2025
120-day	August 30, 2025

Land Use/Zoning and Overlay:

The site is zoned Transit Oriented Development Center District (TOD-C) and is in the Shingle Creek Neighborhood. The future land use for the property is Community Commercial and the property is located in a Light Rail Station Area. The adjacent property to the west is zoned TOD-C. The property abuts Kentucky Circle North with properties zoned Detached Single-Family Estate District (R-1) to the north. The property abuts Kentucky Ave North with properties zoned TOD-C to the east. The property abuts Brooklyn Blvd with properties zoned TOD-C to the south.

Preliminary and Final Plat:

The preliminary plat meets requirements in City Code Chapter 151 and Chapter 152. There is no minimum lot area or lot width for properties zoned TOD-C.

On May 8, 2025 the preliminary and final plats were submitted to Hennepin County Transportation for plat review. Hennepin County Transportation provided a comment letter on June 3, 2025. The applicant shall consider comments as they relate to this application, including but not limited to the following:

- County staff recommend consideration of an accessible connection to the existing sidewalk along Brooklyn Boulevard given the proximity to the future METRO Blue Line Extension light rail transit station planned at the West Broadway Avenue/Brooklyn Boulevard intersection.

A final plat is not considered with this application. Prior to final plat approvals, all comments in the plat opinion letter and comments made by Hennepin County must be addressed. After the approval of the preliminary plat, the subdivider has one year to file for approval of a final plat, unless an extension is granted. At the time of application for a final plat the following items must be submitted: a recent abstract, utility layout to the City Engineer. The City Attorney must review the draft final plat with an updated title commitment prior to final plat approval. Additional conditions of approval may be required based on the title opinion. These must be met prior to plat recordation.

Site Plan:

The applicant proposes a 46-foot by 75.5-foot square food building addition to the existing commercial building. The building addition is proposed for dry storage for the existing BCS African Foods market. The east face of the proposed addition will have two windows and an overhead door for deliveries. The north face of the building will have six windows and two doors.

A trash enclosure is proposed at the northeast corner of the building addition.

Vehicular Access and Circulation:

Vehicle circulation is not proposed to change with this site plan application. There is an existing vehicle access point and stop sign on Kentucky Ave N.

Loading Docks and Staging Areas:

One staging area adjacent to an overhead door is proposed on the east face of the building addition. §152.1015(C) notes that staging areas must not be located between the principal building and a public right-of-way. Staging areas must be screened from the public right-of-way and residential areas (§152.1015(C) and §152.1024(A)).

The applicant has indicated vegetative screening will be provided along Kentucky Circle N and Kentucky Ave N north of the access point on Kentucky Ave N. The applicant must provide a landscape plan that meets screening requirements outlined in §152.1024 (B).

Off-Street Parking:

The applicant proposes removing 11 existing parking stalls. The site plan indicates 20 parking stalls will remain on the property, including one ADA parking stall. The proposed parking is allowed as properties zoned TOD-C are exempt from minimum and maximum parking requirements §152.1020(L)(5).

Pedestrian Connections:

There are no proposed pedestrian connections included in this application. A direct and continuous pedestrian network is already provided to connect parking lots to building entrances (§152.1021(D)). Staff recommend providing pedestrian connections from the proposed doors on the north face of the building addition to the parking lot and customer building entrance.

Architecture:

The building addition is proposed to be approximately 17-feet to match the existing building height. Building materials will be similar to the existing building (e.g. ribbed concrete block, aluminum storefronts, and metal coping). The proposed exterior meets the glazing requirements of 30% for the TOD-C district (Table 152.706.1).

Lighting:

A photometric plan was provided. A new photometric plan will need to be submitted for approval with calculations for review against §152.1014.

Landscaping:

A landscape plan was submitted. A new landscaping plan is required with a plan schedule that meets the following requirements: §152.1012(D), §152.1020(J), and §152.1024.

Approximately 31% of the existing site is open space. This meets the minimum open space requirement for the TOD-C district (Table 152.1012.1).

Screening:

All loading docks and staging areas visible from public rights-of-way must be screened (§152.1024). Landscaping is proposed to screen the northern and northeastern property boundaries adjacent to Kentucky Circle N and Kentucky Ave N. The landscaping plan is required to be updated with a plant schedule that meets screening requirements for the staging area (§152.1015 and §152.1024).

The applicant has proposed a waste enclosure that meets §152.1028.

Any future rooftop equipment must be screened (§152.1024(A)).

Impervious Surface:

The maximum impervious surface coverage in the TOD-C district is 100% (Table 152.706.1). The site plan proposes impervious surface coverage of 68%.

Grading and Drainage:

There are minor proposed changes to grading on the site and no proposed changes to stormwater management for the property.

Utilities:

The existing structure is already serviced by utilities, and the expansion of this pet hospital can be supported.

Variance:

Minnesota Statute requires all variance requests be evaluated and be found to meet all conditions of the three-factor test for practical difficulties ([§ 462.357, subd. 6](#)). The findings of fact are summarized below:

The first factor, a test of reasonableness, means that the landowner would like to use the property in a practical way but cannot do so under the rules of the ordinance. It does not mean that the land cannot be put to any practical use whatsoever without the variance. For example, if the variance application is for a building too close to a lot line or does not meet the required setback, the focus of the first factor is whether the request to place the building there is reasonable. *In this case:*

Applicant Submission: The applicant states the property owner proposes to use the property in a reasonable manner, not permitted by the zoning ordinance. The use of this new addition will function in the exact same way as it does now. Loading will be done facing east, instead of facing the residential area as it does now.

Staff response: The proposed staging area is reasonable to support the existing business. The applicant also proposes screening for the staging area to attempt to reduce visibility from the public rights-of-way.

The second factor is that the landowner's problem is due to circumstances unique to the property and not caused by the landowner. The uniqueness generally relates to the physical characteristics of the particular piece of property, to the land and not personal characteristics or preferences of the landowner. When considering the variance for a building to encroach into a setback, the focus of this factor is whether there is anything physically unique about the particular piece of property, such as sloping topography or other natural features like wetlands or trees. *In this case:*

Applicant Submission: The plight of the landowner is due to circumstances unique to the property not created by the landowner. The existing building faces the public way on 2 sides. The landowner has not created this hardship.

Staff response: This property is uniquely bordered by streets on three sides. The existing building is situated along the western edge of the property limiting the opportunity to add a staging area for the existing business. Given the requirement that staging areas may not be visible for public rights-of-way this necessitates the property owner to seek a variance.

The third factor is that a variance would not alter the essential character of the neighborhood. This factor is used to consider whether the resulting structure will be out of scale, out of place, or otherwise inconsistent with the surrounding area. For example, when thinking about the variance for an encroachment into a setback, the focus is how the particular building will look closer to the lot line and if that fits in with the character of the area. *In this case:*

Applicant Submission: The variance, if granted, will not alter the essential character of the locality. This addition is designed to incorporate into the existing building, as if it has always been there, e.g. windows, exterior materials.

Staff response: The approval of this application would not alter the character of the neighborhood. The building addition will not exceed the height of the existing structure and architectural materials will match the existing building. The request is compatible with the intent prescribed in the comprehensive plan and zoning ordinance.

The required findings of §152.307 have been addressed and Staff recommends approval of the variance request.

Staff Recommendation

Staff recommends approval of the preliminary plat, variance, and site plan with the conditions listed in the attached draft resolutions.

Alternatives to Consider:

1. Approve the preliminary plat, variance request, and site plan as presented.
2. Approve the preliminary plat, variance request, and site plan with modifications.
3. Deny the preliminary plat, variance request, and site plan based on certain findings.

Budgetary/Fiscal Issues:

\$8,160.00 in park dedication fees for "BCS DEVELOPMENT" will be required with the final plat approval.

Attachments:

- A. DRAFT RESOLUTION – PRELIMINARY PLAT
- B. DRAFT VARIANCE FINDINGS OF FACT
- C. DRAFT RESOLUTION – SITE PLAN
- D. LOCATION MAP
- E. PRELIMINARY PLAT
- F. PLAN SET

RESOLUTION #2025-

RESOLUTION TO APPROVE A PRELIMINARY PLAT FOR "BCS DEVELOPMENT" AT 7916 BROOKLYN BLVD.

Planning Commission File #24-116

WHEREAS, the plat of "BCS DEVELOPMENT" (legal description Exhibit A attached) has been submitted in the manner required for platting of land under the Brooklyn Park Codes and under Chapter 462 of the Minnesota Statutes and all proceedings have been duly had thereunder, and

WHEREAS, said plat is in all respects consistent with the City plan and the regulations and requirements of the laws of the State of Minnesota and codes of the City of Brooklyn Park, Chapters 151 and 152.

WHEREAS, the granting of this plat will not be detrimental to the public welfare nor injurious to the other property in the neighborhood, and

WHEREAS, the granting of this plat will not have an adverse effect upon traffic and traffic safety or pedestrians and pedestrian safety, and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park, Preliminary Plat Request #24-116 "BCS DEVELOPMENT" shall be approved subject to the following conditions:

1. Title review by the City Attorney and all conditions therein.
2. Easement review and approval by the City Engineer and all conditions therein.
3. Submission of a CAD copy of the plat.
4. All comments provided by Hennepin County must be addressed prior to recordation of the final plat with Hennepin County.
5. \$8,160.00 in park dedication fees for "BCS DEVELOPMENT" will be required with the final plat approval prior to receiving a permit.

BE IT FURTHER RESOLVED that such execution of the certificate upon said plat by the Mayor and City Manager shall be conclusive showing of proper compliance therewith by the sub divider and City officials and shall entitle such plat to be placed on record forthwith without further formality, all in compliance with M.S.A. 462 and the Ordinance of the City.

EXHIBIT A

LOT 1, BLOCK 1, BCS DEVELOPMENT, HENNEPIN COUNTY, MINNESOTA.

RESOLUTION #2025-___

RESOLUTION TO ADOPT FINDINGS OF FACT FOR THE APPROVAL OF A VARIANCE REQUEST FOR A STAGING AREA VISIBLE FROM BROOKLYN BLVD, KENTUCKY AVE N, AND KENTUCKY CIRCLE N AT 7916 BROOKLYN BLVD, A DEVIATION WHERE A STAGING AREAS IS LOCATED BETWEEN THE PRINCIPAL BUILDING AND THE PUBLIC RIGHTS-OF-WAY, SUBJECT TO THE CONDITIONS IN THE DRAFT RESOLUTION. .

Planning Commission File #24-116

WHEREAS, JDA Design Architects, Inc., on behalf of BCS African Foods, has made application for a Variance under the provisions of Chapter 152 of the City Code at 7916 Brooklyn Blvd (legal description Exhibit A attached).

WHEREAS, the matter has been referred to the Planning Commission who have given their advice and recommendation to the City Council; and

WHEREAS, the variance request for a staging area located between the principal building and the public rights-of-way would require a deviation from City Code Chapter 152, Section 152.1015(C); and

WHEREAS, the Planning Commission held a public hearing on June 11, 2025; and

WHEREAS, Minnesota Statute Section 462.357, subd. 6 provides:

1. Variances shall only be permitted (a) when in harmony with the general purposes and intent of the ordinance, and (b) when the variances are consistent with the comprehensive plan.
2. Variances may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the zoning ordinance. "Practical difficulties", as used in connection with the granting of a variance, means that (a) the property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance; (b) the plight of the landowner is due to circumstances unique to the property not created by the landowner; and (c) the variance, if granted, will not alter the essential character of the locality.

WHEREAS, the effect of the proposed use upon the health, safety and welfare of surrounding lands and existing and anticipated effects on the neighborhood have been considered; and

WHEREAS, the Planning Commission has reviewed the variance request for a staging area located between the principal building and public rights-of-way, and finds the request:

1. Is not in conflict with the purposes and intent of the ordinance and comprehensive plan.
2. The proposed staging area is reasonable to support the existing business. The applicant also proposes screening for the staging area to attempt to reduce visibility from the public rights-of-way.

3. This property is uniquely bordered by streets on three sides limiting the opportunity to add a staging area for the existing business. Given the requirement that staging areas may not be visible for public rights-of-way this necessitates the property owner to seek a variance.
4. The approval of this application would not alter the character of the neighborhood.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BROOKLYN PARK, MINNESOTA that:

The application to issue a variance for the construction of a staging area located between the principal building and public rights-of-way would require a deviation from City Code Chapter 152, Section 152.1015(C), is hereby approved.

The petitioner shall be required to record a copy of this resolution with the Hennepin County Recorder and to pay all fees for said recording. Proof of said recording shall be filed promptly with the City.

EXHIBIT A

LOT 1, BLOCK 1, BCS DEVELOPMENT, HENNEPIN COUNTY, MINNESOTA.

RESOLUTION #2025-

RESOLUTION APPROVING A SITE PLAN REVIEW FOR THE CONSTRUCTION OF ONE BUILDING ADDITION AT 7916 BROOKLYN BLVD, SUBJECT TO CONDITIONS CONTAINED IN THE DRAFT RESOLUTION.

Planning Commission File #24-116

WHEREAS, an application has been made by JDA Design Architects, Inc., on behalf of BCS African Foods, for a Site Plan Review under the provisions of the City Code on subject property (legal description Exhibit A attached).

WHEREAS, the zoning of the property is Transit Oriented Development Center District—in which general sales are a permitted uses; and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission who held the public hearing on June 11 2025.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park:

The Site Plan Review for expansion of the existing structure is hereby approved with the following conditions:

1.00 DRAWINGS

- 1.01 Site, utility, landscaping, and grading plans on file in the City Clerk's office dated May 19, 2025 and June 3, 2025 are approved, subject to conditions listed below.
- 1.02 Building elevations for the building addition dated May 2, 2025 are approved to proceed to building permit, subject to conditions listed below.

2.00 BONDS, ESCROWS AND DIRECT PAYMENTS

- 2.01 A Development Contract and bonding shall be required as a development bond or letter of credit in the amount of **\$73,400.00**, a cash bond in the amount of **\$3,800.00**, and a developer's escrow in the amount of **\$2,300.00** as required by Chapter 152. The developer's escrow must be posted with the City to cover engineering, legal and administrative costs incurred by the City. If this account becomes deficient, it shall be the developer's responsibility to deposit additional funds. This must be done before final bonding obligations are complete.
- 2.02 Park dedication fees as required by the preliminary plat.

3.00 REQUIRED DOCUMENTS

- 3.01 All utility construction, drainage, grading, and development plans must be approved by the City Engineer prior to receiving a building permit.
- 3.02 Stormwater management must be approved by the City Engineer.

4.00 GENERAL CONDITIONS

- 4.01 It shall be the developer's responsibility to keep active and up to date the developer's contract and financial surety (Letter of Credit, bonds, etc.). These documents must remain active until the developer has been released from any further obligation by City Council motion received in writing from the Engineering Department.
- 4.02 Before final bonding obligations are released, a certificate signed by a registered engineer must be provided. This certificate will state that all final lot and building grades are in conformance to drainage development plan(s) approved by the City Engineer.
- 4.03 No burying of construction debris shall be permitted on the site.
- 4.04 Dust control and erosion measures must be in place to prevent for dust and erosion including, but not limited to, daily watering, silt fences, and seeding. The City Engineer may impose measures to reduce dust and run-off.
- 4.05 Adequate dumpsters must be on site during construction. When full, they must be emptied immediately or replaced with an empty dumpster.
- 4.06 Signs must conform to the requirements of Chapter 150. The sign plans will be approved by staff to verify code compliance at time of building permit.

5.00 CONDITIONS

- 5.01 Final plat "BCS DEVELOPMENT must be approved prior to Site Plan approval.
- 5.02 The variance request application must be approved prior to Site Plan approval.
- 5.03 All pedestrian routes on the property must maintain a pedestrian access route of at least 4-feet and all ramps and crossings must meet the American Disabilities Act (ADA) requirements.
- 5.04 Any future rooftop equipment must be screened (§152.1024(A)).
- 5.05 Revise photometric plan to meet requirements in §152.1014.
- 5.06 Revise landscape plan that meets screening requirements for the staging area outlined in §152.1024(B), §152.1015 and §152.1024.
- 5.07 Revise landscaping plan with a plant schedule that meets the following requirements: §152.1012(D), §152.1020(J), and §152.1024.

EXHIBIT A

LOT 1, BLOCK 1, BCS DEVELOPMENT, HENNEPIN COUNTY, MINNESOTA.



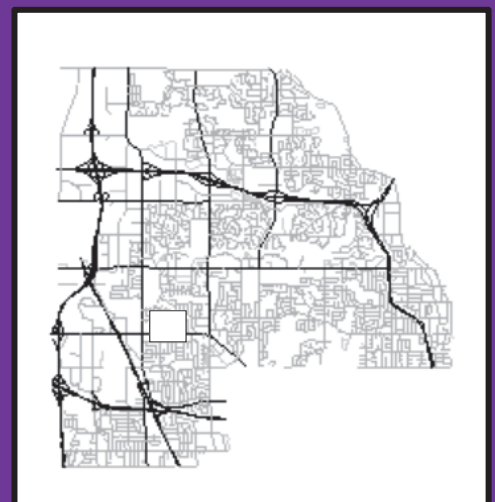
**Site Plan Review, Preliminary and Final Plat,
and Variance**

Case #24-116 – BCS African Foods

Area of Request (August 2023 Air Photo)

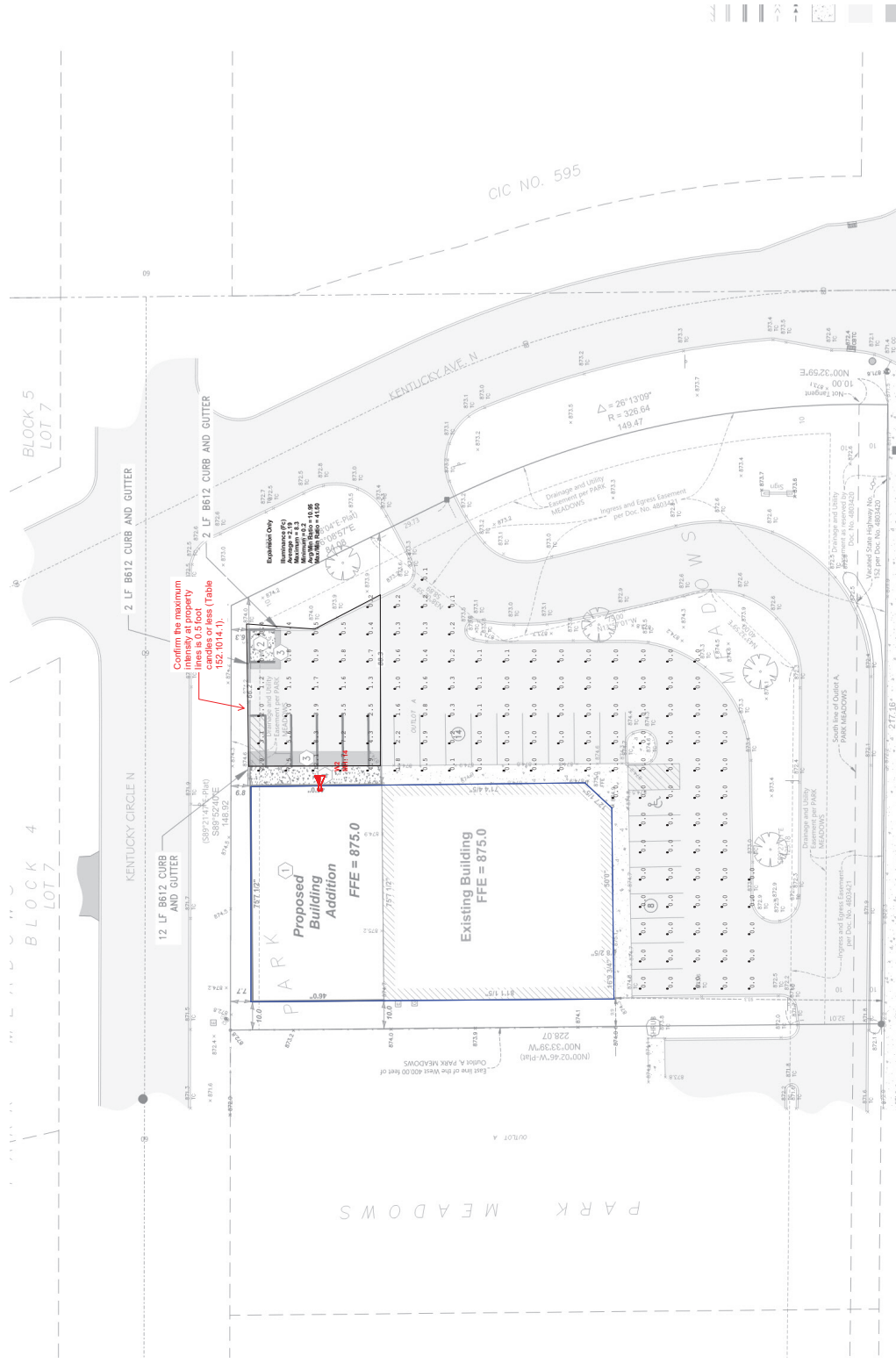
7916 Brooklyn Blvd, Brooklyn Park, MN 55445

Brooklyn Park 



Luminaire Schedule Symbol	Type	Mounting Height	Lum. Watts	Luminaire Lumens	LLF	Description	[MANUFAC]
1	W2	14	9068	15375	0.900	OPFS-A04-740-14M WALL MOUNT	SIGNIFY CANADA LTD

Calculation Summary Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Site	FC	2.19	8.3	0.0	N.A.	N.A.
Expansion Only	FC			0.2	10.95	41.50



DISCLAIMER: Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. Actual performance or any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping or any other architectural elements unless noted.

Fixture nomenclature to be finalized by engineer and/or architect. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

CONSULTANTS:

BCS AFRICAN FOODS

710 BROOKLYN BOULEVARD
 Minneapolis, Minnesota

CERTIFICATION:
 I hereby certify that the design, specification and/or work was prepared
 by me or under my direct supervision and that I am a duly
 REGISTERED ARCHITECT
 under the laws of the State of Minnesota.
 signature: _____ date: _____

name: _____ registration number: _____

REVISION HISTORY:
 description: _____ date: _____

DATE: _____
 DRAWING NO.: 08-20-25
 PROJECT NO.: 08-20-25
 VARIANCE: 13-12-23

ISSUED FOR:
**PLANNING
 CONSIDERATION**

ISSUE DATE:
 AUGUST 5, 2024

DRAWN BY:
 JDA

CHECKED BY:
 JDA

SHEET TITLE:
**PROPOSED
 FLOOR PLAN**

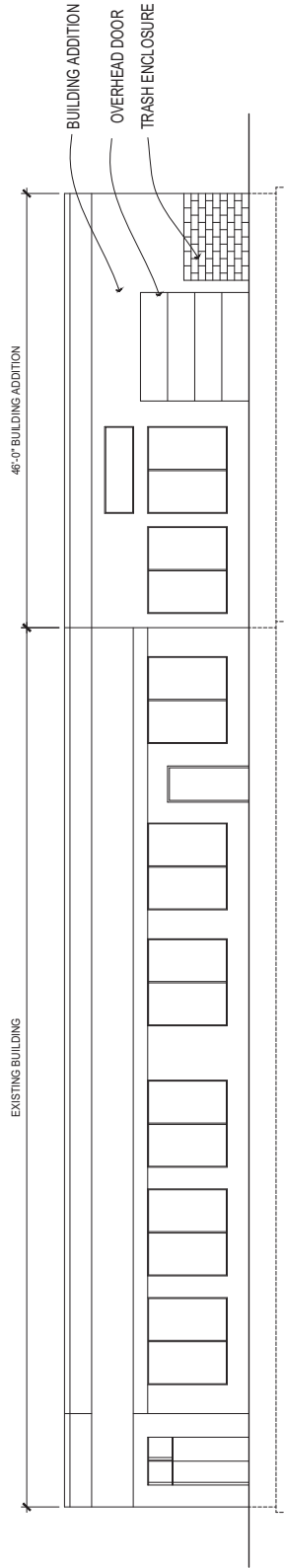
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A1.0

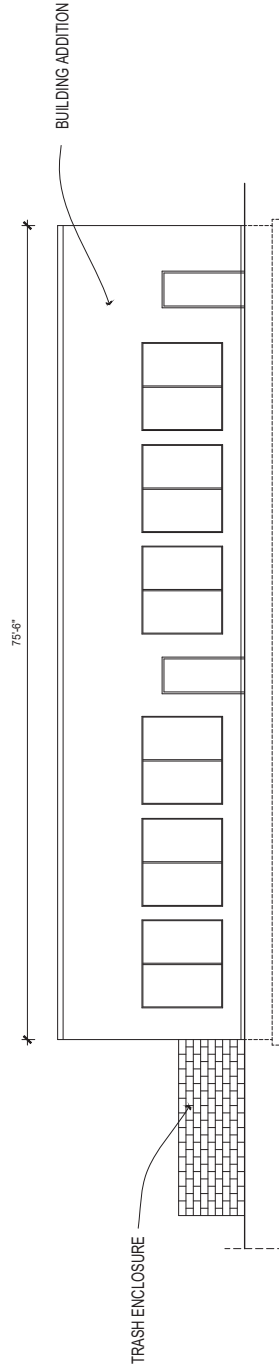


EXISTING / PROPOSED FLOOR PLAN
 SCALE: 1/8" = 1'-0"

1
 A1.0

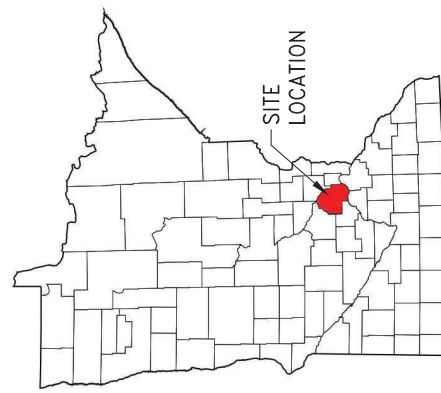


1 PROPOSED EAST ELEVATION
 SCALE: 3/8" = 1'-0"

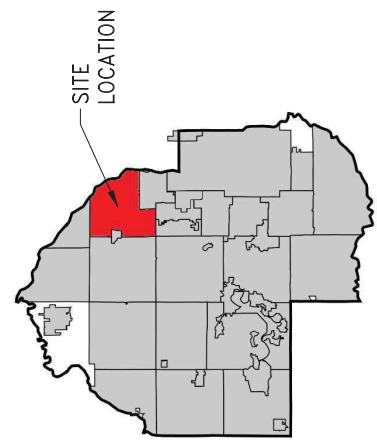


2 PROPOSED NORTH ELEVATION
 SCALE: 3/8" = 1'-0"

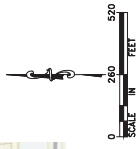
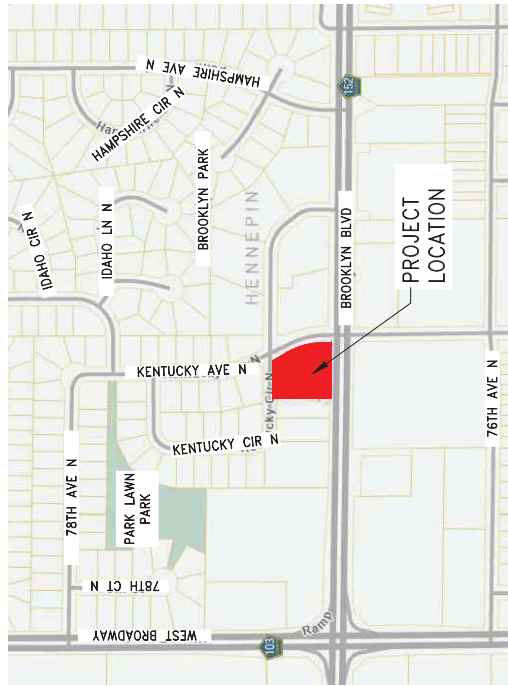
SITE DEVELOPMENT PLANS FOR BCS AFRICAN FOODS 7916 BROOKLYN BLVD BROOKLYN PARK, MINNESOTA



HENNEPIN COUNTY, MINNESOTA



CITY OF BROOKLYN PARK, HENNEPIN COUNTY



SHEET INDEX
THIS PLAN CONTAINS 6 SHEETS

SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2	DETAILS
C3	EXISTING CONDITIONS & REMOVALS
C4	SITE PLAN
C5	GRADING, EROSION, & UTILITY PLAN
L1	LANDSCAPE PLAN

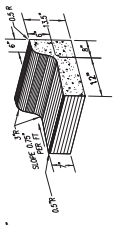


CALL BEFORE YOU DIG!
Gopher State One Call
14th City Ave #551-424-0002
Toll Free: 1-800-422-1166

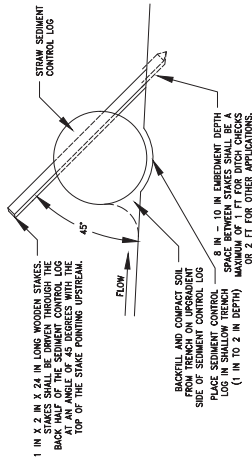
THE SUBSURFACE UTILITY INFORMATION DEPICTED IN THESE PLANS ARE SHOWN ACCORDING TO CIASCE 38-02, STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA, LEVEL 3 STANDARDS.

BENCHMARK: MINNOT MONUMENT 27271 W.
ELEVATION = 881.10 FEET (NAVD 83)

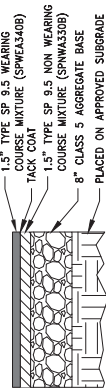
DESIGNED BY: JAP CHECKED BY: GSP	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. DATE: 04/08/23 LIC. NO.: 92708	REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>CLIENT COMMENTS</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>04/22/23</td> <td></td> <td></td> </tr> <tr> <td>02</td> <td>04/23/23</td> <td></td> <td></td> </tr> </tbody> </table>	NO.	DATE	CLIENT COMMENTS	REVISIONS	01	04/22/23			02	04/23/23			SHINON LINDBERG 7916 BROOKLYN BLVD BROOKLYN PARK, MINNESOTA 55445 DEMARC LAND SURVEYING & ENGINEERING 7601 23RD AVENUE N, BROOKLYN PARK, MN 55428 PHONE: 783.560.2063 FAX: 783.560.3322 www.demarcmn.com	PROJECT: 5085 SHEET NO.: C1 of C5 TITLE SHEET
NO.	DATE	CLIENT COMMENTS	REVISIONS													
01	04/22/23															
02	04/23/23															



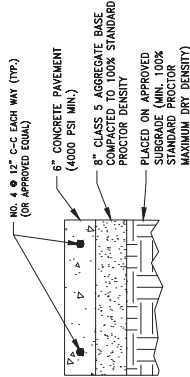
1
C2
B612 CURB AND GUTTER
NOT TO SCALE



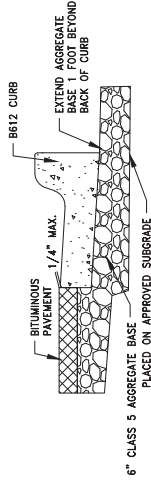
2
C2
BIOROLLS
NOT TO SCALE



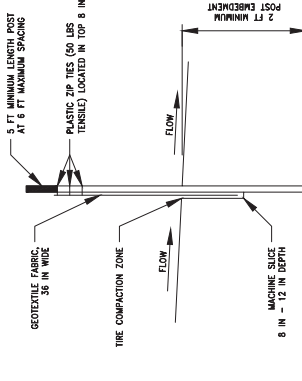
3
C2
BITUMINOUS PAVEMENT SECTION
NOT TO SCALE



4
C2
CONCRETE PAVEMENT
NOT TO SCALE



5
C2
BITUMINOUS PAVEMENT
NOT TO SCALE

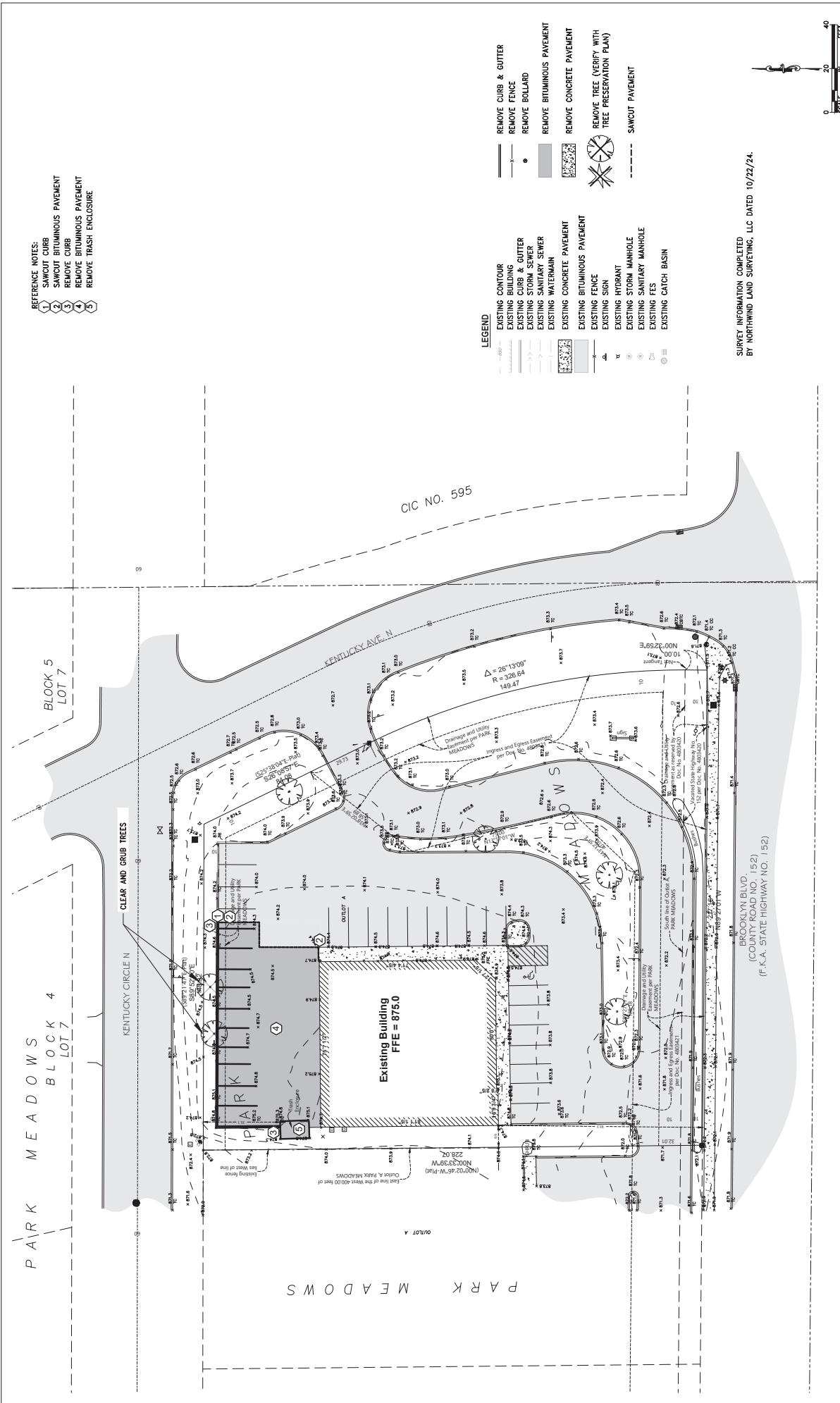


6
C2
SILT FENCE (MACHINE SLICED)
NOT TO SCALE

GENERAL CONSTRUCTION AND SOILS NOTES:

- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES, LAWS AND ORDINANCES.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND STANDARDS.
- IF UTILITY RELOCATION IS NECESSARY, THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES.
- MATERIAL UNSUITABLE FOR CONSTRUCTION (E.G. TOPSOIL, SILTS, ORGANIC MATERIALS, LEAYS, DEBRIS, ETC.) ENCOUNTERED DURING CONSTRUCTION SHALL BE REMOVED AND PROPERLY DISCARDED.
- GRADING SHALL BE CONSTRUCTED WITH SUITABLE MATERIAL AND IN LOOSE LIFTS NO THICKER THAN TWELVE (12) INCHES. COMPACTION WITHIN THE PARKING LOT AND BUILDING PADS SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.
- TOPSOIL SHALL BE SALVAGED AND STORED FOR USE AS TOPSOIL IN GREEN SPACES DISTURBED DUE TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF BITUMINOUS AND CONCRETE MATERIALS DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH LOCAL SPECIFICATIONS.
- ALL EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE IN A MANNER ACCEPTABLE TO THE OWNER AND ALL GOVERNING REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND CALL Gopher STATE ONE CALL 48 HOURS PRIOR TO CONSTRUCTION WORK. EXISTING UTILITIES SHOWN ON THESE PLANS ARE ONLY APPROXIMATE AND MAY NOT BE RELIED UPON AS EXACT OR COMPLETE.

DESIGNED BY: JAP	IN HERBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	REVISIONS	PROJECT: 8085
CHECKED BY: GSP	DATE: 04/08/23	 JEFFREY A. PRAGER, P.E. LIC. NO.: 92708	SHEET NO. C2 of C5
		DEMARC LAND SURVEYING & ENGINEERING 7601 23RD AVENUE N. BROOKLYN PARK, MN 55428 PHONE: 763.560.2063 FAX: 763.560.3322 www.demarcinc.com	DETAILS
		SHINON LINDBERG 7916 BROOKLYN BLVD BROOKLYN PARK, MINNESOTA 55445	BCS AFRICAN FOODS 7916 BROOKLYN BLVD BROOKLYN PARK, MINNESOTA



- REFERENCE NOTES:
- 1 SAWCUT CURB
 - 2 SAWCUT BITUMINOUS PAVEMENT
 - 3 REMOVE CURB
 - 4 REMOVE BITUMINOUS PAVEMENT
 - 5 REMOVE TRASH ENCLOSURE

- LEGEND
- EXISTING CONTOUR
 - EXISTING BUILDING
 - EXISTING CURB & GUTTER
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING WATERMAIN
 - EXISTING CONCRETE PAVEMENT
 - EXISTING BITUMINOUS PAVEMENT
 - EXISTING FENCE
 - EXISTING HYDRANT
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING FES
 - EXISTING CATCH BASIN
 - REMOVE CURB & GUTTER
 - REMOVE FENCE
 - REMOVE BOLLARD
 - REMOVE BITUMINOUS PAVEMENT
 - REMOVE CONCRETE PAVEMENT
 - REMOVE TREE (VERIFY WITH TREE PRESERVATION PLAN)
 - SAWCUT PAVEMENT

SURVEY INFORMATION COMPLETED
BY NORTHWIND LAND SURVEYING, LLC DATED 10/22/24.

PROJECT: 8085
SHEET NO.:
C3 of C5

EXISTING CONDITIONS &
REMOVALS

BCS AFRICAN FOODS
7916 BROOKLYN BLVD
BROOKLYN PARK, MINNESOTA

SHINON LINDBERG
7916 BROOKLYN BLVD
BROOKLYN PARK, MINNESOTA 55445

DEMARC
LAND SURVEYING & ENGINEERING
7801 23RD AVENUE N, BROOKLYN PARK, MN 55428
PHONE: 763.560.2063 FAX: 763.560.3322
www.demarconline.com

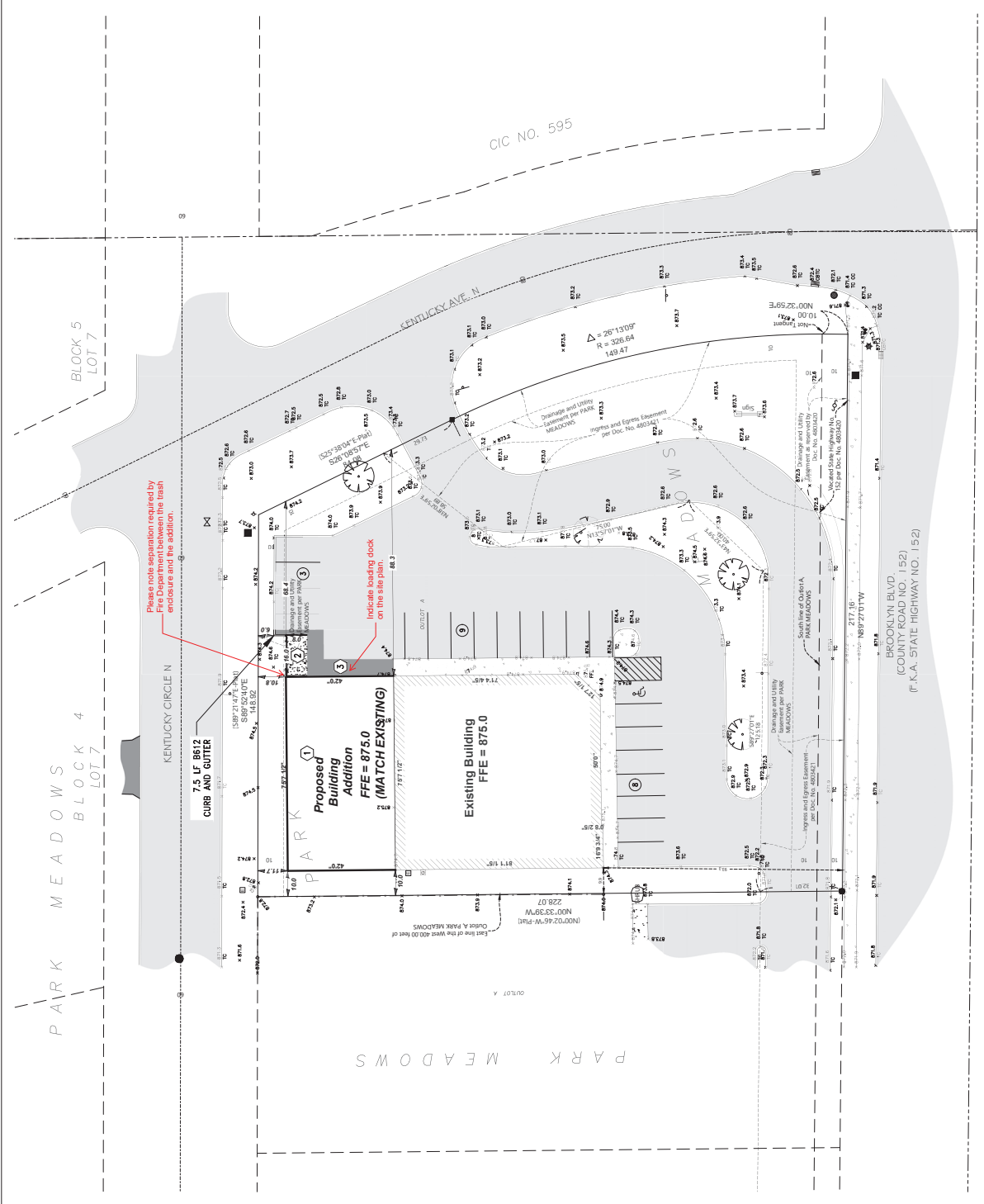
REVISIONS
DATE: 04/08/25
CLIENT COMMENTS:
CLIENT COMMENTS:

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 04/08/25 LUC. NO.: 92708

CHECKED BY: METREY A. PRUSOFF, P.E.

- REFERENCE NOTES:
- 1 PROPOSED BUILDING ADDITION (VERIFY WITH ARCHITECTURAL PLANS)
 - 2 TRASH ENCLOSURE (DESIGN BY OTHERS)
 - 3 BITUMINOUS PAVEMENT PER DETAILS 2/C2 AND 3/C2



SITE DATA:

LOT AREA = 1.02 ACRES
 DISTURBED AREA = 0.15 ACRES
 EXISTING IMPERVIOUS AREA = 0.70 ACRES
 EXISTING PERVIOUS AREA = 0.32 ACRES
 PROPOSED IMPERVIOUS AREA = 0.69 ACRES
 PROPOSED PERVIOUS AREA = 0.33 ACRES
 PROPOSED PARKING STALLS = 21 (1 HANDICAP STALL)

- LEGEND
- EXISTING BUILDING
 - EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - PROPOSED TIPOUT CURB & GUTTER
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING CONCRETE
 - EXISTING BITUMINOUS PAVEMENT
 - PROPOSED BITUMINOUS PAVEMENT
 - EXISTING FENCE
 - PROPOSED FENCE
 - EXISTING SIGN
 - PROPOSED SIGN
 - PROPOSED PARKING STRIPE
 - NUMBER OF PARKING STALLS

PROJECT: 5085
 SHEET NO.: C4 of C5

SITE PLAN

BCS AFRICAN FOODS
 7916 BROOKLYN BLVD
 BROOKLYN PARK, MINNESOTA

SHINON LINDBERG
 7916 BROOKLYN BLVD
 BROOKLYN PARK, MINNESOTA 55445

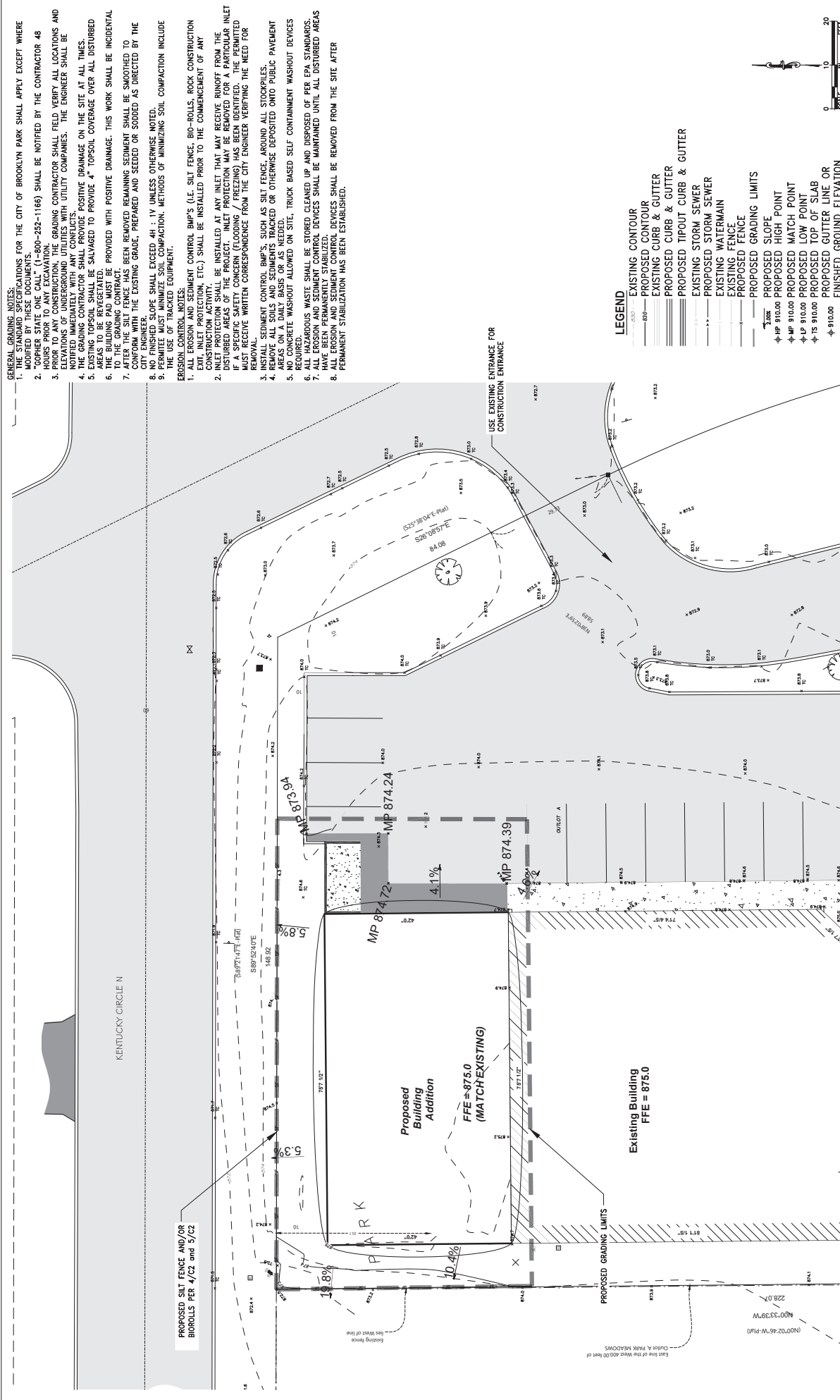
DEMARC
 LAND SURVEYING & ENGINEERING
 7801 23RD AVENUE N, BROOKLYN PARK, MN 55428
 PHONE: 763.560.2063 FAX: 763.560.3522
 www.demarcmn.com

REVISIONS

NO.	DATE	CLIENT COMMENTS	CLIENT COMMENTS
1	04/22/25		
2	04/23/25		

DESIGNED BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 04/08/25 LUC. NO.: 92708

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 METREY A. PRASOCH, P.E.
 LUC. NO.: 92708



- GENERAL GRADING NOTES:**
- THE STANDARD SPECIFICATIONS FOR THE CITY OF BROOKLYN PARK SHALL APPLY EXCEPT WHERE MODIFIED BY THESE DOCUMENTS.
 - "GOPHER STATE ONE CALL" (1-800-252-1166) SHALL BE NOTIFIED BY THE CONTRACTOR 48 HOURS PRIOR TO ANY EXCAVATION.
 - THE GRADING CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WITH UTILITY COMPANIES. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY WITH ANY CONFLICTS.
 - THE GRADING CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE ON THE SITE AT ALL TIMES.
 - EXISTING TOPSOIL SHALL BE SALVAGED TO PROVIDE 4" TOPSOIL COVERAGE OVER ALL DISTURBED AREAS OF THE PROJECT.
 - THE BUILDING PAD MUST BE PROVIDED WITH POSITIVE DRAINAGE. THIS WORK SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
 - AFTER THE SILT FENCE HAS BEEN REMOVED REMAINING SEDIMENT SHALL BE SMOOTHED TO CITY ENGINEER.
 - NO FINISHED SLOPE SHALL EXCEED 4H : 1V UNLESS OTHERWISE NOTED.
 - PERMITEE MUST MINIMIZE SOIL COMPACTION. METHODS OF MINIMIZING SOIL COMPACTION INCLUDE THE USE OF TRACKED EQUIPMENT.

- EROSION CONTROL NOTES:**
- EROSION CONTROL MEASURES (E.S. SILT FENCE, BIO-ROLLS, ROCK CONSTRUCTION EXIT, INLET PROTECTION, ETC.) SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
 - INLET PROTECTION SHALL BE INSTALLED AT ANY INLET THAT MAY RECEIVE RUNOFF FROM THE DISTURBED AREAS OF THE PROJECT. INLET PROTECTION MAY BE REMOVED UPON THE CITY ENGINEER'S WRITTEN CORRESPONDENCE FROM THE CITY ENGINEER VERIFYING THE NEED FOR REMOVAL.
 - INSTALL SEDIMENT CONTROL BMP'S, SUCH AS SILT FENCE, AROUND ALL STOCKPILES.
 - REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC PAVEMENT REQUIRED.
 - NO CONCRETE WASHOUT ALLOWED ON SITE, TRUCK BASED SELF CONTAINMENT WASHOUT DEVICES.
 - ALL HAZARDOUS WASTE SHALL BE STORED CLEANED UP AND DISPOSED OF PER EPA STANDARDS.
 - ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY RESTORED.
 - ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED FROM THE SITE AFTER PERMANENT STABILIZATION HAS BEEN ESTABLISHED.

- LEGEND**
- - - - - EXISTING CONTOUR
 - — — — — PROPOSED CONTOUR
 - ===== EXISTING CURB & GUTTER
 - ===== PROPOSED CURB & GUTTER
 - ===== PROPOSED TIPOUT CURB & GUTTER
 - ===== EXISTING STORM SEWER
 - ===== PROPOSED STORM SEWER
 - ===== EXISTING WATERMAIN
 - ===== PROPOSED WATERMAIN
 - ===== PROPOSED FENCE
 - ===== PROPOSED GRADING LIMITS
 - ▲ PROPOSED SLOPE
 - ▲ MP 910.00 PROPOSED HIGH POINT
 - ▲ LP 910.00 PROPOSED MATCH POINT
 - ▲ LP 910.00 PROPOSED LOW POINT
 - ▲ FS 910.00 PROPOSED TOP OF SLAB
 - ▲ 910.00 PROPOSED GUTTER LINE OR FINISHED GROUND ELEVATION

PROJECT: 8085
SHEET NO.: C5 OF C5

GRADING, EROSION, & UTILITY PLAN

SHINON LINDBERG
7916 BROOKLYN BLVD
BROOKLYN PARK, MINNESOTA 55445

BCS AFRICAN FOODS
7916 BROOKLYN BLVD
BROOKLYN PARK, MINNESOTA

DEMARC
LAND SURVEYING & ENGINEERING
7801 23RD AVENUE N, BROOKLYN PARK, MN 55428
PHONE: 763.560.2063 FAX: 763.560.3272
www.demarconline.com

REVISIONS	DATE	BY	DESCRIPTION
1	04/22/25	JAP	CLIENT COMMENTS
2	04/23/25	JAP	CLIENT COMMENTS

DATE: 04/08/25 LUC. NO.: 92708

DESIGNED BY: JAP
CHECKED BY: JAP
DRAWN BY: JAP
SCALE: AS SHOWN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

J. METREY & ASSOCIATES, P.C.
LUC. NO.: 92708

City of Brooklyn Park Planning Commission Staff Report

Agenda Item:	5.2	Meeting Date:	June 11, 2025
Agenda Section:	Public Hearing	Originating Department:	Community Development
Resolution:	XX	Prepared By:	Matt Hayes-Regan, Associate Planner
Ordinance:	N/A		
Attachments:	4	Presented By:	Matt Hayes-Regan, Associate Planner
Item:	DEV25-110 (BAPS Mandir) Conditional Use Permit (CUP) Application		

Proposed Action:

MOTION _____, SECOND _____, TO RECOMMEND A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR THE OPERATION OF A RELIGIOUS INSTITUTION LOCATED AT 8700 WYOMING AVE N, BROOKLYN PARK, MN 55445.

MOTION _____, SECOND _____, TO RECOMMEND A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR THE OPERATION OF A RECTORY FOR A RELIGIOUS INSTITUTION LOCATED AT 8700 WYOMING AVE N, BROOKLYN PARK, MN 55445.

Summary:

BAPS Shri Swaminarayan Mandir, Minneapolis (hereafter BAPS Mandir) has submitted a CUP application to use 8700 Wyoming Ave N as a religious institution. BAPS Mandir is also requesting a CUP for the operation of a rectory in the same building as the Mandir.

Future Land Use Plan	Business Park LRT Station Area
Current Zoning	Business Park
Proposed Zoning	No proposed change
Site Area	8.71 acres
Conforms to	
Land Use Plan	Yes
Zoning Code	Yes
Subdivision Ordinance	Yes
Notification	Legal notice was published in the Sun Post, 146 notices were mailed to properties within 500 feet, A Neighborhood email was sent to the Commerce neighborhood.
60- and 120- Days (§15.99)	June 26, 2025; August 25, 2025

Previous Approvals:

8700 Wyoming Ave is one parcel located in the Enterprise Park addition. Enterprise Park was established in October 1991. A CUP allowing the operation of a religious institution has not been previously granted for this property.

Land Use/Zoning and Overlay:

The property is located in the City's Business Park (hereafter BP) District. The zoning code defines the BP district as

“areas in which to locate businesses that enhance the city's tax base, have few customers coming to the site, but may have a large employee base, involve manufacturing, warehousing, office uses, and other accessory retail and service uses offered on site to service the primary use or their employees. The properties and buildings in this district must be designed to promote a campus-like setting that exhibits a landscape theme and high-quality exterior building materials” (§152.604(A)).

The zoning code defines religious institutions as: “a building or campus in which worship, ceremonies, rituals, and education pertaining to a particular system of beliefs are held” (§152.105). Religious institutions as a principal use in nonresidential districts are allowed conditionally via a CUP. Additionally, BAPS Mandir is requesting a CUP for a rectory to be constructed within the current principal structure. Rectories are allowed as an accessory use exclusive to religious institutions.

An overlay is not associated with this property.

Zoning designations of the adjacent properties include Multiple family (R-4) District to the east and BP to the south, west and north.

Conditional Use Permit:

Pursuant to §152.305 of the zoning code, Planning Commission and City Council shall consider the following factors when making its determination on a conditional use permit application:

- **Consistency with the Comprehensive Plan.**

The 2040 Comprehensive Plan land use designation of this property is Business Park (BP). The Plan defines BP as:

Largely single-use areas that have a consistent architectural style with a mix of employment-oriented use types. These uses may include office, mixed light industrial, limited retail, research and development, and uses of similar impact. With an increased focus on job creation, warehousing and distribution centers will be permitted if approved by the City as a part of a master plan. The scale of development in these areas is commensurate with their proximity to highways and major transportation corridors. Appropriate connections to transit should be included in Business Park developments (2040 Comprehensive Plan, 3-21-22).

This proposed use is described in the Comprehensive Plan as a “place of worship.” This property and proposed use satisfies the medium to large scale and medium to high intensity used for Institutional Districts in the 2040 Descriptions.

- **Traffic generation, volume, and safety associated with the use and driveway location on adjacent roads, sidewalks, and trail connections.**

BAPS Mandir is proposing to utilize the existing site conditions on the property. This includes utilizing connections to and from Wyoming Ave located in the northwest and southwest locations of the property.

The institution would be open daily with varying hours with weekday hours generally being from 7:30 am to noon and from 4:00 pm to 8:00 pm and weekend hours generally being from 7:30 am to 8:00 pm. Per their application, BAPS Mandir anticipates 10-20 people for their weekday morning and evening services. Sunday's service schedule anticipates 200 – 300 people between 10:00 am to 8:00 pm.

BAPS Mandir anticipates traffic during these hours to be minimal, as most members travel to and from the Mandir as families, typically with 3 to 4 people per vehicle.

The City Transportation Engineer has reviewed the typical schedule provided and does not have any concerns with the proposal. Staff also note that traffic will happen outside of peak traffic hours in the BP District. Staff do not have concerns about traffic that will be generated at this location.

- **The characteristics of the parking area of the use, including the number and design of parking spaces, landscaping, traffic circulation, drainage, and lighting.**

The property has 232 total parking spaces, 225 of which are standard spaces and 7 of which are accessible spaces.

Table 152.1019.2 outlines the minimum parking spaces for nonresidential uses. Religious institutions are included in the assembly, banquet, convention halls or convention centers use which requires 1 parking space for each 2.5 seats based on the design capacity in the main assembly area, plus parking figured separately for additional gymnasiums, banquet rooms, meeting rooms, offices, and other multi-use spaces. It also requires 0.05 bicycle parking spaces per person.

The attendance counts provided demonstrate that the parking demands are adequately met.

- **The provision of adequate public infrastructure to the site where the use is proposed.**

Staff believe there is adequate public infrastructure for the site and do not anticipate the need for additional public services at the site or for the proposed use.

- **The ability to screen and buffer incompatible off-site impacts of the proposed use on adjacent property and the surrounding neighborhood.**

The existing trash enclosure will continue to be utilized. The exterior area housing the waste enclosure has been reviewed by Planning Staff and they determined that it meets the City's code requirements.

- **The degree that the site or building associated with the proposed use meets or exceed the architectural design standards for the district in which it is located.**

Previous permit approvals suggest that the building and site have met and continue to meet the required architectural design standards. While an expansion of the existing building is not being proposed at this time, any future expansion will need to meet the site plan review standard requirements in the zoning code.

- **Compliance with any other applicable section of this chapter or the city code.**

In addition to the zoning code requirements referenced in this report, religious institutions are also a specific principal use listed in §152.903, the section that sets the regulations for nonresidential performance standards. The performance standards religious institutions are to comply with include:

- (1) Architectural materials allowed for religious institutions shall follow the regulations for nonresidential districts (see § 152.1005).
- (2) Residential districts. Places of worship may only be located on sites located directly at the intersections of two collector streets or along an arterial street as designated in the Comprehensive Plan.
- (3) An office for a religious institution is considered an office use provided no worship services, events, or the like are conducted on site.
- (4) Places of worship with additional uses operating concurrently with a worship service must be figured into parking requirements.
- (5) Places of worship may conduct worship and educational programs as permitted accessory uses in public schools in all zoning districts outside of normal school instructional hours. Formal site plan review as described in § 152.303 is not required.

Planning Staff have reviewed the plan against these requirements, and they determined that the requirements are either met or are not applicable.

The Applicant will also need to meet the standards of the City's Building Code and Fire Code.

The required findings of §152.305 have been met and the Planning Staff recommends approvals of the CUP requests.

Conditions of Approval for the Operation of a Religious Institution at 8700 Wyoming Ave N:

1. All requirements of the International Building Code (IBC) must be satisfied before the space may be occupied, including obtaining a building permit, paying all necessary fees, completing work, and obtaining a Certificate of Occupancy.
2. Signage must comply with all requirements of City Code Chapter 150: Signs.
3. The property must remain compliant with Title VII: Traffic Code of the City's Code
4. The property must remain compliant with Title IX: General Regulations of the City's Code.
5. The property must remain compliant with Title XI: Business Regulations of the City's Code.
6. The property must remain compliant with the Minnesota State Fire Code.
7. This resolution must be recorded with the Hennepin County Recorder's office.
8. If the holder of the conditional use permit fails to comply with the terms and conditions of this resolution, the city may impose penalties or discipline for noncompliance, which may include revocation of the permit in accordance with § 152.035(H)(1) of the Municipal Code.

Conditions of Approval for the Operation of a Rectory at a Religious Institution at 8700 Wyoming Ave N:

1. All requirements for the Conditional Use Permit (CUP) approving the operation of a religious institution at 8700 Wyoming Ave N must be consistently met.
2. All requirements of the International Building Code (IBC) must be satisfied before the space may be occupied, including obtaining a building permit, paying all necessary fees, completing work, and obtaining a Certificate of Occupancy.
3. Signage must comply with all requirements of City Code Chapter 150: Signs.

4. The property must remain compliant with Title VII: Traffic Code of the City's Code
5. The property must remain compliant with Title IX: General Regulations of the City's Code.
6. The property must remain compliant with Title XI: Business Regulations of the City's Code.
7. The property must remain compliant with the Minnesota State Fire Code.
8. This resolution must be recorded with the Hennepin County Recorder's office.
9. If the holder of the conditional use permit fails to comply with the terms and conditions of this resolution, the city may impose penalties or discipline for noncompliance, which may include revocation of the permit in accordance with § 152.035(H)(1) of the Municipal Code

Staff Recommendation:

Staff recommend approval of the CUPs as presented, subject to the provisions in the draft resolutions.

Budgetary/Fiscal Issues: N/A

Alternatives to consider:

1. Recommend approval of the CUPs with modifications.
2. Recommend denial of the CUPs based on certain findings.

Attachments:

- 5.1A DRAFT RELIGIOUS INSTITUTION CONDITIONAL USE PERMIT RESOLUTION
- 5.1B DRAFT RECTORY CONDITIONAL USE PERMIT
- 5.1C LOCATION MAP
- 5.1D APPLICATION MATERIALS

RESOLUTION #2025-__

RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR THE OPERATION OF A RELIGIOUS INSTITUTION LOCATED AT 8700 WYOMING AVE N, BROOKLYN PARK, MN 55445.

Planning Commission File # 25-110

WHEREAS, Vitulkumar Patel, of BAPS Shri Swaminarayan Mandir, Minneapolis, has made an application for a Conditional Use Permit under the provisions of Chapter 152 of the Code of Ordinances on property legally described as:

See EXHIBIT A

WHEREAS, the zoning of the property is Business Park in which religious institutions are conditional uses; and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission public hearing who have given their advice and recommendation to the City Council.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park that a Conditional Use Permit is hereby granted for the operation of a religious institution at 8700 Wyoming Ave N as legally described in the attached EXHIBIT A, subject to the following conditions:

1. All requirements of the International Building Code (IBC) must be satisfied before the space may be occupied, including obtaining a building permit, paying all necessary fees, completing work, and obtaining a Certificate of Occupancy.
2. Signage must comply with all requirements of City Code Chapter 150: Signs.
3. The property must remain compliant with Title VII: Traffic Code of the City's Code
4. The property must remain compliant with Title IX: General Regulations of the City's Code.
5. The property must remain compliant with Title XI: Business Regulations of the City's Code.
6. The property must remain compliant with the Minnesota State Fire Code.
7. This resolution must be recorded with the Hennepin County Recorder's office.
8. If the holder of the conditional use permit fails to comply with the terms and conditions of this resolution, the city may impose penalties or discipline for noncompliance, which may include revocation of the permit in accordance with § 152.035(H)(1) of the Municipal Code.

This resolution expires one year from the date of approval unless all conditions are met. This resolution must be recorded with the Hennepin County Recorder's office within one year of the date of approval. The approvals can be revoked if not in compliance with the conditions stated above.

EXHIBIT A

Lot 2, Block 1, Enterprise Park

RESOLUTION #2025-__

RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR THE OPERATION OF A RECTORY AT A RELIGIOUS INSTITUTION LOCATED AT 8700 WYOMING AVE N, BROOKLYN PARK, MN 55445.

Planning Commission File # 25-110

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See EXHIBIT A

WHEREAS, the zoning of the property is Business Park in which religious institutions are conditional uses; and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission public hearing who have given their advice and recommendation to the City Council.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park that a Conditional Use Permit is hereby granted for the operation of a rectory as an exclusive accessory use to the religious institution at 8700 Wyoming Ave N as legally described in the attached EXHIBIT A, subject to the following conditions:

1. All requirements for the Conditional Use Permit (CUP) approving the operation of a religious institution at 8700 Wyoming Ave N must be consistently met.
2. All requirements of the International Building Code (IBC) must be satisfied before the space may be occupied, including obtaining a building permit, paying all necessary fees, completing work, and obtaining a Certificate of Occupancy.
3. Signage must comply with all requirements of City Code Chapter 150: Signs.
4. The property must remain compliant with Title VII: Traffic Code of the City's Code
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This resolution expires one year from the date of approval unless all conditions are met. This resolution must be recorded with the Hennepin County Recorder's office within one year of the date of approval. The approvals can be revoked if not in compliance with the conditions stated above.

EXHIBIT A

Lot 2, Block 1, Enterprise Park

From: [Lovin, Austin @ Minneapolis](#)
To: [Schindel, Maxx @ Bloomington](#)
Cc: [Swartz, Dan @ Minneapolis](#)
Subject: FW: Property: 8700 Wyoming Ave, Brooklyn Park
Date: Thursday, May 15, 2025 10:36:26 AM
Attachments: [image001.png](#)

Maxx- See below. Thank you for your patience.

Austin Lovin | First Vice President
CBRE | Industrial & Logistics
4400 West 78th Street, Suite 200, Bloomington, MN 55435
T 612 336 4255 | C 641 352 0359
austin.lovin@cbre.com | www.cbre.com

From: Schick Christian (OPE1) <Christian.Schick@syntegon.com>
Sent: Thursday, May 15, 2025 10:32 AM
To: Lovin, Austin @ Minneapolis <Austin.Lovin@cbre.com>
Subject: Property: 8700 Wyoming Ave, Brooklyn Park

External

“We, the current fee simple owner of 8700 Wyoming Ave N, Brooklyn Park, MN 55445, consent to BOCHASANWASI SHRIAKSHAR PURUSHOTTAM SWAMINARAYAN SANSTHA – MID-ATLANTIC, INC. (“Buyer”) submitting a CUP application to the City of Brooklyn Park as it relates to the Property.”

Best regards

Christian Schick
Vice President Operations - Americas (OPE-AM)



April 22nd, 2025

Re: Re: Conditional Use Permit (CUP) at 8700 Wyoming, Ave N, Brooklyn Park, MN 55445

Matt Hayes-Regan & Planning Team

We are looking to purchase 8700 Wyoming, Ave N, Brooklyn Park, MN 55445 to use as the BAPS Shri Swaminarayan Mandir – a Hindu Place of Worship.

The property, Property ID: 18-119-21-41-0011, is in the Business Park District (BP).

A place of worship is only permitted by approval of a Conditional Use Permit (CUP) in the Business Park District (BP). We are looking to apply for a Conditional Use Permit which would allow a place of assembly, a place of worship and place of residence for our priest as a use by-right. We will conform to City of Brooklyn Park § 152.903(M) NONRESIDENTIAL PERFORMANCE STANDARDS, PRINCIPAL USES *Religious Institutions under the Land Use Code*.

We aim to make interior alterations to the building to serve our needs.

Outlining our typical weekly use may make it easier to demonstrate our needs. Our Hindu temple is a peaceful and quiet place of worship, open daily with varying hours. On weekends, the temple is open from 7:30 AM to 8:00 PM, while on weekdays, it operates from 7:30 AM to Noon and 4:00 PM to 8:00 PM.

Weekday attendance for morning and evening prayer services ranges between 10-20 people. Our primary weekly prayer services are held on Sundays, with an expected attendance between 200 and 300 individuals. Traffic during these hours is minimal, as most of our congregation travels to and from the temple as families, typically with 3 to 4 people per vehicle.

A typical Sunday service schedule is as follows:

10:00 AM to Noon: The first group of volunteers arrives to worship our deities in the Prayer Hall, prepare meals, and set up for the day's services.

Around 1 PM: High school and college-aged members arrive to worship our deities and attend their service from 1:30 PM to 3:00 PM in classrooms. Many of these members later lead the children's service.

3:00 PM: Family members, including senior citizens and young children, arrive to worship our deities in the Prayer Hall. They attend their respective services from 3:30 PM to 6:00 PM, followed by dinner.

After Dinner: Volunteers assist with cleanup before departing.

Our current parking facilities are sufficient for all events specified in our calendar, based on historical attendance estimates.

On a few special festive occasions, our attendance can range between 450-500 depending on weather, etc.

Our highest-attendance event, Diwali/the Hindu New Year, gets about 800 people staggered throughout the day from 7:30 AM to 9:00 PM, ensuring that worshipers do not arrive all at once.

Our forecast growth in membership within 10-15 years would be around 500-550 members.

Sincerely,
Vitul Patel, Development lead, BAPS.



NOT FOR CONSTRUCTION

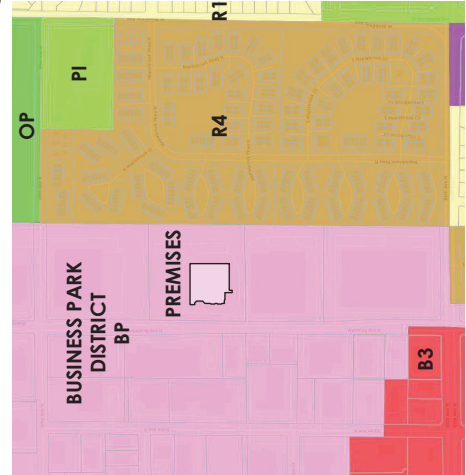
Issuance
04.23.2025

Pricing Set

Rev: Issues



2 | Aerial Plan
Scale: 1"=400'



3 | Zoning Plan
Scale: 1"=400'

PROPERTY ID: 18-119-21-41-0011

ZONING

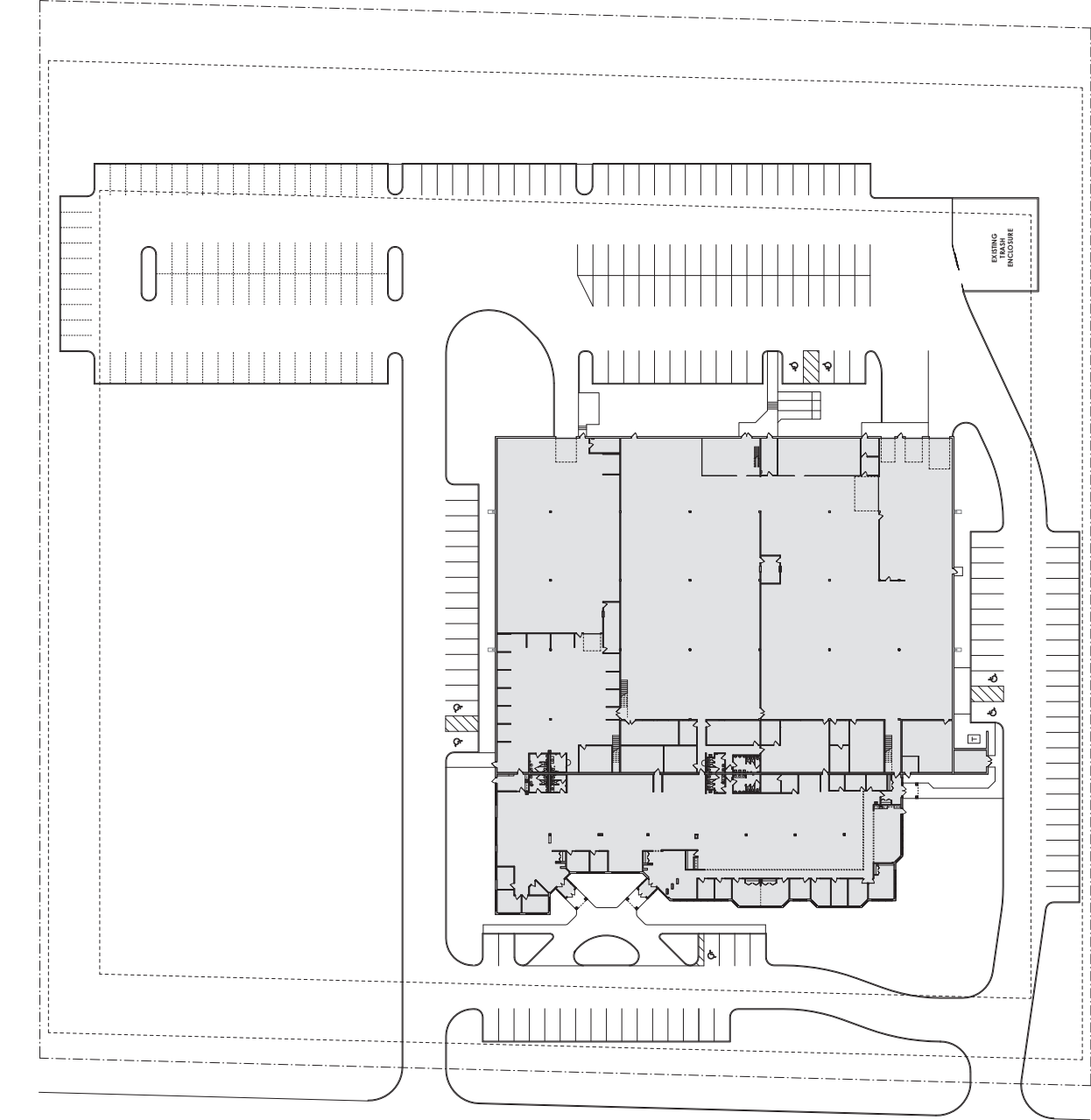
CURRENT ZONING: BP, BUSINESS PARK
PROPOSED ZONING: CUP TO ALLOW
ASSEMBLY / WORSHIP / RESIDENTIAL

SITE SUMMARY (EXISTING) (APPROX.)

SITE AREA 379,579 SF 100%
BUILDING AREA 69,123 SF 18%
PAVED AREA 115,114 SF 30%

EXISTING PARKING SUMMARY

ACCESSIBLE SPACES	7
STANDARD SPACES	225
TOTAL SPACES	232



1 | Existing Site
Scale: 1"=300'

