
April 10, 2023
7:00 p.m.

Brooklyn Park Council Chambers
5200 85th Avenue North
Brooklyn Park, MN 55443

PLANNING COMMISSION REGULAR MEETING – AGENDA #7

For reasonable accommodations or alternative formats, please provide a 72-hour notice by calling 763-424-8000 or emailing chris.xiong@brooklynpark.org. Si usted necesita esta información en español, llame al 763-424-8000 y solicite un intérprete. Yog xav tau kev pab, hu 763-493-8059.

Commissioners: Chair Liam Cavin, Vice Chair Kathy Fraser, General Officer Teshite Wako, Christopher Udomah, Philip Gaye-Bai, Maggie Borer, Shereese Turner, Abdo Korosso, and Chukwunedu Arah.
City Councilmember Liaison Tony McGarvey.
Staff Liaison Paul Mogush, Amber Turnquest, Erin McDermott and Matt Hayes-Regan.

Members of the public can monitor the meeting by watching it on CCX Media Channel 16 or by livestreaming it at https://nwscce-brooklynpark.granicus.com/ViewPublisher.php?view_id=5.

Anyone who wants to address the Planning Commission during the Public Comment period may do so in person or by calling **763-493-8057** or emailing planning@brooklynpark.org by 4:00 p.m. on the meeting day. You will be asked to provide your name, address, email, and phone number. You will then be registered to speak during the Public Comment period or on the agenda item and will be provided with the call-in number to address the Planning Commission.

I. ORGANIZATIONAL BUSINESS

- 1. CALL TO ORDER/NEW COMMISSIONER SWEAR-IN**
- 2. ROLL CALL/PLEDGE OF ALLEGIANCE**
- 3. EXPLANATION BY CHAIR**

Please be advised that the public hearings are recorded and televised live on cable television and web-streamed over the internet at brooklynpark.org. The audio system will not pick up comments from the seating area. If you want to be heard and made a part of the public record, please go to the podium or, if participating remotely, turn on your camera; speak into the microphone, stating your full name and address. Please sign the public hearing logbook on the table near the entrance to the Council Chambers if you are attending in person to ensure accuracy of name and address in the public record. Please note that the agenda for tonight's meeting indicates that the Commission Chair has the prerogative to invoke a time limit for speakers during any public hearing in the interest of maintaining focus and the effective use of time. Thank you in advance for your cooperation.

The Planning Commission consists of 11 resident-volunteer members, two of which are young adult members, appointed by the City Council to advise the City Council on planning and land use issues. The Commission discusses and evaluates development proposals based on zoning regulations and comprehensive plan policies. The Planning Commission vote is a recommendation that is forwarded to the City Council for official and final action.

- 4. APPROVAL OF AGENDA**

II. REQUIRED DUTIES

- 5. CONSENT AGENDA**

- 5.1 Approval of Minutes March 13, 2024 Regular Meeting**

5.2 Approval of Minutes March 27, 2024 Work Session

6. PUBLIC HEARING

6.1. Planning Case #24-103 | Maranatha Christian Academy | 9201 75th Avenue | Site Plan Review

The applicant is seeking to remove the southern portion of the existing parking lot at 9201 75th Avenue to restore this area to greenspace. The removal of the parking lot and re-establishment of grass in this area will expand outdoor space to be used by students as well as patrons to other uses within the building.

6.2. Planning Case #24-104 | Precision Dent Removal | 8557 Wyoming Avenue | Conditional Use Permit

Precision Dent Repair is a company specializing in paintless dent repair. The application is for a Conditional Use Permit (CUP) for auto oriented repair services, which is allowed within the Business Park zoning district with a CUP (§ 152.342). The process of paintless dent repair does not involve repainting the vehicles being worked on, and does not utilize chemicals in this process. The applicant is not proposing auto body work, or repair services other than dent removal.

6.3. Planning Case #24-105 | Redline Athletics | 7115 Northland Terrace | Conditional Use Permit

Redline Athletics is an athletic franchise that is planning to occupy a vacant tenant space in an existing building north of Highway 694 on the western border of Brooklyn Park. The application is for a Conditional Use Permit (CUP) for a commercial indoor recreational facility over 2,450 square feet, which is allowed within the zoning district with a CUP (§ 152.342). The applicant is proposing a performance center focused on specialized performance training programs.

6.4. Planning Case #24-106 | Rotation Engineering | 8800 Xylon Avenue North | Site Plan Review

This request is for the construction of an addition to the existing structure located at 8800 Xylon Avenue. This addition will expand the existing structure to the north, increasing the footprint of the structure by 26,928 square feet.

6.5. Planning Case #24-107 | Waterside Market | 7500 Brooklyn Blvd. North | Site Plan Review

This request is for the construction of an addition to the existing structure located at 7500 Brooklyn Blvd N. This addition will include a 20ft by 100ft dry storage and merchandise addition as well as a 30ft by 100ft freezer addition. Currently the property owner is renting storage space offsite, including freezer space, and this addition is needed to continue business operations.

6.6. Planning Case #24-102 | Zoning Code Update | Chapter 152 – Article 3 Land Use Performance Standards

Article 3 of Zoning Code (Chapter 152) proposed text amendments comply with the changes made to the Comprehensive Plan through the new land use designations and the adoption of new zoning districts. Technical changes for consistency throughout the Land Use title have also been made.

7. OTHER BUSINESS

III. DISCUSSION ITEMS

IV. VERBAL REPORTS AND ANNOUNCEMENTS

- 8. COUNCILMEMBER LIASON COMMENTS**
- 9. PLANNING COMMISSION COMMENTS**
- 10. STAFF LIASON COMMENTS**

V. ADJOURNMENT

UNAPPROVED MINUTES

MINUTES OF THE BROOKLYN PARK PLANNING COMMISSION Regular Meeting – March 13, 2024



1. CALL TO ORDER

The meeting was called to order at 7:00 PM.

2. ROLL CALL/PLEDGE OF ALLEGIANCE

Those present were: Commissioners Cavin, Fraser, Kiekow, Udomah, and Wako; Council Liaison McGarvey; Planning Director Mogush; Principal Planner Turnquest; Associate Planner McDermott; Planning Assistant Hayes-Regan.

Those arrived late: None

Those excused were: Commissioner Turner.

Those not present were: Commissioner Borer and Gaye-Bai.

3. EXPLANATION BY CHAIR

4. APPROVAL OF AGENDA

MOTION KIEKOW, SECOND FRASER TO APPROVE THE MARCH 13, 2024 AGENDA.

MOTION CARRIED UNANIMOUSLY.

5. CONSENT AGENDA

- A. **Minutes** – February 14, 2024 Regular Meeting
- B. **Minutes** – February 28, 2024 Work Session

MOTION FRASER, SECOND KIEKOW TO APPROVE THE MARCH 13, 2024 CONSENT AGENDA.

MOTION CARRIED UNANIMOUSLY.

6. PUBLIC HEARING

- A. **Chapter 150 – Signs – Zoning Code Update** – The Sign Code (Chapter 150) proposed text amendments comply with changes made to the Comprehensive Plan through the new land use designations and the anticipated adoption of new zoning districts. Technical changes for consistency throughout the Land Use title have also been made. The City's Attorney is currently reviewing the text against current case law and additional changes may be required.

Principal Planner Turnquest provided background information on the land use code update process, which included public engagement and input. She stated that the 2040 Comprehensive Plan looked at the community with an emphasis on special planning areas to address its goals and needs. She stated that the official controls must be updated to match the Comprehensive

Plan. She stated that Title 15 includes four chapters 150, 151, 152, and 153 and provided a brief overview of the proposed changes proposed to bring the zoning code into conformance. She recommended that the Planning Commission hold one public hearing for the four chapters to accept public comment and then have separate discussion and motions for each chapter.

Commission Chair Cavin opened the public hearing for all four chapters being considered tonight.

Rich Xiong, 4034 Foxclub, expressed concern with Section 5.1 and the proposal to eliminate restrictions on projecting signs, 150.05, letter D. He commented that there would be a number of negative aspects that could be associated with that change. He asked the Planning Commission to consider adding letter D back into the section. He also referenced Section 5.2 noting that he does not oppose the updates but asked the Commission to pay close attention to the summary of key findings in the zoning diagnosis. He referenced the missing middle housing results and noted that when developers contact the City, staff should focus on those developments outlined as a need. He referenced the stormwater elements in Section 5.3, which was confusing to read, and asked the Commission to hold City staff to task to ensure stormwater requirements are met by new developments rather than causing a burden to existing residents.

Commission Chair Cavin closed the public hearing but reminded the public that comments can be submitted via email to City Staff for consideration in the City Council agenda packet.

Commission Chair Cavin stated that there was a lot of discussion about the 2040 Comprehensive Plan. He asked where green building standards would be incorporated, as that is a goal of the City.

Associate Planner McDermott replied that this is part of a phased approach. They stated that the green rooftops and sustainability standards will come forward in phase two, while this section focused more on the basic zoning elements. They stated that the next phases will focus on those additional elements.

Commission Chair Cavin commented that there has been a lot of talk of accessory dwelling units (ADUs) and asked if that would come forward in the future as well.

Associate Planner McDermott confirmed that would also be included in phase two, along with the missing middle that was mentioned by the resident. They stated that staff has been tracking interest of residents in ADUs in order to ensure a robust public engagement for that topic. They referenced the elimination of letter D mentioned by the resident and provided additional details on the changes proposed. They appreciated the comment related to stormwater and noted that they would pass that on to engineering, noting that staff works diligently to ensure the appropriate standards are met in terms of water management for development. They stated that they continue to look at how sustainability can be worked into the Code to accomplish the goals of the City.

MOTION FRASER, SECOND UDOMAH TO RECOMMEND ADOPTION OF ORDINANCE #2024-__ AMENDING CHAPTER 150 OF THE BROOKLYN PARK CODE FOR CONSISTENCY WITH THE BROOKLYN PARK 2040 COMPREHENSIVE PLAN.

MOTION CARRIED UNANIMOUSLY.

B. Chapter 151 – Subdivisions – Zoning Code Update – The Subdivisions Code (Chapter 151) proposed text amendments provide consistency throughout the Land Use title. This Chapter has not been updated since 2000, and the proposed changes reflect the current process.

MOTION UDOMAH, SECOND KIEKOW TO RECOMMEND ADOPTION OF ORDINANCE #2024-__ AMENDING CHAPTER 151 OF THE BROOKLYN PARK CODE FOR CONSISTENCY WITH THE BROOKLYN PARK 2040 COMPREHENSIVE PLAN.

MOTION CARRIED UNANIMOUSLY.

C. Chapter 153 – Stormwater Management – Zoning Code Update – The Stormwater Management Code (Chapter 153) proposed text amendments provide consistency throughout the Land Use title as well as changes made to reflect the current process.

MOTION UDOMAH, SECOND WAKO TO RECOMMEND ADOPTION OF ORDINANCE #2024-__ AMENDING CHAPTER 153 OF THE BROOKLYN PARK CODE FOR CONSISTENCY WITH THE BROOKLYN PARK 2040 COMPREHENSIVE PLAN.

MOTION CARRIED UNANIMOUSLY.

D. Chapter 152 – Article 1 Administration and Article 2 Zoning Districts – Zoning Code Update – Articles 1 and 2 of the Zoning Code (Chapter 152) proposed text amendments comply with the changes made to the Comprehensive Plan through the new land use designations and the adoption of new zoning districts. Technical changes for consistency throughout the Land Use title have also been made.

MOTION WAKO, SECOND UDOMAH TO RECOMMEND ADOPTION OF ORDINANCE #2024-__ AMENDING CHAPTER 152 OF THE BROOKLYN PARK CODE FOR CONSISTENCY WITH THE BROOKLYN PARK 2040 COMPREHENSIVE PLAN.

MOTION CARRIED UNANIMOUSLY.

7. OTHER BUSINESS

No comments.

8. DISCUSSION ITEMS

No comments.

9. VERBAL REPORTS AND ANNOUNCEMENTS

A. Council Comments

Council Liaison McGarvey provided an update on recent actions of the Council related to planning cases.

B. Commission Comments

No comments.

C. Staff Comments

Planning Director Mogush recognized that this will be the last meeting for Commissioner Kiekow and thanked him for his service over the past six years. He noted that Commissioner orientation which will take place on March 20th. He stated that on March 27th the Commission will hold a worksession to continue its discussion on the land use code update. He commented that the City has not yet received interest from a youth member.

10. ADJOURNMENT

Commission Chair Cavin adjourned the meeting at 7:29 PM.

Respectfully submitted,

Paul Mogush
Planning Director

UNAPPROVED MINUTES

MINUTES OF THE BROOKLYN PARK PLANNING COMMISSION Work Session – March 27, 2024



1. CALL TO ORDER

The meeting was called to order at 7:05 PM.

Those present were: Commissioners Fraser, Gaye-Bai, and Udomah; Councilmember Liaison McGarvey; Planning Assistant Hayes-Regan, Planning Director Mogush, and Principal Planner Turnquest.

Those excused were: Commissioners Cavin, Kiekow, and Wako; Associate Planner McDermott.

Those absent were: Commissioners Borer and Turner.

2. GENERAL INFORMATION

None.

3. DISCUSSION ITEMS/GENERAL ACTION ITEMS

C.1 Zoning Code Update

A. Section 152 Article 3 Land Use Performance Standards

Facilitated by Principal Planner Turnquest the commissioners reviewed proposed text amendments to Chapter 152 – Land Use Performance Standards of the City of Brooklyn Park Zoning Code.

Principal Planner Turnquest walked the commissioners through the proposed redlined changes and commented that many of the changes were technical in nature. The commissioners were generally in agreement with the proposed changes. Principal Planner Turnquest provided commissioners with clarification about removing gardens from the Accessory Residential Performance Standards section of the Zoning Code. She also clarified the types of home occupations that are allowed in the section.

Commissioners and Staff also engaged in conversation about whether sexually oriented businesses had protections to the 750-foot proximity to schools, daycares/preschools, libraries, parks, playgrounds, or other public or private recreational facilities rule if a business is established first. Staff appreciated the conversation and shared that they would facilitate a response to the question from the City Attorney.

4. VERBAL REPORTS AND ANNOUNCEMENTS

A. COUNCILMEMBER LIASON COMMENTS

Councilmember McGarvey commented about a recent meeting he had with residents who reside in the Mississippi River Corridor Critical Area (MRCCA) following the February 14, 2024 Planning Commission Regular Meeting which included the proposed MRCCA text amendment.

B. PLANNING COMMISSION COMMENTS

Commissioner Udomah commented that there has been an apparent increase in emergency vehicle sirens and inquired as to whether there was a correlation with an increase in incidents requiring emergency services.

Commissioner Gai-Bai commented on restrictions he and other residents experienced at a recent social gathering at his apartment community.

C. STAFF LIASON COMMENTS

Planning Director Mogush acknowledged Abdo Korosso who was appointed as a commissioner to the Planning Commission and will begin his term in April 2024.

Planning Director Mogush also commented that Staff was preparing an engagement session with the public about the MRCCA text amendment, and that information about the session will be made available as soon as the logistics for the session are finalized.

5. ADJOURNMENT

Commissioner Chair Fraser adjourned the meeting at 8:05 PM.

Respectfully submitted,

Paul Mogush
Planning Director

City of Brooklyn Park Planning Commission Staff Report

Agenda Item:	6.1	Meeting Date:	April 10, 2024
Agenda Section:	Public Hearing	Originating Department:	Community Development
Resolution:	X	Prepared By:	Erin McDermott, Associate Planner
Ordinance:			
Attachments:	4	Presented By:	Erin McDermott, Associate Planner
Item:	Maranatha Christian Academy – Planning Case #24-103 Site Plan Review for the removal of a portion of the existing parking lot.		

Proposed Actions:

MOTION _____ SECOND _____ TO RECOMMEND APPROVAL OF SITE PLAN REVIEW FOR THE REMOVAL OF A PORTION OF THE EXISTING PARKING LOT AT 9201 75TH AVENUE, SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.

Summary:

The applicant is seeking to remove the southern portion of the existing parking lot at 9201 75th Avenue to restore this area to greenspace. The removal of the parking lot and re-establishment of grass in this area will expand outdoor space to be used by students as well as patrons to other uses within the building.

Land Use Plan	Institutional
Current Zoning	PI – Public Institution
Proposed Zoning	No proposed change
Site Area	18.2 acres
Conforms to	
Land Use Plan	Yes
Zoning Code	Yes
Subdivision Ordinance	Yes
Notification	Legal notice was published in the Sun Post, 18 Notices were mailed to properties within 500 feet, Proposed Development Sign was placed on the property, A Neighborhood email was sent to the Shingle Creek neighborhood.
60- and 120- Days (§15.99)	May 5, 2024; July 4, 2024

Previous Approvals:

In 1991 a CUP was approved for a place of worship, which expired as required conditions were not met. In 1994 the property owner resubmitted the application proposed in 1991. Due to a change in ordinance, additional conditions were imposed, and a parking variance was necessary for the approval of the CUP. As

part of Planning Case 11-133, the site was replatted to absorb and rezone 5 residential properties with frontage on Mendelssohn Avenue, as well as to grant a variance to allow for an additional monument sign along Mendelssohn Avenue.

Current Conditions:

This site contains a 276,537 square foot structure that is occupied by the applicant, Marantha Academy, as well as the property owner, Living Word Christian Center. The existing parking lot abuts the structure, with additional parking area connecting the site to 73rd Avenue.

Land Use/Zoning (and Overlay):

This property is zoned PI – Public Institution and is guided Institutional by the 2040 Comprehensive Plan. The proposed change of intensity from parking to greenspace are permitted within the PI zoning district, as both are accessory uses to the principal use of religious institution and private school. Development in the PI zoning district is required to follow all B3 – General Business development standards, which include the standards for lighting, pedestrian circulation, parking, screening, landscaping and architectural standards as addressed below.

Proposed Development:

The applicant is proposing the removal of 136 parking spaces, approximately 48,400 square feet of paved surface, for the establishment of a grass playfield for the school's use.

Site Plan Review:

Site plans must be reviewed against the evaluation criteria required by the Code (§ 152.033).

Lighting:

The lighting of the parking lot proposed to remain for the site is consistent with code requirements. With the removal of the proposed parking area, all associated lighting will be removed.

Pedestrian Circulation:

The pedestrian circulation existing on site meets the zoning requirements. Section 152.132 states that sidewalks must be provided within all developments except single- or two- family residential in locations that provide convenient, safe pedestrian access as determined by the city between principal uses and must be as direct as possible to minimize distance and other impediments to walking. This site is served by sidewalk on the eastern property line, which connect internally for safe access to the structure. There is existing striping from the sidewalks abutting the structure to the greenspace to allow for safe access for school use.

Parking:

After the removal of the proposed 136 parking spaces, this request maintains 699 parking spaces on-site. The use-based parking calculations require a total of 1,522 parking spaces. The applicant provided a parking analysis, which can be reviewed in Attachment C. This proposal includes potential agreements with other property owners within the city totaling 1,086 additional spaces, for an overall total of 1,785 parking spaces. Prior to the removal as proposed, a condition of approval is furnishing the City with copies of legal agreements with all property owners to ensure adequate parking to this site. This is in line with the original CUP approvals of this site.

Enclosures and Screening:

There is no additional development proposed. No additional screening is required.

Landscaping:

This proposal includes the replacement of the parking lot to be removed with the restoration of grass in that area. This change does not require any additional landscaping to be provided.

Architectural Standards:

There is no proposed change to structures on this property.

Roadways:

This site has access points on 75th Avenue, Northland Drive, and 73rd Avenue. This proposal will remove the access on 73rd Avenue. Staff review determined that is adequate access for this property.

Grading and Drainage:

The removal of the paved area requires a grading permit, at which time grading and drainage will be reviewed by the Engineering Division to ensure consistency with City, State and Watershed requirements.

Utilities:

The removal of paved surface will not impact utilities on this site, as there will be no changes to the structure.

The required findings of § 152.033 have been addressed and Staff recommends approval of the Site Plan Review.

Conditions of Approval:

Staff recommends the adoption of Resolution 2024 - ____ subject to the following conditions as listed in Section 5 of the resolution:

- 5.01. Copies of all parking agreements with other property owners within the City to meet the minimum number of parking spaces (1,522) as required by Conditional Use Permit 1994-0203 must be provided to the City prior to beginning the removal of the parking lot.

Staff Recommendation:

Staff recommends Planning Commission recommend approval of the resolutions approving the Site Plan Review for the removal of a portion of the parking lot at 9201 75th Avenue subject to the conditions as written in the attached resolution.

Alternatives to Consider:

1. Recommend approval of the site plan as presented.
2. Recommend approval of the site plan with modifications.
3. Recommend denial of the proposal based on certain findings.

Budgetary/Fiscal Issues:

There are no budgetary or fiscal impacts anticipated by this application.

Attachments:

- A. DRAFT SITE PLAN RESOLUTION
- B. LOCATION MAP

- C. APPLICANT SUBMISSION
- D. PLAN SET

AGENDA ITEM 6.1A – DRAFT SITE PLAN RESOLUTION

RESOLUTION #2024-

RESOLUTION APPROVING A SITE PLAN REVIEW FOR THE REMOVAL OF A PORTION OF THE EXISTING PARKING LOT AT 9201 75TH AVENUE

Planning Commission File #24-103

WHEREAS, an application has been made by Marantha Christian Academy for a Site Plan Review under the provisions of the City Code on properties legally described as:

Lot 1, Block 1 of Clearview Division, Hennepin County, Minnesota

WHEREAS, the zoning of the property is PI – Public Institution –in which parking lots are an accessory use; and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission who held the public hearing on April 10, 2024.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park:

The Site Plan Review for the removal of a portion of the existing parking lot is hereby approved with the following conditions:

1.00 DRAWINGS

- 1.01 Site, landscaping, and grading plans for the property on file in the City Clerk’s office dated February 2, 2024 are approved, subject to conditions listed below.

2.00 BONDS, ESCROWS AND DIRECT PAYMENTS

- 2.01 A Development Contract and bonding shall be required as a development bond or letter of credit in the amount of **\$252,800.00**, a cash bond in the amount of **\$13,300.00**, and a developer’s escrow in the amount of **\$7,900.00** as required by Chapter 152. The developer’s escrow must be posted with the City to cover engineering, legal and administrative costs incurred by the City. If this account becomes deficient, it shall be the developer’s responsibility to deposit additional funds. This must be done before final bonding obligations are complete.

3.00 REQUIRED DOCUMENTS

- 3.01 All utility construction, drainage, grading and development plans must be approved by the City Engineer prior to receiving a building permit.

4.00 GENERAL CONDITIONS

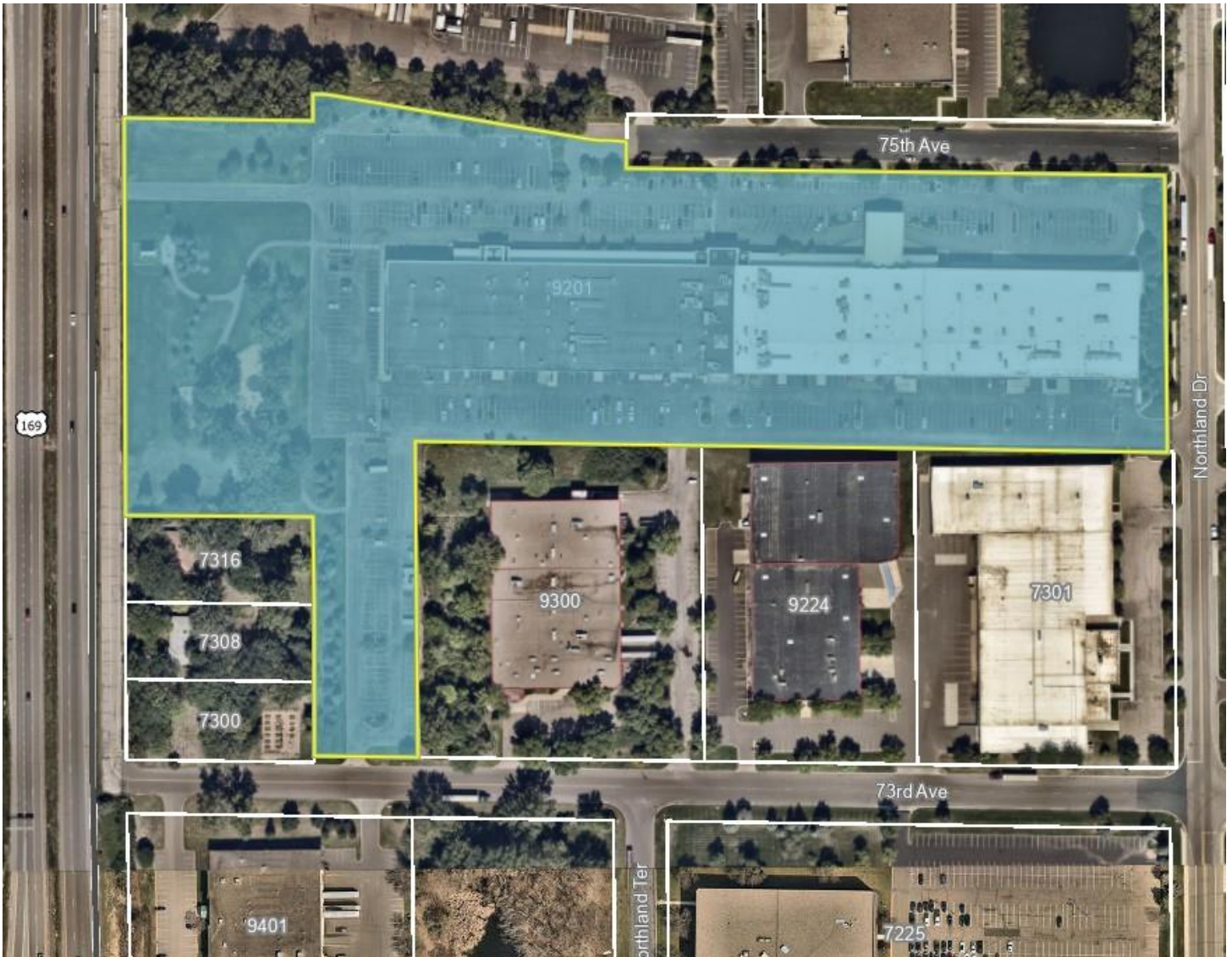
- 4.01 It shall be the developer's responsibility to keep active and up to date the developer's contract and financial surety (Letter of Credit, bonds, etc.). These documents must remain active until the developer has been released from any further obligation by City Council motion received in writing from the Engineering Department.

AGENDA ITEM 6.1A – DRAFT SITE PLAN RESOLUTION

- 4.02 Before final bonding obligations are released, a certificate signed by a registered engineer must be provided. This certificate will state that all final lot and building grades are in conformance to drainage development plan(s) approved by the City Engineer.
- 4.03 No burying of construction debris shall be permitted on the site.
- 4.04 Dust control and erosion measures must be in place to prevent for dust and erosion including, but not limited to, daily watering, silt fences, and seeding. The City Engineer may impose measures to reduce dust and run-off.
- 4.05 Adequate dumpsters must be on site during construction. When full, they must be emptied immediately or replaced with an empty dumpster.
- 4.06 Signs must conform to the requirements of Chapter 150. The sign plans will be approved by staff to verify code compliance at time of building permit.

5.00 CONDITIONS

- 5.01. Copies of all parking agreements with other property owners within the City to meet the minimum number of parking spaces (1,522) as required by Conditional Use Permit 1994-0203 must be provided to the City prior to beginning the removal of the parking lot.



Site Plan Review
Case #24-103 – Maranatha Christian Academy
Area of Request (August 2023 Air Photo)
9201 75th Ave N

Brooklyn Park 



Living Word Christian Center (LWCC) & Maranatha Christian Academy (MCA)

Parking Requirements per Zoning Code Section 152.142.02

Figure 152.142.02 Minimum Required Parking Spaces for Assembly, Institutional and Community Uses	
Use	Minimum Number of Spaces Required
Figure 152.142.02 Minimum Required Parking Spaces for Assembly, Institutional and Community Uses	
Use	Minimum Number of Spaces Required
Athletic Facilities, Amphitheaters, Stadiums	1 space for each 4 seats (one seat equals 22 inches of pew or bench space) of design capacity and/or 10 seats for each field and/or 20 seats for each ball diamond. A percentage of the parking may be provided in grass lots provided those lots are used not more than 5 times per year.
Cemeteries	1 space for each full-time employee
Religious institutions, clubs, mortuaries, and assembly, banquet, or convention halls	1 space for each 2.5 seats (one seat equals 22 inches of pew or bench space) based on the design capacity in the main assembly area, plus parking figured separately for additional gymnasiums, banquet rooms, meeting rooms, offices, and other multi-use spaces
Schools-Elementary and Junior High	1 space for each classroom plus 1 for each 100 students of design capacity
Schools-High School, College, Trade, etc.	1 space for each 5 students of design capacity, plus 1 space for every classroom
Social Clubs	1 space per each person based on the maximum occupancy allowed by the fire code

LWCC & MCA USES:

- **RELIGIOUS INSTITUTIONS:** The Living Work Christian Center (LWCC) sanctuary maximum seating capacity — 2767 seats
 - 2767/2.5 = 1,106.8 parking spaces -> = 1,107 parking spaces
- **ATHLETIC FACILITIES:** MCA Gymnasium(s) typical event seating capacity — 637 seats
 - 637/4 = 159.25 parking spaces -> = 160 parking spaces
 - 16 Row bleachers, End bleachers sections (2 in total) are 109.5'' in length each with the middle bleacher sections at 219'' in length each (3 in total) [Total length of bleachers: 14,016''/22'' = 637 seats]
 - Gymnasium occasional larger event potential use rated at maximum 1100 occupied capacity. (1100/4 = 225 parking spaces)
 - LWCC Sanctuary & MCA Typical Gymnasium Use = ± 1,267 parking spaces (1107 + 160)
- LWCC Sanctuary & MCA Gymnasium Max Event Capacity = ± 1,332 parking spaces (1107 + 225)

AGENDA ITEM 6.1C - APPLICANT SUBMISSION

- **SCHOOLS:** Elementary & Middle (Junior High) School Student Design Capacity (k-8):
 - **Required Parking = 27 + 61 = 88 spaces**
 - Classrooms and/or any specialty rooms. — 27 classrooms (including specialty)
 - Current total and maximum total of students — Currently, 543 with a design capacity of 610 -> (610/100 = 61)
 - **SCHOOLS:** High School Student Design Capacity (9-12):
 - **Required Parking = 36 + 60 = 96 spaces**
 - Classrooms and/or any specialty rooms. 36 rooms (including specialty)
 - Current total and maximum total of students — Currently 270 with a design capacity of 300 -> (300/5 = 60)
 - **UNDEFINED – SCHOOLS:** Pre-K/Early Childhood Student Design Capacity:
 - **Required Parking = 3 rooms x 2 staff/room = 6 spaces**
 - Classrooms and/or any specialty rooms — 3 classrooms (including specialty)
 - Current total and maximum total of students — Currently, 59 students with a design capacity of 60
 - Staff per room—2 adults per classroom
 - **School Year Monday – Friday Daily Parking Use = ± 190 parking spaces (88 + 96 + 6)**
- LWCC & MCA Remaining Parking Spaces Available After South Parking Lot is Removed = 699 Spaces
- **Memorandum of Understanding Regarding Parking:**
 - LWCC/MCA has canvassed a few of the surrounding property owners for access to neighboring parking facilities for LWCC/MCA large event overflow parking use.
 - See enclosed “Memorandum of Understanding Regarding Parking” agreements.
 - Pending signature anticipated prior to Planning Commission Meeting.
 - As of 02/09/2024 LWCC/MCA has secured 100 + offsite/overflow parking usage.
 - LWCC/MCA is continuing to canvas the surrounding property owners for access to neighboring parking facilities for LWCC/MCA large event overflow parking use.
 - Additional Memorandum of Understanding Regarding Parking with surrounding property owners anticipated prior to Planning Commission Meeting.
 - **Site Use Attendance & Hours of Operation:**
 - Living Word Christian Center Services: (See enclosed 2023 Attendance Records)
 - Wednesday – 7:00 pm
 - Saturday - 5:30 pm
 - Sunday - 9:00 am & 11:00 am
 - LWCC work week employees = 145 full time & 50 part time
 - LWCC Sunday Service Employee/Volunteers = ± 100
 - Maranatha Christian Academy School Year:
 - August – May (M-F) – 8:00 am to 3:15 pm
 - Staff = 145 during school year – less during summer months

Memorandum of Understanding Regarding Parking

Parties:

- Living Word Christian Center/Maranatha Christian Academy: A Minnesota non-profit, religious organization located at 9201 75th Ave N. Brooklyn Park, MN 55428.
- Qualus: A Minnesota corporation located at 9200 75th Ave N Suite 100 Brooklyn Park, MN 55428.

Purpose:

- This Memorandum of Understanding ("MOU") outlines the mutual agreement between Living Word Christian Center/Maranatha Christian Academy and Qualus concerning the use of parking spaces at Qualus's property located at 9200 75th Ave N Suite 100 Brooklyn Park, MN 55428.

Terms:

- Number of Spaces: Qualus agrees to make approximately 30 parking spaces available for use by Living Word congregants. The specific location of these spaces have been mutually agreed upon and are documented in an addendum to this MOU.
- Advance Notice: Living Word/Maranatha Christian Academy agrees to provide Qualus with at least 72 hours prior written notice of any anticipated need for use of their parking spaces.
- Use of Spaces: The parking spaces are for the sole purpose of additional parking for Living Word/Maranatha Christian Academy personnel congregants and guests during weekend church services or special church events that do not interfere with standard 9am-5pm Monday through Friday business hours. Subletting or assigning spaces is strictly prohibited without Qualus's written consent.
- Compliance with Rules: Living Word/Maranatha Christian Academy is responsible for ensuring its staff, volunteers, and guests comply with all Qualus parking regulations and property rules.
- Term and Termination: This MOU is effective immediately and will continue indefinitely unless terminated by either party upon 30 days' written notice. Qualus reserves the right to terminate this agreement immediately if Living Word violates any terms or poses a safety or security risk.
- Dispute Resolution: Any disputes arising from this MOU will be resolved through good faith negotiation. If an agreement cannot be reached, the dispute will be submitted to binding arbitration in accordance with the rules of the American Arbitration Association.

Additional Considerations:

AGENDA ITEM 6.1C - APPLICANT SUBMISSION

- A diagram depicting the location of the allocated parking spaces will be attached as an addendum to this MOU.
- This MOU does not constitute a formal lease agreement and does not confer any exclusive rights to the parking spaces.
- Both parties agree to act in a cooperative and respectful manner throughout the duration of this MOU.

Signatures:

This MOU is effective as of the date first written below.

Living Word Christian Center

By: Rick Bruce

Title: Chief Financial Officer - LWCC

Signature: _____

Date: _____

Rbruce@lwcc.org

763-315-7000

Qualus

By: Jim Neilsen

Title: Area Manager, Operations – Midwest

Signature: _____

Date: _____

Maranatha Christian Academy

By: John Szwaja

Title: Chief Business and Operations Officer - MCA

Signature: _____

Date: 2.10.2024

John.szwaja@mcamustangs.org

763-315-7904

Addendum

Parking Space Location Diagram

AGENDA ITEM 6.1C - APPLICANT SUBMISSION



Memorandum of Understanding Regarding Parking

Parties:

- Living Word Christian Center/Maranatha Christian Academy: A Minnesota non-profit, religious organization located at 9201 75th Ave N. Brooklyn Park, MN 55428.
- Nystrom Building Products: A Minnesota corporation located at 9300 73rd Ave N. Brooklyn Park, MN 55428.

Purpose:

- This Memorandum of Understanding ("MOU") outlines the mutual agreement between Living Word Christian Center/Maranatha Christian Academy and Nystrom Building Products concerning the use of parking spaces at the property located at 7500 Mendelsohn Ave N. Brooklyn Park, MN 55428.

Terms:

- Number of Spaces: Nystrom Building Products agrees to make approximately 75 parking spaces available for use by Living Word congregants. The specific location of these spaces have been mutually agreed upon and are documented in addendum A to this MOU.
- Number of Spaces: Living Word Christian Center/Maranatha Christian Academy agrees to make approximately 30 parking spaces available for Nystrom Building Products employees to use Monday-Friday from 7:30AM - 5:00PM. The specific location of these spaces have been mutually agreed upon and are documented in addendum B to this MOU.
- Advance Notice: Living Word/Maranatha Christian Academy agrees to provide Nystrom Building Products with at least 72 hours prior written notice of any anticipated need for use of their parking spaces.
- Use of Spaces: The parking spaces are for the sole purpose of additional parking for Living Word/Maranatha Christian Academy personnel congregants and guests during weekend church services or special church events that do not interfere with standard 9am-5pm Monday through Friday business hours. Subletting or assigning spaces is strictly prohibited without Nystrom Building Products written consent.
- Compliance with Rules: Living Word/Maranatha Christian Academy is responsible for ensuring its staff, volunteers, and guests comply with all Nystrom Building Products parking regulations and property rules.
- Term and Termination: This MOU is effective immediately and will continue indefinitely unless terminated by either party upon 30 days' written notice. Nystrom Building Products reserves the right to terminate this agreement immediately if Living Word violates any terms or poses a safety or security risk.
- Dispute Resolution: Any disputes arising from this MOU will be resolved through good faith negotiation. If an agreement cannot be reached, the dispute will be submitted to binding arbitration in accordance with the rules of the American Arbitration Association.

Additional Considerations:

- A diagram depicting the location of the allocated parking spaces will be attached as an addendum to this MOU.
- This MOU does not constitute a formal lease agreement and does not confer any exclusive rights to the parking spaces.
- Both parties agree to act in a cooperative and respectful manner throughout the duration of this MOU.

Signatures:

This MOU is effective as of the date first written below.

Living Word Christian Center

By: Rick Bruce

Title: Chief Financial Officer - LWCC

Signature: _____

Date: _____

Rbruce@lwcc.org

763-315-7000

Nystrom Building Products

By:

Title:

Signature: _____

Date: _____

Maranatha Christian Academy

By: John Szwaja

Title: Chief Business and Operations Officer - MCA

Signature: _____

Date: _____

John.szwaja@mcamustangs.org

763-315-7904

Addendum A

Parking Space Location Diagram



Addendum B
Parking Space Location Diagram

AGENDA ITEM 6.1C - APPLICANT SUBMISSION



**LIVING WORD CHRISTIAN CENTER
&
MARANATHA CHRISTIAN ACADEMY
LARGE EVENT ALTERNATE PARKING NARRATIVE**

Living Word Christian Center/Maranatha Christian Academy (LWCC/MCA) located at 9201 75th Ave N, Brooklyn Park, MN 55428, is currently working towards adding green space on the west end of our property for the use of physical recreation for our youth/students. While we are excited about this project, we are proactively addressing a potential parking shortfall.

LWCC/MCA is committed to responsible development and minimizing our impact on the surrounding community. We are currently exploring several options to secure additional parking beyond the designated spaces within our current building plan.

We are in ongoing conversations with two neighboring businesses in the Northland Business Park:

- **Hennepin Technical College (HTC):** Located approximately 1 mile (17-minute walk) from LWCC/MCA. We have requested the use of 300 parking spaces at HTC for larger events. In this scenario, LWCC/MCA would utilize our five 12-passenger buses to provide shuttle services between the two locations.
- **Northland Corporate Center (NCC):** Located approximately .5 miles (6-minute walk) from LWCC/MCA, with no major roads to cross. We have requested the use of 681 parking spaces at NCC. Given the close proximity, shuttles would not be necessary.
- **Qualus Corp (QC):** Located approximately 700 feet (4-minute walk) from LWCC/MCA. We have an MOU submitted for review with QC requesting the use of 30 parking spaces. Given the close proximity, shuttles would not be necessary.
- **Nystrom (N):** Located approximately 900 feet (7-minute walk) from LWCC/MCA. We have an MOU submitted for review with Nystrom requesting the use of 75 parking spaces. Given the close proximity, shuttles would not be necessary.

In addition to the above requests, the planned SW green space will be designed with surmountable curbs. This design allows for the temporary use of the space for overflow parking during events hosted at LWCC/MCA that draw larger attendance.

LWCC/MCA is committed to finding a sustainable solution to our parking needs. We are actively engaged with our neighbors and believe these collaborative efforts will ensure sufficient parking is available without placing undue burden on the surrounding area.

AGENDA ITEM 6.1C - APPLICANT SUBMISSION

January 2023															
Date	Day	Time	Mtg	Comp	B-3	4-K	G 1-5	Youth	Span	Sanc	TTL	Speaker	Total All Main Services	Online Viewing	
12/28	Wed	7 p.m.	0	0	5	6	3	0	2	101	117	P. Ryan Watkins		62 (978)	
12/28	NW	7 p.m.	0	0	0	0	0	0	0	29	29	P. Lauren - Stacy Larson			
12/30	Fri	9 p.m.	0	0	0	0	0	0	0	143	143	New Years Eve Folu & Tammara		30 (138)	
12/31	Sat	4 p.m.	0	0	9	8	30	0	0	323	370	P. Jim	1,413 (22)	168 (1502)	
1/1	Sun	9 a.m.	17	0	18	16	33	0	0	355	439	P. Jim		254 (1067)	
1/1	Sun	11 a.m.	0	14	39	42	107	119	117	517	955	P. Jim	1,764	191 (987)	
1/1	NW	11 a.m.	0	0	10	10	15	0	0	180	215	P. Adam Krube	2,268		
1/4	Wed	7 p.m.	2	0	4	4	9	0	0	76	95	P. Dustin Sherry		150 (1366)	
1/4	NW	7 p.m.	0	0	0	0	0	0	0	0	0	Canceled due to Snow	1970 (22)		
1/7	Sat	5 p.m.	0	0	13	8	32	0	0	382	435	P. Jim		286 (3154)	
1/8	Sun	9 a.m.	0	0	28	18	73	0	0	437	556	P. Jim		488 (1912)	
1/8	Sun	11 a.m.	0	19	43	56	137	181	194	583	1,213	P. Jim	2,204	316 (1461)	
1/8	NW	11 a.m.	0	0	11	15	16	0	0	188	230	P. Ryan and Angela Watkins	2,529		
1/11	Wed	7 p.m.	0	3	8	10	35	0	84	155	295	Pastor Dustin		67 (666)	
1/11	Wed	7 p.m.	0	0	0	0	0	32	0	0	32	Pastor Lauren	1973 (22)		
1/14	Sat	5 p.m.	0	0	12	10	37	0	0	349	408	Pastor Jim		184 (1109)	
1/15	Sun	9 a.m.	17	0	31	19	48	0	0	463	578	Pastor Mac		303 (1025)	
1/15	Sun	11 a.m.	0	14	51	51	137	164	204	602	1,223	Pastor Mac	2,209	154 (647)	
1/15	NW	11 a.m.	0	0	10	19	19	0	0	238	286	Pastor Jim	2,822		
1/18	Wed	7 p.m.	15	2	7	12	32	0	72	212	352	Pastor Dustin		74 (759)	
1/18	NW	7 p.m.	0	0	0	0	0	32	0	0	32	P. Lauren - Stacy Larson	1852 (22)		
1/21	Sat	5 p.m.	0	2	11	12	27	0	0	365	417	Dennis Burke		204 (1100)	
1/22	Sun	9 a.m.	0	0	29	24	57	0	0	439	549	Dennis Burke		300 (999)	
1/22	Sun	11 a.m.	0	17	62	56	142	165	194	703	1,339	Dennis Burke	2,305	170 (670)	
1/22	NW	11 a.m.	0	0	10	13	14	0	0	182	219	P. Jim	2,908		
1/25	Wed	7 p.m.	0	3	7	9	21	0	63	141	244	P. Josh Coan		63 (804)	
1/25	NW	7 p.m.	0	0	0	0	0	32	0	0	32	P. Lauren - Stacy Larson	2322 (22)		
1/28	Sat	5 p.m.	0	0	5	10	35	0	0	347	397	P. Jim		199 (1266)	
1/29	Sun	9 a.m.	0	0	30	12	45	0	0	418	505	P. Jim		302 (1041)	
1/29	Sun	11 a.m.	0	14	59	52	145	156	204	583	1,213	P. jim	2,115	167 (862)	
1/29	NW	11 a.m.	0	0	8	13	13	0	0	223	257	Pastors Brandon & Heidi	2,648		
4 Week Attendance				1/8	1/15	1/22	1/29	4 Week Average Attendance						4 Week Average for this	
				2,529	2,822	2,908	2,634	2,723							
LWCC/MCA Brooklyn Park Campus: After SW parking area is removed the site will have 699 parking spaces available on site. The LWCC Sanctuary seating capacity = 2,767 (2767/2.5=1,107 req. prking) Max Attendance Available to Parking 699 spaces x 2.5 = 1,748				Visitors				LWCC - Brooklyn Park Campus Ave Attendance							
				Date	Main	NW	Wed		TTL	739					
				1/1	6	0	0		6						
				1/8	6	0	0		6						
				1/15	6	0	0		6						
				1/22	11	0	0		11						
1/29	2	0	0		2										
				31	0	0		31							
													2022 2582		
													2021 2547		

February 2023 AGENDA ITEM 6.1C - APPLICANT SUBMISSION

Date	Day	Time	Mtg	Comp	B-3	4-K	G 1-5	Youth	Span	Sanc	TTL	Speaker	Total All Main Service	Online Viewing
2/1	Wed	7 p.m.	9	0	7	10	28	0	81	169	304	P. Dustin		60 (722)
2/1	Wed	7 p.m.	0	0	0	0	0	0	0	20	20	P. Lauren Stacy-Larson		
2/4	Sat	5 p.m.	0	0	19	10	43	0	0	433	505	P. Mac - Experience Wknd	2164 (22)	196 (1071)
2/5	Sun	9 a.m.	0	0	30	20	51	0	0	449	550	P. Mac - Experience Wknd		277 (1073)
2/5	Sun	11 a.m.	0	18	54	62	166	173	216	689	1,378	P. Mac - Experience Wknd	2,433	155 (661)
2/5	NW	11 a.m.	0	0	14	14	13	0	0	177	218	P. Brandon & Heidi	2,975	
2/8	Wed	7 p.m.	0	0	10	13	50	0	65	170	308	P. Dustin		50 (611)
2/8	Wed	7 p.m.	0	0	0	0	0	30	0	0	30	P. Lauren Stacy-Larson		
2/11	Sat	5 p.m.	0	0	15	14	39	0	0	387	455	P. Jim	2263 (22)	177 (958)
2/12	Sun	9 a.m.	0	0	35	24	66	0	0	485	610	P. Jim		303 (1319)
2/12	Sun	11 a.m.	0	14	54	57	151	169	205	849	1,499	P. Jim	2,564	150 (611)
2/12	NW	11 a.m.	0	0	14	20	16	0	0	185	235	P. Brandon & Heidi	3,137	
2/15	Wed	7 p.m.	0	0	5	8	37	0	80	162	292	P. Ryan		66 (541)
2/15	Wed	7 p.m.	0	0	0	0	0	0	0	0	0	P. Lauren Stacy-Larson		
2/18	Sat	5 p.m.	0	0	28	19	44	0	0	737	828	Rick Renner	2132 (22)	354 (1751)
2/19	Sun	9 a.m.	0	0	37	26	71	0	0	726	860	Rick Renner		512 (1905)
2/19	Sun	11 a.m.	0	20	55	59	154	160	192	909	1,549	Rick Renner	3,237	461 (1718)
2/19	NW	11 a.m.	0	0	6	13	10	0	0	166	195	Pastors Brandon & Heidi	3,724	
2/22	Wed	7 p.m.	0	0	3	3	5	0	13	110	134	P. Dustin		0 (0)
2/22	Wed	7 p.m.	0	0	0	0	0	0	0	0	0	Canceled		
2/25	Sat	5 p.m.	0	0	14	14	45	0	0	444	517	P. Jim	2394 (22)	208 (1813)
2/26	Sun	9 a.m.	0	0	31	21	62	0	0	467	581	P. Jim		282 (1132)
2/26	Sun	11 a.m.	0	16	66	50	167	130	218	702	1,349	P. Jim	2,447	170 (1074)
2/26	NW	11 a.m.	0	0	12	25	21	0	0	212	270	Pastor Mac Hammond	2,851	

4 Week Attendance	2/5	2/12	2/19	2/26	4 Week Average Attendance
	2,975	3,137	3,724	2,851	3,172

4 Week Average Attendance for this week in:	
2022	2853
2021	2465

**LWCC - Brooklyn Park Campus
Ave Attendance**

995

Visitors				
Date	Main	Wed	NW	TTL
2/5	35	0	0	35
2/12	8	0	0	8
2/19	14	0	0	14
2/26	4	0	0	4

61	0	0	61
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AGENDA ITEM 6.1C - APPLICANT SUBMISSION

March 2023

Date	Day	Time	Mtg	Comp	B-3	4-K	G 1-5	Youth	Span	Sanc	TTL	Speaker	Total All Main Service	Online Viewing
3/1	Wed	7 p.m.	0	2	10	13	38	0	60	184	307	P. Dustin		79 (755)
3/1	Wed	7 p.m.	0	0	0	0	0	34	0	0	34	P. Lauren Stacy-Larson		
3/4	Sat	5 p.m.	0	0	16	13	34	0	0	453	516	Pastor Jim	1895 (22)	187 (1075)
3/5	Sun	9 a.m.	0	0	37	21	57	0	0	591	706	Pastor Mac		341 (958)
3/5	Sun	11 a.m.	0	13	48	65	131	154	184	678	1,273	Pastor Mac	2,495	173 (684)
3/5	NW	11 a.m.	0	0	8	13	12	0	0	145	178	Pastors Brandon & Heidi	3,014	
3/8	Wed	7 p.m.	21	3	8	12	28	0	69	131	272	P. Dustin		81 (655)
3/9	Wed	7 p.m.	0	0	0	0	0	39	0	0	39	P. Lauren Stacy-Larson		
3/11	Sat	5 p.m.	0	0	12	5	37	0	0	325	379	Pastor Jim	2233 (22)	241 (1131)
3/12	Sun	9 a.m.	0	0	22	20	46	0	0	336	424	Pastor Mac		355 (1071)
3/12	Sun	11 a.m.	0	13	39	34	154	139	140	558	1,077	Pastor Mac	1,880	230 (848)
3/12	NW	11 a.m.	0	0	10	21	10	0	0	157	198	Pastors Brandon & Heidi	2,389	
3/15	Wed	7 p.m.	13	0	8	8	28	0	30	169	256	P. Dustin		67 (762)
3/15	Wed	7 p.m.	0	0	0	0	0	25	0	0	25	P. Lauren Stacy-Larson		
3/18	Sat	5 p.m.	0	0	10	7	20	0	0	321	358	Pastor Mac	2323 (22)	216 (1075)
3/19	Sun	9 a.m.	0	0	30	22	59	0	0	444	555	Pastor Mac		321 (958)
3/19	Sun	11 a.m.	0	16	63	65	158	171	183	750	1,406	Pastor Mac	2,319	183 (827)
3/19	NW	11 a.m.	0	0	16	24	8	0	0	199	247	Pastors Brandon & Heidi	2,847	
3/22	Wed	7 p.m.	0	0	0	0	0	0	0	0	0	No Service		
3/23	Wed	7 p.m.	0	0	0	0	0	28	0	0	28	P. Lauren Stacy-Larson		
3/24	Fri	7 p.m.	0	0	20	14	47	0	0	896	977	P&P Conference/Heidi Baker		283 (3174)
3/25	Sat	10 a.m.	0	0	0	0	0	0	0	477	477	P&P Conference/Joseph Harris		301 (1812)
3/25	Sat	5 p.m.	0	0	25	18	50	0	0	765	858	P&P Conference/Leif Hetland	3605 (22)	389 (2084)
3/26	Sun	9 a.m.	0	2	36	24	68	0	0	884	1,014	P&P Conference/Leif Hetland		458 (1628)
3/26	Sun	11 a.m.	0	17	90	39	179	0	218	1217	1,760	P&P Conference/Heidi Baker	3,632	396 (1473)
3/26	NW	11 a.m.	0	0	8	12	17	0	0	181	218	Pastors Brandon & Heidi	5,332	

4 Week Attendance	3/5	3/12	3/19	3/26	4 Wk Avg. Attendance
	3,014	2,389	2,847	5,332	3,396

4 Week Average Attendance	
for this week in:	
2022	3237
2021	2887

**LWCC - Brooklyn Park Campus
Ave Attendance**
982

Visitors				
Date	Main	NW	Wed	TTL
3/5	8	1	0	9
3/12	4	0	0	4
3/19	20	0	0	20
3/26	45	0	0	45
	0	0	0	0

77	1	0	78
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AGENDA ITEM 6.1C - APPLICANT SUBMISSION

April 2023

Date	Day	Time	Mtg	Compass	B-3	4-K	G 1-5	Youth	Span	Sanc	TTL	Speaker	Total All Main Service	Current and Total Online Viewing
3/29	Wed	7 p.m.	18	2	10	10	37	0	69	132	278	P. Dustin		77 (814)
3/29	Wed	7 p.m.	0	0	0	0	0	27	0	0	27	P. Lauren Stacy-Larson		
4/1	Sat	5 p.m.	0	0	9	12	22	0	0	324	367	Pastor Jim	2270 (22)	233 (1141)
4/2	Sun	9 a.m.	0	0	37	21	53	0	0	439	550	Pastor Jim		293 (1179)
4/2	Sun	11 a.m.	0	14	64	49	149	147	190	642	1,255	Pastor Jim	2,172	178 (672)
4/2	NW	11 a.m.	0	0	12	24	14	0	0	206	256	Pastors Brandon & Heidi	2,733	
4/5	Wed	7 p.m.	0	0	0	0	0	0	0	0	0	No Service		9 (30)
4/5	Wed	7 p.m.	0	0	0	0	0	31	0	0	31	P. Lauren Stacy-Larson		
4/8	Sat	5 p.m.	0	0	36	37	109	0	0	763	945	Easter Service	2321 (22)	229 (1399)
4/9	Sun	9 a.m.	0	2	57	36	109	0	0	924	1,128	Easter Service		343 (1202)
4/9	Sun	11 a.m.	0	18	98	116	258	0	341	1355	2,186	Easter Service	4,259	167 (1045)
4/9	NW	11 a.m.	0	0	10	18	22	0	0	308	358	Pastors Brandon & Heidi	4,648	
4/12	Wed	7 p.m.	14	0	11	9	28	0	44	136	242	P. Dustin		144 (756)
4/12	Wed	7 p.m.	0	0	0	0	0	37	0	0	37	P. Lauren Stacy-Larson		
4/15	Sat	5 p.m.	0	0	7	9	32	0	0	392	440	P. Jim	4101 (22)	201 (1212)
4/16	Sun	9 a.m.	0	0	26	21	63	0	0	432	542	P. Jim		329 (1374)
4/16	Sun	11 a.m.	0	18	52	51	134	141	171	539	1,106	P. Jim	2,088	202 (687)
4/16	NW	11 a.m.	0	0	16	25	13	0	0	185	239	Pastors Brandon & Heidi	2,606	
4/19	Wed	7 p.m.	21	0	10	19	40	0	38	633	761	YRN w/James Tan		133
4/19	Wed	7 p.m.	0	0	0	0	0	0	0	0	0	No Service/ Attended YRN		
4/22	Sat	5 p.m.	6	0	8	15	23	0	0	343	395	P. Jim	3888 (22)	212 (1176)
4/23	Sun	9 a.m.	0	0	25	15	56	0	0	471	567	P. Jim		295 (953)
4/23	Sun	11 a.m.	0	17	60	64	137	170	201	636	1,285	P. Jim	2,247	149 (538)
4/23	NW	11 a.m.	0	0	11	13	0	0	0	214	238	Pastors Brandon & Heidi	3,246	
4/26	Wed	7 p.m.	0	0	21	14	3	0	0	689	727	P. Jim / Vol Appreciation		34 /77
4/26	Wed	7 p.m.	0	0	0	0	0	0	0	0	0	No Service/ Attended V.A.N.		
4/29	Sat	5 p.m.	0	0	13	14	26	0	0	407	460	P. Jim	2231 (22)	213 (1270)
4/30	Sun	9 a.m.	0	0	30	26	63	0	0	480	599	P. Jim		260 (953)
4/30	Sun	11 a.m.	0	19	66	66	132	152	185	618	1,238	P. Jim	2,297	178 (679)
4/30	NW	11 a.m.	0	0	13	25	11	0	0	213	262	Pastors Brandon & Heidi	3,286	

4 Week Attendance	4/7	4/16	4/23	4/30	Week Average Attendance 3,447
	4,648	2,606	3,246	3,286	

LWCC - Brooklyn Park Campus Ave Attendance 976

4 Week Average Attendance for this week in:	
2022	4404
2021	2898

Visitors				
Date	Main	NW	Wed	TTL
4/2	10	0	0	10
4/9	43	0	0	43
4/16	12	0	0	12
4/23	17	0	0	17
4/30	15	0	0	15

97	0	0	97
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AGENDA ITEM 6.1C - APPLICANT SUBMISSION

May-23

Date	Day	Time	Mtg	Comp	E-3	4-K	G 1-5	Youth	Span	Sanc	TTL	Speaker	Total All Main Service	Car Count	Online Viewing
5/3	Wed	7 p.m.	14	0	12	14	30	62	52	397	581	Joan Hunter			211 (1490)
5/3	Wed	7 p.m.	0	0	0	0	0	26	0	0	26	P. Lauren			
5/6	Sat	5 p.m.	0	0	14	14	24	0	0	385	437	Pastor Jim	2430 (22)		195 (1051)
5/7	Sun	9 a.m.	17	0	33	18	45	0	0	470	583	Pastor Jim			304 (1017)
5/7	Sun	11 a.m.	0	16	64	61	132	149	180	679	1,281	Pastor Mac	2,301		164 (771)
5/7	NW	11 a.m.	0	0	15	20	1	0	0	138	174	P. Brandon & Heidi	3,082		
5/10	Wed	7 p.m.	1	0	7	9	24	52	50	123	266	Pastor Dustin			80 (771)
5/10	Wed	7 p.m.	0	0	0	0	0	0	30	0	30	Pastor Lauren			
5/13	Sat	5 p.m.	0	0	14	11	68	0	0	464	557	Pastor Jim	1912 (22)		184 (1265)
5/14	Sun	9 a.m.	0	0	26	24	97	0	0	467	614	Pastor Jim			251 (1041)
5/14	Sun	11 a.m.	0	19	62	59	223	151	186	702	1,402	Pastor Jim	2,573		147 (502)
5/14	NW	11 a.m.	0	0	15	25	15	0	0	198	253	P. Brandon & Heidi	3,122		
5/17	Wed	7 p.m.	13	0	6	8	17	55	55	84	238	Pastor Dustin			78 (545)
5/17	Wed	7 p.m.	0	0	0	0	0	0	31	0	31	P. Lauren			
5/20	Sat	5 p.m.	9	0	10	14	0	28	1	297	359	Pastor Jim	2,164 (22)		172 (1236)
5/21	Sun	9 a.m.	0	0	36	17	60	0	0	549	662	Pastor Jim			277 (917)
5/21	Sun	11 a.m.	0	17	57	62	155	153	181	620	1,245	Pastor Jim	2,266		151 (543)
5/21	NW	11 a.m.	0	0	16	22	14	0	0	195	247	P. Brandon & Heidi	2,782		
5/24	Wed	7 p.m.	7	0	5	12	22	43	62	116	267	Pastor Dustin			60 (594)
5/24	Wed	7 p.m.	0	0	0	0	0	0	28	0	28	P. Lauren			
5/27	Sat	5 p.m.	0	0	9	10	23	0	0	277	319	Russell Kalenberg	1722 (22)		182 (880)
5/28	Sun	9 a.m.	0	0	28	14	44	0	0	430	516	Russell Kalenberg			259 (842)
5/28	Sun	11 a.m.	0	17	64	46	149	133	175	572	1,156	Russell Kalenberg	1,991		141 (723)
5/28	NW	11 a.m.	0	0	9	16	10	0	0	150	185	P. Brandon & Heidi	2,471		

4 Week Attendance	5/7	5/14	5/21	5/28	4 Week Average Attendance 2,863
	3,082	3,122	2,782	2,465	

LWCC - Brooklyn Park Campus
Ave Attendance
824

4 Week
Average Attendance
for this week in:
2020 2777
2021 3014

	Visitors			
	Main	NW	Wed	TTL
5/1	15	0	0	15
5/8	3	0	0	3
5/15	14	1	0	15
5/22	38	0	0	38
5/29	10	3	0	13

80	4	0	84
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June 2023

Date	Day	Time	Mtg	Compass	B-3	4-K	G 1-5	Youth	Span	Sanc	TTL	Speaker	Main Services	*Online
5/31	Wed	7 p.m.	7	0	5	11	25	55	62	73	238	P. Dustin		73 (478)
5/31	Wed	7 p.m.	0	0	0	0	0	25	0	0	25	P. Lauren		
6/3	Sat	5 p.m.	0	0	16	8	22	0	0	325	371	Pastor Jim	2182 (22)	205 (989)
6/4	Sun	9 a.m.	0	0	31	16	44	0	0	503	594	Pastor Jim		273 (931)
6/4	Sun	11 a.m.	0	15	58	65	142	157	167	586	1,190	Pastor Jim	2,155	166 (560)
6/4	NW	11 a.m.	0	0	9	22	15	0	0	186	232	P. Brandon and Heidi	2,650	
6/7	Wed	7 p.m.	0	0	14	25	50	91	48	1517	1,745	Jonathan Cahn		538 (4854)
6/7	Wed	7 p.m.	0	0	0	0	0	22	0	0	22	P. Lauren		
6/10	Sat	5 p.m.	0	0	11	9	22	0	0	288	330	Pastor Jim	2079 (22)	238 (1088)
6/11	Sun	9 a.m.	0	0	25	17	40	0	0	442	524	Pastor Jim	2,077	327 (1166)
6/11	Sun	11 a.m.	0	18	66	64	132	161	179	603	1,223	Pastor Jim		175 (611)
6/11	NW	11 a.m.	0	0	9	21	13	0	0	170	213	P. Brandon and Heidi	4,057	
6/14	Wed	7 p.m.	13	0	3	9	31	68	55	121	300	P. Dustin		71 (571)
6/14	Wed	7 p.m.	0	0	0	0	0	18	0	0	18	P. Lauren		
6/17	Sat	5 p.m.	0	0	7	10	19	0	0	305	341	Pastor Jim		190 (924)
6/18	Sun	9 a.m.	0	0	31	15	39	0	5	472	562	Pastor Jim	2001 (22)	230 (1138)
6/18	Sun	11 a.m.	0	18	55	55	129	141	170	622	1,190	Pastor Jim	2,093	175 (557)
6/18	NW	11 a.m.	0	0	14	23	13	0	0	184	234	P. Brandon and Heidi	2,645	
6/21	Wed	7 p.m.	12	0	5	10	31	69	107	123	357	P. Dustin		66 (574)
6/21	Wed	7 p.m.	0	0	0	0	0	21	0	0	21	P. Lauren		
6/24	Sat	5 p.m.	0	0	10	13	32	0	0	390	445	Pastor Jim	2069 (22)	199 (1215)
6/25	Sun	9 a.m.	0	0	20	20	49	0	0	414	503	Pastor Jim (Baptism)		280 (1130)
6/25	Sun	11 a.m.	0	17	62	72	144	139	217	694	1,345	Pastor Jim (Baptism)	2,293	197 (814)
6/25	NW	11 a.m.	0	0	10	17	12	0	0	162	201	P. Brandon and Heidi	2,872	

4 Week Attendance	6/4	6/11	6/18	6/25	4 Week Average Attendance
	2,650	####	2,645	2,868	3055

LWCC - Brooklyn Park Campus Ave Attendance
810
 4 Week Average Attendance For this week in:
 2022 3234
 2021 3593

Below Represents the Months Average of the 5 Largest Events
961

Visitors				
	Main	NW	Wed.	TTL
6/4	11	1	0	12
6/12	11	3	0	14
6/18	10	0	0	10
6/26	10	10	0	20
	42	14	0	56

####

July 2023

AGENDA ITEM 6.1C - APPLICANT SUBMISSION

Date	Day	Time	Mtg	Comp	B-3	4-K	G 1-5	Youth	Span	Sanc	TTL	Speaker	Total All Main Service	Online Viewing
6/28	Wed	7 p.m.	11	0	7	12	30	58	50	129	297	P. Dustin		76 (699)
6/28	NW	7 p.m.	0	0	0	0	0	30	0	0	30	P. Lauren	1860 (22)	
7/1	Sat	5 p.m.	0	0	13	10	19	0	0	383	425	Pastor Jim	2,075	90 (1029)
7/2	Sun	9 a.m.	0	0	29	16	38	0	0	420	503	Pastor Jim		302 (1608)
7/2	Sun	1 a.m.	0	18	58	51	133	127	174	586	1,147	Pastor Jim		185 (723)
7/2	NW	1 a.m.	0	0	8	15	10	0	0	123	156	P. Brandon and Heidi	2,558	
7/5	Wed	7 p.m.	0	0	0	0	0	0	0	0	0	No Service week of 4th		
7/5	Wed	7 p.m.	0	0	0	0	0	0	0	0	0	No Service		
7/8	Sat	5 p.m.	0	0	11	8	26	0	0	360	405	P. Jim	2147 (22)	32 (1574)
7/9	Sun	9 a.m.	0	0	32	24	57	0	0	549	662	P. Mac	2,222	72 (1234)
7/9	Sun	1 a.m.	0	14	61	69	103	127	215	566	1,155	P. Mac		228 (1004)
7/9	NW	1 a.m.	0	0	11	18	15	0	0	180	224	P. Brandon and Heidi	2,446	
7/12	Wed	7 p.m.	4	2	8	13	22	65	60	120	294	Pastor Dustin		72 (577)
7/12	Wed	7 p.m.	0	0	0	0	0	29	0	0	29	Pastor Lauren		
7/15	Sat	5 p.m.	0	0	6	6	25	0	0	293	330	Pastor Jim	2200 (22)	30 (1245)
7/16	Sun	9 a.m.	0	0	37	20	44	0	0	414	515	Pastor Jim	2,062	75 (1121)
7/16	Sun	1 a.m.	0	17	53	62	139	159	201	586	1,217	Pastor Jim		167 (751)
7/16	NW	1 a.m.	0	0	12	20	11	0	0	143	186	Pastor Brandon	2,571	
7/19	Wed	7 p.m.	0	0	7	9	20	64	73	117	290	P. Dustin		85 (733)
7/19	Wed	7 p.m.	0	0	0	0	0	29	0	0	29	Pastor Lauren		
7/22	Sat	5 p.m.	0	0	8	9	26	0	0	333	376	Pastor Jim	1995 (22)	09 (1267)
7/23	Sun	9 a.m.	0	0	30	22	54	0	0	488	594	Pastor Jim	2,215	92 (1315)
7/23	Sun	1 a.m.	0	21	67	61	138	137	219	602	1,245	Pastor Jim		167 (665)
7/23	NW	1 a.m.	0	0	7	12	14	0	0	188	221	P. Brandon	2,755	
7/26	Wed	7 p.m.	0	0	10	10	31	63	49	114	277	P. Trent		69 (576)
7/26	Wed	7 p.m.	0	0	0	0	0	23	0	0	23	Pastor Lauren		
7/29	Sat	5 p.m.	0	0	10	13	16	0	0	337	376	P. Jim		239 (1453)
7/30	Sun	9 a.m.	17	0	20	21	42	0	0	472	572	P. Mac	2,184	59 (1411)
7/30	Sun	1 a.m.	39	19	72	71	151	138	181	565	1,236	P. Mac		185 (816)
7/30	NW	1 a.m.	0	0	11	18	13	0	175	0	217	P. Brandon	2,701	

7/9	7/16	7/23	7/30	Week Average Attendance
####	2,571	2,755	2,701	2,618

LWCC - Brooklyn Park Campus
Ave Attendance
779

4 Week
 Average Attendance
 for this week in:
 2022 3053
 2021 3017

Visitors				
Date	Main	NW	Wed	TTL
7/2	7	1	0	8
7/9	12	0	0	12
7/16	9	2	0	11
7/23	6	5	0	11
7/30	1	5	0	6
	35	13	0	48

August 2023

AGENDA ITEM 6.1C - APPLICANT SUBMISSION

Date	Day	Time	Mtg	Compass	B-3	4-K	G 1-5	Youth	Span	Sanc	TTL	Speaker	Total All Main Service	Online Viewing
8/3	Wed	7 p.m.	1	0	9	13	26	137	58	128	372	P. Dustin		54 (748)
8/3	NW	7 p.m.	0	0	0	0	0	16	0	0	16	Pastor Lauren		
8/5	Sat	5 p.m.	0	0	14	12	17	0	0	365	408	Pastor Jim	2109 (22)	251 (1702)
8/6	Sun	9 a.m.	0	0	33	22	47	0	0	531	633	Pastor Mac	2,171	375 (1226)
8/6	Sun	1 a.m.	0	16	57	66	145	0	172	674	1,130	Pastor Mac		242 (1090)
8/6	NW	1 a.m.	0	0	11	20	13	0	0	175	219	P. Brandon	2,778	
8/9	Wed	7 p.m.	5	0	5	10	19	0	82	129	250	P. Folu		106 (856)
8/9	NW	7 p.m.	0	0	0	0	0	0	0	0	0	Closed for Camp		
8/12	Sat	5 p.m.	0	0	13	9	27	0	0	359	408	Pastor Jim	2111 (22)	255 (1546)
8/13	Sun	9 a.m.	17	0	33	21	40	0	0	424	535	Pastor Mac	2,203	388 (1260)
8/13	Sun	1 a.m.	0	14	54	61	139	139	217	636	1,260	Pastor Mac		209 (1048)
8/13	NW	1 a.m.	0	0	12	19	13	0	0	183	227	P. Brandon	2,680	
8/16	Wed	7 p.m.	3	3	22	30	42	131	52	471	754	Dr. Jerry Savelle		391 (3252)
8/16	NW	7 p.m.	0	0	0	0	0	20	0	0	20	Pastor Lauren		
8/17	Thurs	7 p.m.	0	0	19	17	27	0	0	407	470	Dr. Jerry Savelle		427 (2635)
8/18	Fri	7 p.m.	0	2	17	25	39	0	0	586	669	Kenneth Copeland		503 (3648)
8/19	Sat	5 p.m.	0	2	0	0	62	0	0	733	797	Dr. Jessie Duplanis		581 (4274)
8/20	Sun	9 a.m.	0	0	38	33	44	0	0	845	960	Dr. Jessie Duplanis	3119 (22)	489 (2599)
8/20	Sun	1 a.m.	0	21	68	61	123	124	184	966	1,547	Dr. Jessie Duplanis	3,304	431 (2124)
8/20	NW	1 a.m.	0	0	11	23	11	0	0	172	217	P. Brandon	5,434	
8/23	Wed	7 p.m.	2	0	10	10	30	75	64	128	319	P. Dustin		88 (907)
8/23	NW	7 p.m.	0	0	0	0	0	16	0	0	16	Pastor Lauren		
8/26	Sat	5 p.m.	0	0	8	8	20	0	0	341	377	Pastor Jim	2215 (22)	276 (1775)
8/27	Sun	9 a.m.	0	0	41	20	45	0	0	483	589	Pastor Mac	2,270	340 (971)
8/27	Sun	1 a.m.	0	15	59	38	132	156	268	636	1,304	Mac (Spanish Church picnic off site)		180 (840)
8/27	NW	1 a.m.	0	0	18	24	27	0	0	255	324	P. Brandon	2,929	

4 Week Attendance	8/6	8/13	8/20	8/27	4 wk Avg
	2,778	2,680	5,434	2,929	3,455

4 Week Attendance	Average for this week in:
2021	3960
2022	3389

Visitors				
Date	Main	NW	M.Wed	TTL
8/6	12	3	0	15
8/13	9	0	0	9
8/20	16	5	0	21
8/27	9	0	0	9
	0	0	0	0
	46	8	0	54

**LWCC - Brooklyn Park Campus
Ave Attendance
938**

September 2023

AGENDA ITEM 6.1C - APPLICANT SUBMISSION

Date	Day	Time	Mtg	Compass	B-3	4-K	G 1-5	Youth	Span	Sanc	TTL	Speaker	Total All Main Services	OnLine Viewing
8/30	Wed	7 p.m.	0	0	7	6	28	67	45	128	281	P. Dustin		86 (827)
8/30	NW	7 p.m.	0	0	0	0	0	26	0	0	26	P. Lauren		
9/2	Sat	5 p.m.	0	0	6	4	19	0	0	367	396	P. Jim	2087 (22)	261 (1680)
9/3	Sun	9 a.m.	0	0	29	18	50	0	0	519	616	P. Jim	2,085	342 (1215)
9/3	Sun	1 a.m.	0	10	45	43	111	152	162	550	1,073	P. Jim		173 (837)
9/3	NW	1 a.m.	0	0	9	12	9	0	0	179	209	P. Brandon Lyles	2,601	
9/6	Wed	7 p.m.	0	0	12	6	22	57	61	267	425	Rev Joseph Morris		238 (1313)
9/6	NW	7 p.m.	0	0	0	0	0	28	0	0	28	Pastor Lauren		
9/9	Sat	5 p.m.	0	0	14	12	34	0	0	378	438	P. Mac	2468 (22)	236 (1472)
9/10	Sun	9 a.m.	0	2	34	16	49	0	0	532	633	P. Mac	2,401	334 (1315)
9/10	Sun	1 a.m.	0	15	58	64	141	168	214	670	1,330	P. Mac		152 (892)
9/10	NW	1 a.m.	0	0	13	12	10	0	0	172	207	P. Brandon Lyles	3,061	
9/13	Wed	7 p.m.	5	2	9	6	25	60	60	127	294	P. Dustin		87 (822)
9/13	NW	7 p.m.	0	0	0	0	0	18	0	0	18	Pastor Lauren		
9/16	Sat	5 p.m.	0	0	12	9	27	0	0	607	655	Billye Brim	2392 (22)	709 (3978)
9/17	Sun	9 a.m.	0	0	35	20	47	0	0	568	670	Billye Brim	2,681	535 (2371)
9/17	Sun	1 a.m.	7	18	50	42	128	176	191	744	1,356	Billye Brim		367 (1859)
9/17	NW	1 a.m.	0	0	7	11	14	0	0	175	207	P. Brandon Lyles	3,201	
9/20	Wed	7 p.m.	6	2	5	6	24	69	50	98	260	P. Dustin		79 (820)
9/20	Wed	7 p.m.	0	0	0	0	0	0	0	0	0	Pastor Lauren (no numbers yet)		
9/23	Sat	5 p.m.	0	0	12	9	49	0	0	348	418	P. Jim	2140 (22)	269 (1608)
9/24	Sun	9 a.m.	17	0	33	22	62	0	0	434	568	P. Mac		311 (1579)
9/24	Sun	1 a.m.	0	17	63	46	200	187	206	646	1,365	P. Mac	2,351	208 (843)
9/24	NW	1 a.m.	0	0	14	25	13	0	0	168	220	P. Brandon	2,831	

4 Week Attendance	9/3	9/10	9/17	9/24	Week Avg Attendance
	2,601	3,061	3,201	2,831	

LWCC - Brooklyn Park Campus

Ave Attendance

846

Visitors				
Date	Main	NW	Wed	TTL
9/3	11	6	0	17
9/10	4	0	0	4
9/17	15	2	0	17
9/24	20	5	0	25
	50	13	0	63

4 week average for this week in:	
2021	2944
2022	2997

October 2023

AGENDA ITEM 6.1C - APPLICANT SUBMISSION

Date	Day	Time	Mtg	Compass	B-3	4-K	G 1-5	Youth	Span	Sanc	TTL	Speaker	Total All Main Services	Online Viewing
9/27	Wed	7 p.m.	9	0	11	8	28	67	97	133	353	P. Dustin		103 (899)
9/27	Wed	7 p.m.	0	0	0	0	0	21	0	0	21	P. Lauren Stacy Larson		
9/30	Sat	5 p.m.	0	0	12	11	14	0	0	334	371	P. Lynne	2245 (22)	299 (1467)
10/1	Sun	9 a.m.	0	0	25	17	40	0	0	577	659	P. Lynne		610 (1277)
10/1	Sun	11 a.m.	0	18	50	41	142	158	204	621	1,234	P. Lynne	2,264	263 (959)
10/1	NW	11 a.m.	0	0	9	14	23	0	0	158	204	P. Brandon & Heidi Lyles	2,842	
10/4	Wed	7 p.m.	0	0	0	0	0	0	0	0	0	No Service (Flashpoint)		4 (11)
10/4	NW	7 p.m.	0	0	0	0	0	27	0	0	27	P. Lauren Stacy Larson		
10/5	Thur	7 p.m.	0	0	0	0	0	0	0	2841	2,841	Flashpoint Live		
10/6	Fri	7 p.m.	0	0	0	0	0	0	0	1563	1,563	Flashpoint Live		
10/7	Sat	5 p.m.	0	0	21	12	22	0	0	358	413	P. Jim	2077 (22)	263 (1832)
10/8	Sun	9 a.m.	0	0	32	15	48	0	0	535	630	P. Mac		409 (1408)
10/8	Sun	11 a.m.	0	17	60	45	170	189	251	688	1,420	P. Mac	2,463	227 (1247)
10/8	NW	11 a.m.	0	0	12	28	18	0	0	177	235	P. Brandon & Heidi	7,129	
10/11	Wed	7 p.m.	1	0	5	9	27	82	52	111	287	P. Dustin Sherry		65 (823)
10/11	NW	7 p.m.	0	0	0	0	0	20	0	0	20	Pastor Lauren Stacey Larson		
10/14	Sat	5 p.m.	0	0	10	13	25	0	0	509	557	Mark Hankins	2497 (22)	346 (2505)
10/15	Sun	9 a.m.	0	0	28	15	39	0	0	481	563	Mark Hankins		406 (1822)
10/15	Sun	11 a.m.	0	16	54	52	138	153	330	631	1,374	Mark Hankins	2,494	243 (1467)
10/15	NW	11 a.m.	0	0	8	11	14	0	0	160	193	P. Brandon & Heidi	2,994	
10/18	Wed	7 p.m.	7	2	12	8	29	75	65	132	330	P. Dustin Sherry		64 (796)
10/18	NW	7 p.m.	0	0	0	0	0	22	0	0	22	Pastor Lauren Stacey Larson		
10/21	Sat	5 p.m.	0	0	6	10	14	0	0	228	258	P. Mac	2133 (22)	237 (1650)
10/22	Sun	9 a.m.	17	0	34	19	48	0	0	420	538	P. Mac		271 (1108)
10/22	Sun	11 a.m.	0	17	73	52	166	165	243	689	1,405	P. Mac	2,201	168 (1089)
10/22	NW	11 a.m.	0	0	8	11	14	0	0	163	196	P. Brandon & Heidi	2,749	
10/25	Wed	7 p.m.	0	0	7	5	22	56	74	103	267	P. Heather Sibinski		97 (1005)
10/25	NW	7 p.m.	0	0	0	0	0	28	0	0	28	Pastor Lauren-Stacy Larson		
10/28	Sat	5 p.m.	0	0	16	18	31	0	0	299	364	P. Mac	2214 (22)	226 (1559)
10/29	Sun	9 a.m.	0	0	26	25	60	0	0	473	584	P. Mac		348 (1264)
10/29	Sun	11 a.m.	0	20	65	63	182	165	222	616	1,333	P. Mac	2,281	159 (1086)
10/29	NW	11 a.m.	0	0	6	13	15	0	0	165	199	P. Brandon & Heidi	2,775	

4 Week Attendance	10/8	10/15	10/22	10/29	4 Week Average Attendance 3,912
	7,129	2,994	2,749	2,775	

4 Week Average week in:
2021: 2901
2022: 2768

Visitors				
Date	Main	NW	Wed	TTL
10/1	16	0	0	16
10/8	16	0	0	16
10/15	20	0	0	20
10/22	13	0	0	13
10/29	19	3	0	22
	84	3	0	87

LWCC - Brooklyn Park Campus Ave Attendance
899

1,271
Above # Represents the Months Average of the 7 Largest Events

AGENDA ITEM 6.1C - APPLICANT SUBMISSION

November 2023														
Date	Day	Time	Mtg	Compass	B-3	4-K	G 1-5	Youth	Span	Sanc	TTL	Speaker	Total All Main Services	Online Viewing
11/1	Wed	7 p.m.	7	3	10	6	30	72	82	132	342	P. Dustin Sherry	2689 (22)	82 (785)
11/4	Sat	5 p.m.	0	0	14	11	21	0	0	231	277	P. Mac	2,321	208 (1376)
11/5	Sun	9 a.m.	0	0	34	20	55	0	0	511	620	P. Mac		302 (1221)
11/5	Sun	11 a.m.	0	16	54	53	175	166	265	695	1,424	P. Mac		126 (998)
11/5	NW	11 a.m.	0	0	15	17	18	23	0	200	273	P. Brandon & Heidi	2,936	
11/8	Wed	7 p.m.	11	2	10	10	84	76	65	118	376	P. Baltimore		88 (893)
11/11	Sat	5 p.m.	0	0	8	9	12	0	0	270	299	P. Mac	2076 (22)	244 (1434)
11/12	Sun	9 a.m.	0	0	29	21	56	0	0	393	499	P. Mac		319 (1399)
11/12	Sun	11 a.m.	0	20	59	47	157	180	243	589	1,295	P. Mac	2,093	146 (721)
11/12	NW	11 a.m.	0	0	7	8	19	23	0	180	237	P. Brandon & Heidi	2,706	
11/15	Wed	7 p.m.	7	3	11	11	73	64	57	130	356	P. Dustin Sherry		69 (770)
11/18	Sat	5 p.m.	0	0	10	13	28	0	0	263	314	P. Mac		160 (1274)
11/19	Sun	9 a.m.	17	0	31	17	47	0	0	493	605	P. Mac	1842 (22)	285 (1052)
11/19	Sun	11 a.m.	0	18	60	51	129	168	251	683	1,360	P. Mac	2,279	138 (816)
11/19	NW	11 a.m.	0	0	9	12	11	27	0	148	207	P. Brandon & Heidi	2,842	
11/22	Wed	7 p.m.	0	0	0	0	0	0	73	226	299	Dr. James Tan		102 (562)
11/25	Sat	5 p.m.	0	0	13	12	22	0	0	673	720	Dr. James Tan Youth Service	2474 (22)	237 (859)
11/26	Sun	9 a.m.	0	0	27	19	50	0	0	491	587	Dr. James Tan		398 (634)
11/26	Sun	11 a.m.	8	16	46	47	138	0	202	647	1,104	Dr. James Tan	2,411	185 (536)
11/26	NW	11 a.m.	0	0	4	22	10	13	0	155	204	P. Brandon & Heidi	2,914	
4 Week Attendance			11/5	11/12	11/19	11/26	Week Average Attendance							
			2,836	2,706	2,818	2,914	2,819							
					Visitors									
Date	Main	Wed	NW	TTL										
11/5	12	0	0	12										
11/12	8	0	0	8										
11/19	13	0	0	13										
11/26	13	0	0	13										
	0	0	0	0										
4 Week Average Attendance for this week in:														
												2021:	2972	
												2022:	2799	
LWCC - Brooklyn Park Campus														
Ave Attendance														
900														

AGENDA ITEM 6.1C - APPLICANT SUBMISSION

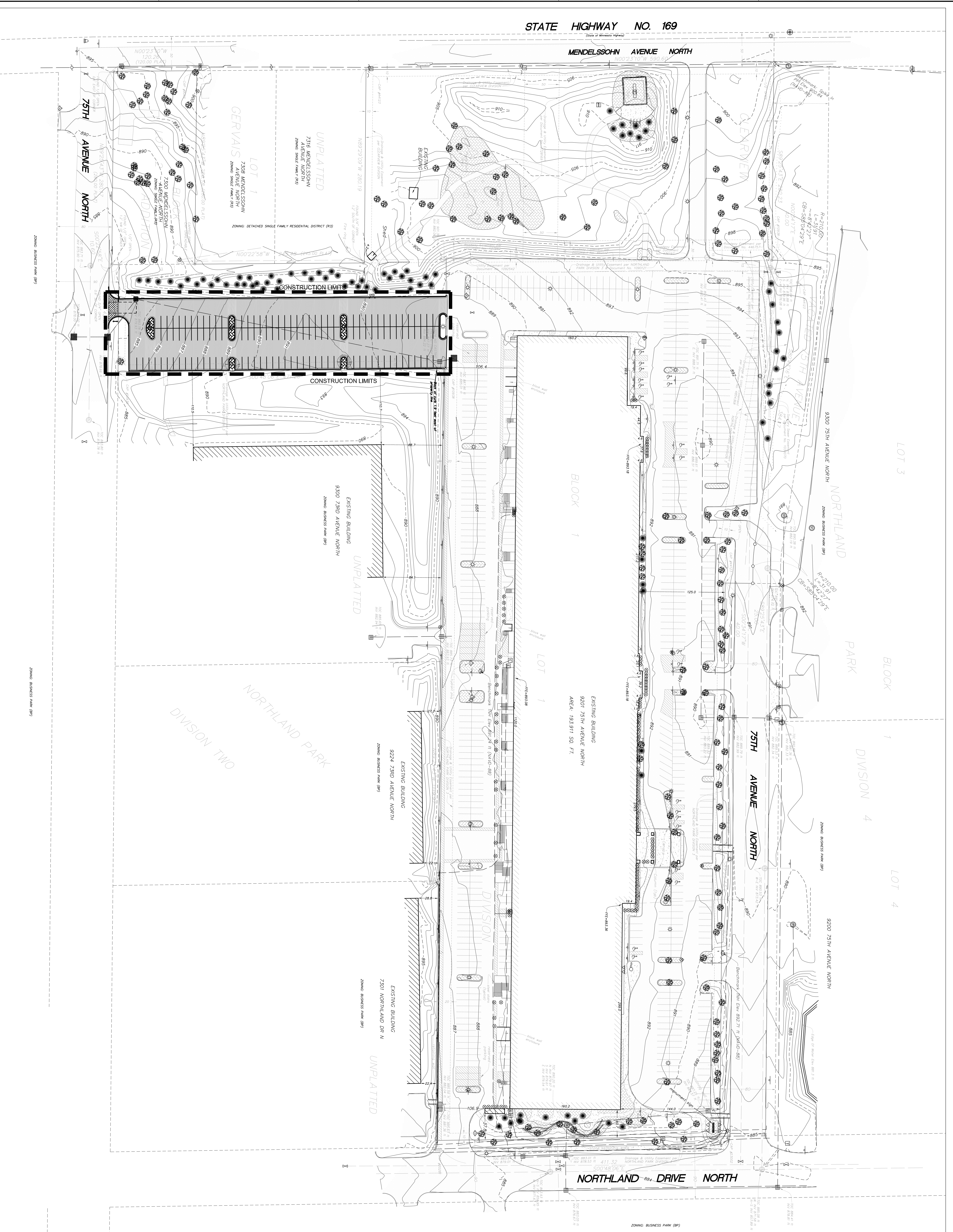
December 2023														
Date	Day	Time	Mtg	Compass	B-3	4-K	G 1-5	Youth	Span	Sanc	TTL	Speaker	Main Services	Online
11/29	Wed	7 p.m.	0	0	0	0	0	0	0	0	0	No Service due to Christmas Show?		
12/2	Sat	5 p.m.	0	0	2	14	3	0	0	1397	1,416	Christmas Show Jovonta Patton	3059 (22)	104 (411)
12/3	Sun	11 a.m.	0	20	70	51	5	0	232	1489	1,867	Christmas Show Jovonta Patton	3,283	238 (483)
12/3	NW	11 a.m.	0	0	7	16	13	13	0	165	214	P. Brandon & Heidi	3,497	
12/6	Wed	7 p.m.	6	2	8	9	35	55	66	116	297	P. Sean Miller		93 (180)
12/9	Sat	5 p.m.	0	0	9	6	17	0	0	347	379	P. Jim	2228 (22)	260 (1821)
12/10	Sun	9 a.m.	0	0	26	19	53	0	0	326	424	P. Mac		370 (1321)
12/10	Sun	11 a.m.	8	17	41	42	134	141	187	578	1,148	P. Mac	1,951	215 (993)
12/10	NW	11 a.m.	0	0	12	14	12	28	0	163	229	P. Brandon & Heidi	2,477	
12/13	Wed	7 p.m.	7	0	6	4	26	50	66	120	279	P. Dustin Sherry		81 (804)
12/16	Sat	5 p.m.	0	0	14	10	76	0	0	413	513	P. Mac	2041 (22)	226 (1411)
12/17	Sun	9 a.m.	17	0	31	23	104	0	0	593	768	P. Mac		324 (1386)
12/17	Sun	11 a.m.	0	17	61	46	164	153	214	695	1,350	P. Mac	2,631	195 (987)
12/17	NW	11 a.m.	0	0	12	17	15	32	0	205	281	Pastor Brandon & Heidi	3,191	
12/20	Wed	7 p.m.	0	0	5	4	16	62	67	88	242	P. Treena Haase		89 (1109)
12/23	Sat	5 p.m.	0	0	11	11	14	0	0	318	354	P. Jim	1842 (22)	201 (1784)
12/24	Sun	2 p.m.	0	0	0	0	0	0	284	1247	1,531	Christmas Eve Candlelight		104 (1031)
12/24	Sun	4 p.m.	0	0	0	0	0	0	0	1120	1,120	Christmas Eve Candlelight	3,005	127 (520)
12/24	NW	11 a.m.	0	0	0	0	0	0	0	0	0	No Service	3,247	
12/27	Wed	7 p.m.	0	0	0	0	0	0	0	0	0	No Service		00 (000)
12/30	Sat	4 p.m.	0	0	7	11	21	0	0	272	311	P. Jim	1842 (22)	251 (1882)
12/31	Sun	9 a.m.	17	0	24	19	22	0	0	291	373	P. Jim		331 (1256)
12/31	Sun	11 a.m.	0	18	61	46	115	127	202	635	1,204	P. Jim	1,888	228 (969)
12/31	NW	11 a.m.	0	0	13	12	13	14	0	121	173	P. Brandon	2,061	

4 Week Attendance	12/10	12/17	12/24	12/31	4 Wk Avg Attend	LWCC - Brooklyn Park Campus Ave Attendance 1,153	4 Week Average Attendance for this week in: 2023 2340 2022 3154
	2,477	3,191	3,247	2,061	2,744		

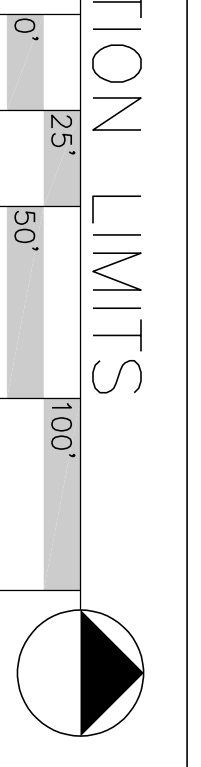
Visitors				
Date	Main	Wed	NW	TTL
12/3	21	0	0	21
12/10	10	0	0	10
12/17	8	0	2	10
12/24	8	0	0	8
12/24	10	0	0	10

AGENDA ITEM 6.1C - APPLICANT SUBMISSION

February 2024														
Date	Day	Time	Mtg	Comp	B-3	4-K	G 1-5	Youth	Span	Sanc	TTL	Speaker	Total All Main Services	Online Viewing
1/31	Wed	7 p.m.	22	2	8	10	33	66	62	124	327	Worship Night		95 (1280)
2/3	Sat	5 p.m.	0	0	8	12	41	0	0	419	480	P. Jim	2433 (23)	254 (1599)
2/4	Sun	9 a.m.	0	0	40	21	64	0	0	491	616	P. Jim		352 (1411)
2/4	Sun	11 a.m.	0	20	61	50	142	0	293	822	1,388	P. Jim	2,484	210 (851)
2/4	NW	11 a.m.	0	0	12	19	16	12	0	155	214	P. Brandon	3,025	
2/7	Wed	7 p.m.	0	3	7	8	31	79	67	138	333	P. Baltimore		105 (1291)
2/10	Sat	5 p.m.	0	0	10	8	27	0	0	407	452	P. Jim	2564 (23)	114 (522)
2/11	Sun	9 a.m.	0	0	36	16	45	0	0	514	611	P. Jim		168 (592)
2/11	Sun	11 a.m.	0	16	57	45	132	152	228	726	1,356	P. Jim	2,419	116 (485)
2/11	NW	11 a.m.	0	0	12	21	14	18	0	156	221	P. Brandon	2,973	
2/14	Wed	7 p.m.	6	2	6	9	22	39	49	104	237	P. Baltimore		101 (755)
2/17	Sat	5 p.m.	0	0	10	10	22	0	0	386	428	P. Jim	3237 (23)	280 (1562)
2/18	Sun	9 a.m.	0	0	36	16	57	0	0	465	574	P. Mac		382 (1476)
2/18	Sun	11 a.m.	0	0	51	54	155	165	223	715	1,363	P. Mac	2,365	200 (975)
2/18	NW	11 a.m.	0	0	13	24	17	24	0	206	284	P. Brandon	2,886	
2/21	Wed	7 p.m.	5	3	16	19	40	74	58	598	813	Terri Savelle Foy		235 (1342)
2/24	Sat	5 p.m.	0	30	13	18	37	0	0	416	514	P. Jim	2447 (23)	243 (1328)
2/25	Sun	9 a.m.	17	0	29	21	50	0	0	472	589	P. Mac		337 (880)
2/25	Sun	11 a.m.	0	17	62	51	157	158	281	716	1,442	P. Mac	2,545	198 (868)
2/25	NW	11 a.m.	0	0	14	19	7	21	0	176	237	P. Brandon	3,595	
4 Week Attendance				2/4	2/11	2/18	2/25	4 Week Average Attendance						
				3,020	2,973	2,886	3,595	3,119						
<div style="border: 1px solid black; padding: 5px; text-align: center;"> LWCC - Brooklyn Park Campus Ave Attendance 1001 </div>				Visitors										
				Date	Main	Wed	NW	TTL						
				2/4	4	0	0	4						
				2/11	7	0	0	7						
				2/18	16	6	6	28						
				2/25	17	0	0	0						
				44	6	6								
												4 Week Average Attendance for this week in: 2022 3118 2021 2785		



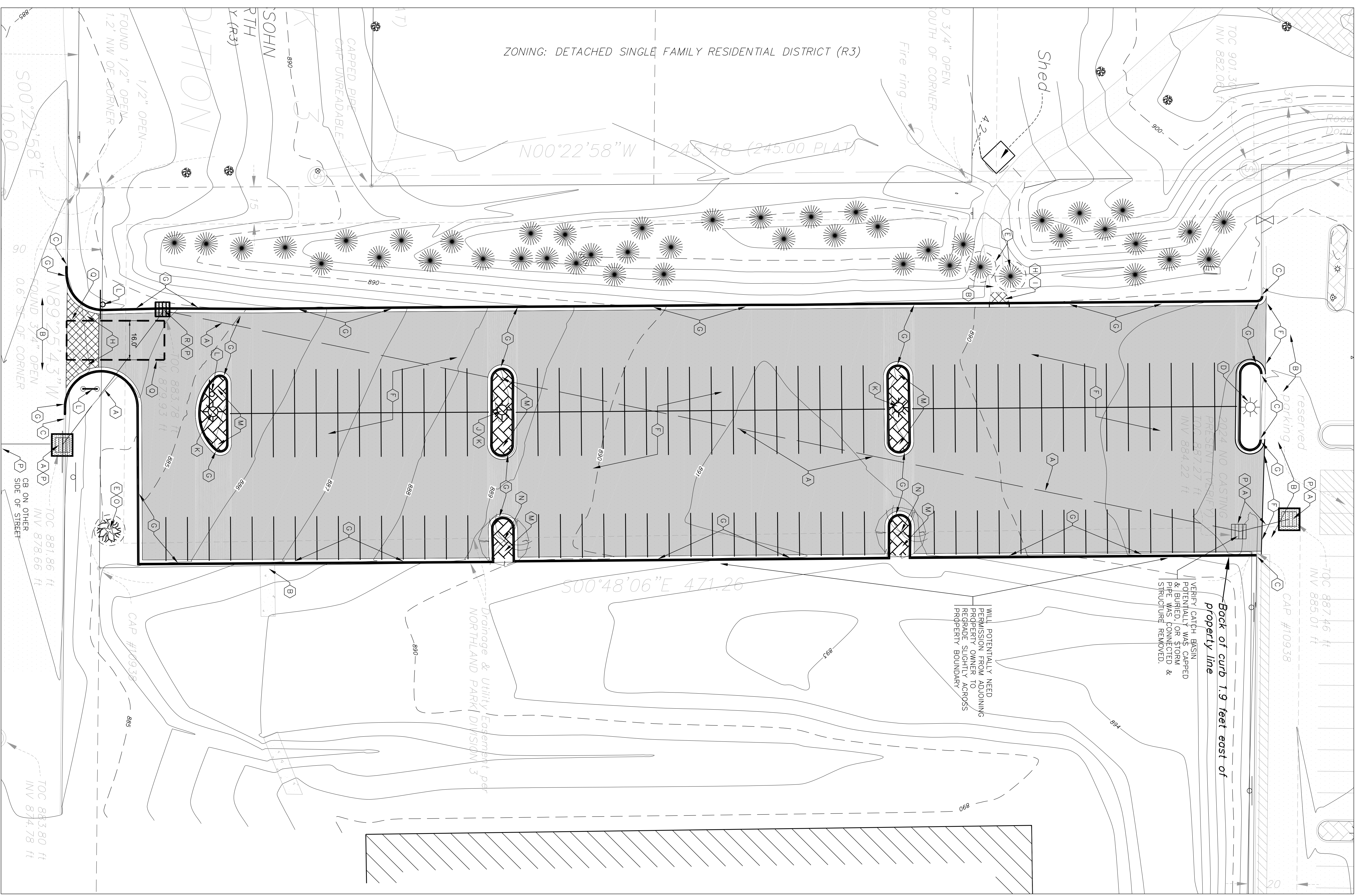
1 OVERALL SITE & CONSTRUCTION LIMITS
 L1.0 SCALE: 1" = 50'



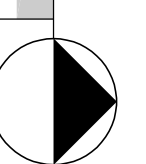
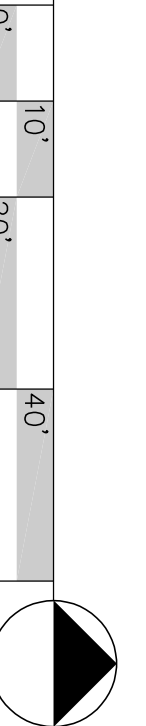
ATSR
 ARCHITECTURE ENGINEERING
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Play Field Conversion at L-Parking Lot
Maranatha Christian Academy
Living Word Christian Center
 9201 75th Avenue North
 Brooklyn Park, Minnesota 55428

CONSULTANTS	DATE: FEBRUARY XX, 2024
SHEET NAME	OVERALL SITE AND CONSTRUCTION LIMITS PLAN
ISSUE DATE	FEBRUARY XX, 2024
DESIGNED BY	DSB
CHECKED BY	RJS
DRAWN BY	RJS
FOR REFERENCE ONLY	NOT FOR CONSTRUCTION
SIGNATURE / SEAL	KEY PLAN
REVISIONS	
ATSR PROJECT NO.	23064
REVISION NO.	
SHEET NUMBER	L1.0



1 SITE DEMOLITION PLAN
SCALE: 1"=20'



SITE DEMOLITION GENERAL NOTES

THE EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE PROVIDED BY THE OWNER AND REPRODUCED FOR REFERENCE ONLY FROM AN ORIGINAL SURVEY BY WESTWOOD PROFESSIONAL SERVICES INC., PROJECT NO. 0006727, DATED 3/25/2015.

IN ACCORDANCE WITH STATE LAW, PRIOR TO EXCAVATION OR GRADING ON ANY SITE, UTILITIES MUST BE LOCATED. CALL Gopher State One Call At 1-800-252-1186 OR 651-454-0002 TO SCHEDULE UTILITY LOCATIONS FOR THIS SITE. [MS 216B.01-216B.07]

CONTRACTOR SHALL HAVE ALL UNDERGROUND PUBLIC AND PRIVATE UTILITIES LOCATED PRIOR TO CONSTRUCTION. ALL OVERHEAD/UNDERGROUND UTILITIES NOT INDICATED TO BE REMOVED SHALL REMAIN.

CONTRACTORS SHALL BE RESPONSIBLE TO VISIT THE SITE AND BE COMPLETELY FAMILIAR WITH EXISTING SITE CONDITIONS, SITE FEATURES AND SITE ACCESS. NO ADDITIONAL COMPENSATION WILL BE PROVIDED BY THE OWNER FOR THOSE ELEMENTS, FEATURES AND ACCESS ISSUES, IF SUCH SHOULD ARISE AND THAT ARE READILY KNOWN THROUGHOUT A SITE VISIT.

CONTRACTOR TO COORDINATE ALL WORK IN THE R.O.W. WITH THE CITY OF BROOKLYN PARK, MN. CONTRACTOR TO FOLLOW CITY OF BROOKLYN PARK STANDARD SPECIFICATIONS IN THE R.O.W.

DO NOT BEGIN ANY CONSTRUCTION ACTIVITIES UNTIL RELATED TEMPORARY SITE EROSION CONTROL MEASURES ARE IN PLACE, AND HAVE BEEN INSPECTED BY GOVERNING AUTHORITY IF REQUIRED.

CONTRACTOR SHALL PROTECT EXISTING VEGETATION AND SITE FEATURES WHICH ARE TO REMAIN. ALL SITE FEATURES DAMAGED BY CONTRACTOR, NOT SCHEDULED TO BE REMOVED, SHALL BE REPAIRED/REPLACED BY CONTRACTOR TO OWNERS SATISFACTION AT NO ADDITIONAL COST TO THE OWNER.

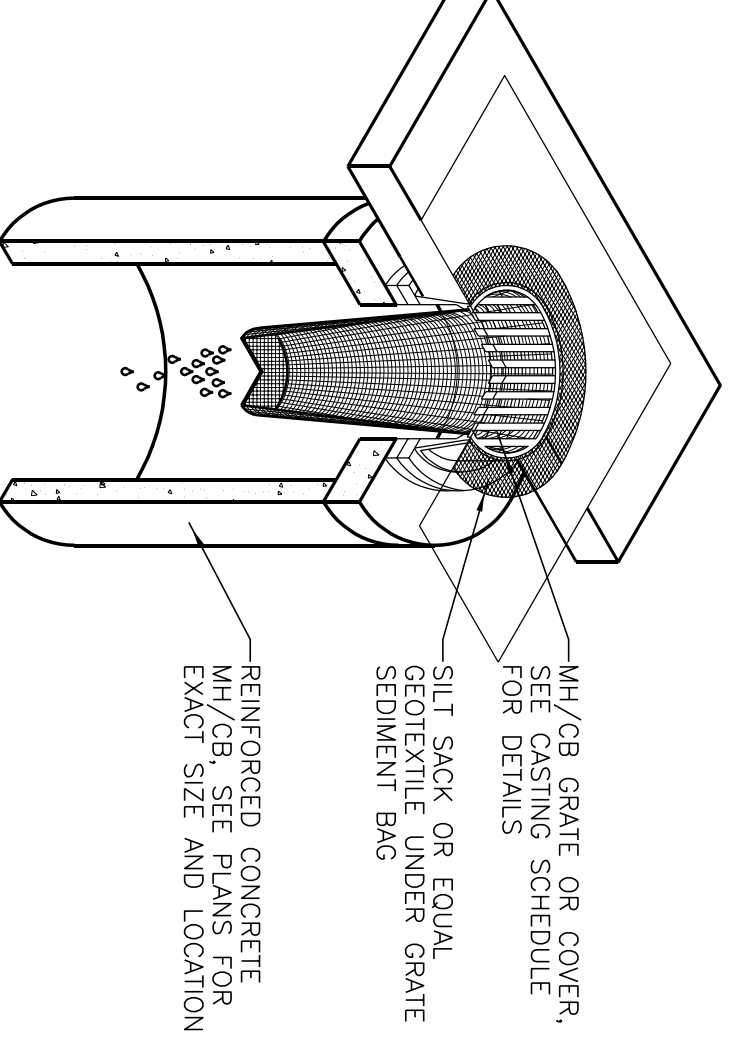
PROTECT ALL EXISTING TREES WITHIN THE CONSTRUCTION OR STAGING AREAS TO REMAIN AT TREES DRIPLINE TO KEEP ALL MATERIAL AWAY AND OUT FROM BEING LOCATED ON TOP OF TREE ROOT ZONE. REMOVAL OF PAVERS AND/OR CURBS SHALL INCLUDE REMOVAL OF FULL DEPTH BASE AGGREGATE MATERIAL, UNLESS OTHERWISE NOTED, OR AS APPROVED BY OWNER'S SOIL TESTING ENGINEER.

DEMOLITION PLAN KEYNOTES

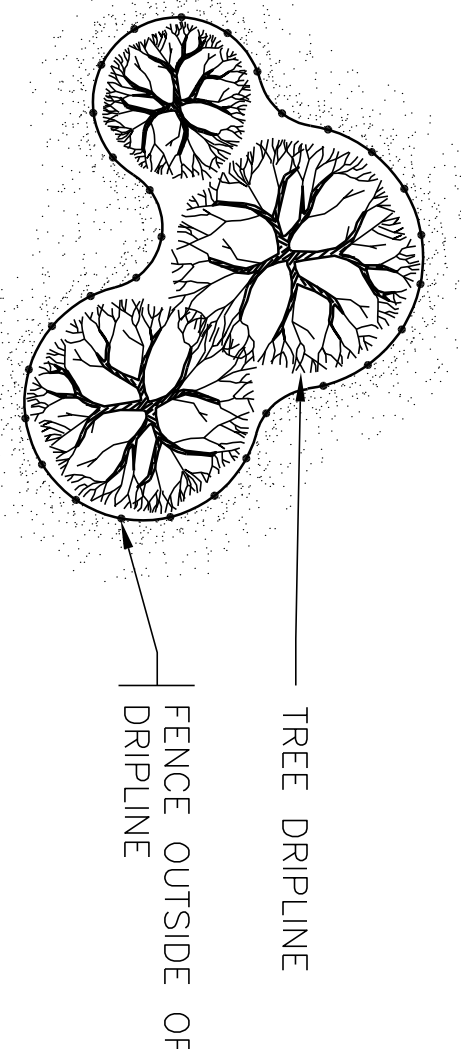
- 1. PROTECT EXISTING ABOVE GRADE AND UNDERGROUND UTILITIES.
- 2. PROTECT EXISTING PAVEMENT TO REMAIN.
- 3. PROTECT CURB & GUTTER TO REMAIN.
- 4. PROTECT EXISTING LIGHT POLE TO REMAIN.
- 5. PROTECT EXISTING TREE(S) TO REMAIN.
- 6. SAWCUT AND REMOVE EXISTING BITUMINOUS PAVEMENT. REMOVE FULL DEPTH BITUMINOUS PAVEMENT AND AGGREGATE BASE MATERIAL.
- 7. REMOVE EXISTING CONCRETE CURB AND GUTTER. REMOVE FULL DEPTH BASE MATERIAL.
- 8. REMOVE EXISTING CONCRETE PAVEMENT TO NEAREST CONSTRUCTION JOINT. REMOVE EXISTING FULL DEPTH CONCRETE PAVEMENT AND AGGREGATE BASE MATERIAL.
- 9. REMOVE AND RECYCLE CAST IRON TRUNCATED DOME METAL PLATES.
- 10. REMOVE EXISTING SECURITY CAMERA - SEE ELECTRICAL PLAN - DELIVER ANY UNUSED SECURITY CAMERA COMPONENTS BACK TO OWNER.
- 11. REMOVE LIGHT POLE AND CONCRETE FOOTING. SALVAGE LIGHT POLE AND FIXTURE AND DELIVER TO OWNER.
- 12. REMOVE AND DISPOSE OF SIGN POST AND CONCRETE FOOTINGS, IF PRESENT.
- 13. SALVAGE SIGN PANEL(S) AND/OR SIGNS AND DELIVER TO OWNER.
- 14. REMOVE AND DISPOSE OF BARK MULCH MATERIAL.
- 15. REMOVE TREE(S) AND VEGETATION - INCLUDING ALL STUMPS AND ROOTS.
- 16. RAISE OFF WATERSPOUT GROWTH FROM BOTTOM OF TREE TRUNK, REMOVE AND DISPOSE OF TRUNKINGS.
- 17. PROVIDE STORM SEWER STRUCTURE INLET PROTECTION.
- 18. PROVIDE TEMPORARY ROCK CONSTRUCTION ENTRANCE.
- 19. REMOVE CATCH BASIN CURB INLET STRUCTURE - SALVAGE TOP PAVING FOR REUSE INTO PROJECT PROVIDE NECESSARY CONCRETE RINGS ON TOP OPEN - SEE L10.

DEMOLITION LEGEND

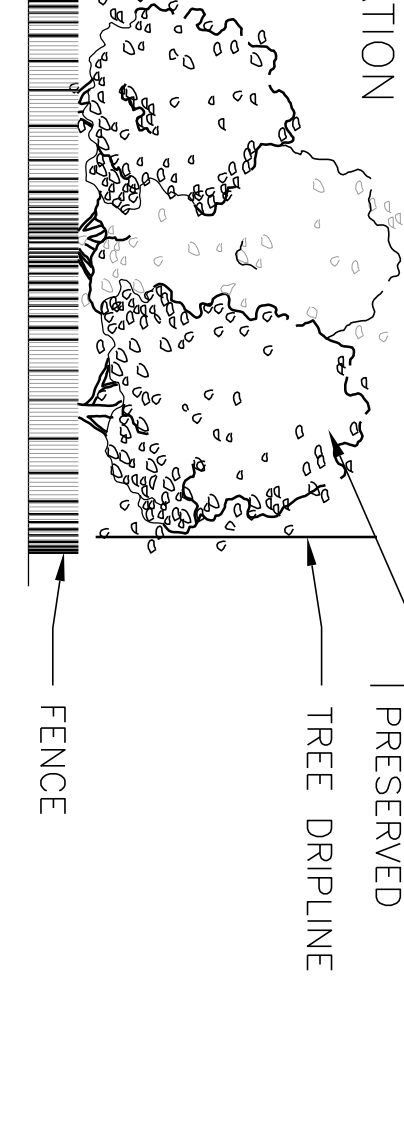
- 1. PROTECT TREES
- 2. TREE REMOVALS
- 3. CURB REMOVALS
- 4. CONCRETE REMOVALS
- 5. BITUMINOUS PAVEMENT REMOVALS
- 6. EROSION & SEDIMENT INLET PROTECTION



2 EROSION & SEDIMENT CONTROL
L1.1 @ CATCH BASIN
NOT TO SCALE

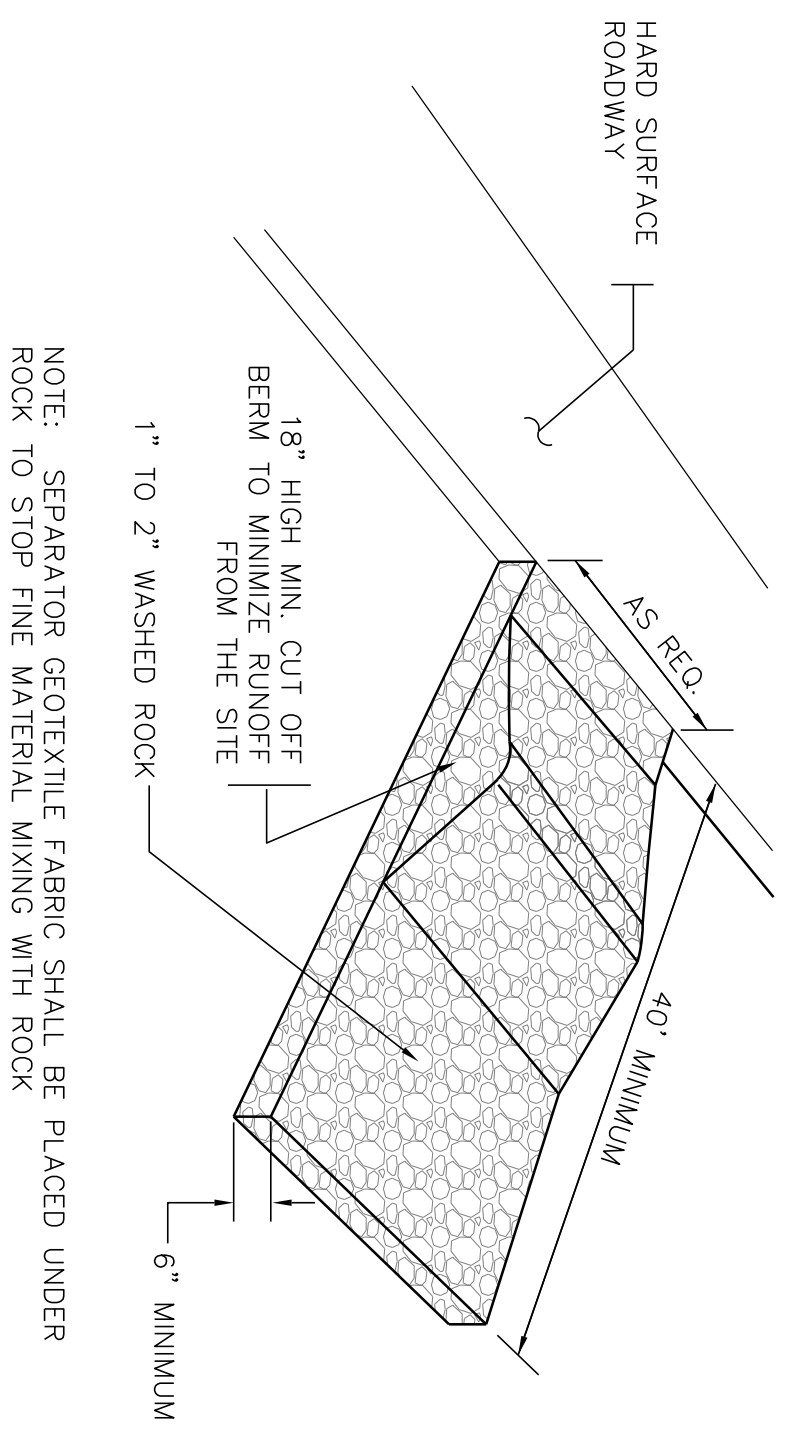


3 TREE PROTECTION
L1.1
NOT TO SCALE



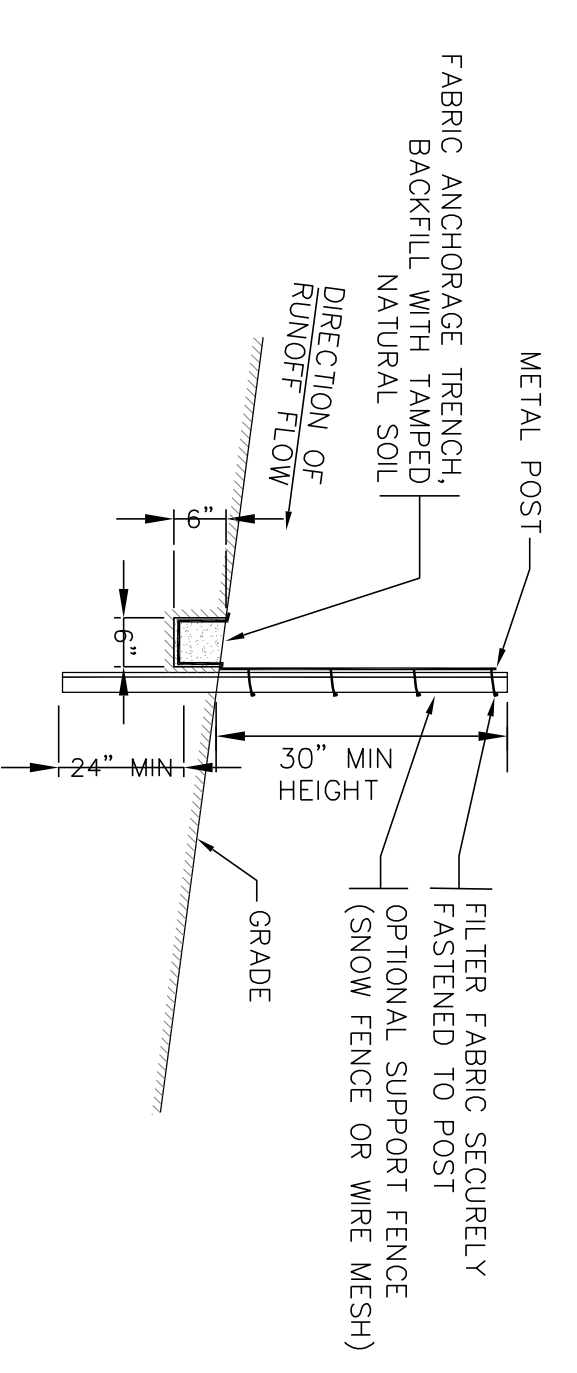
ERECT PROTECTIVE FENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTED AREA. REMOVE THE FENCE ONLY AFTER CONSTRUCTION OPERATIONS ARE COMPLETED.

4 TEMPORARY ROCK ENTRANCE
L1.1
NOT TO SCALE



NOTE: SEPARATOR GEOTEXTILE FABRIC SHALL BE PLACED UNDER ROCK TO STOP FINE MATERIAL MIXING WITH ROCK.

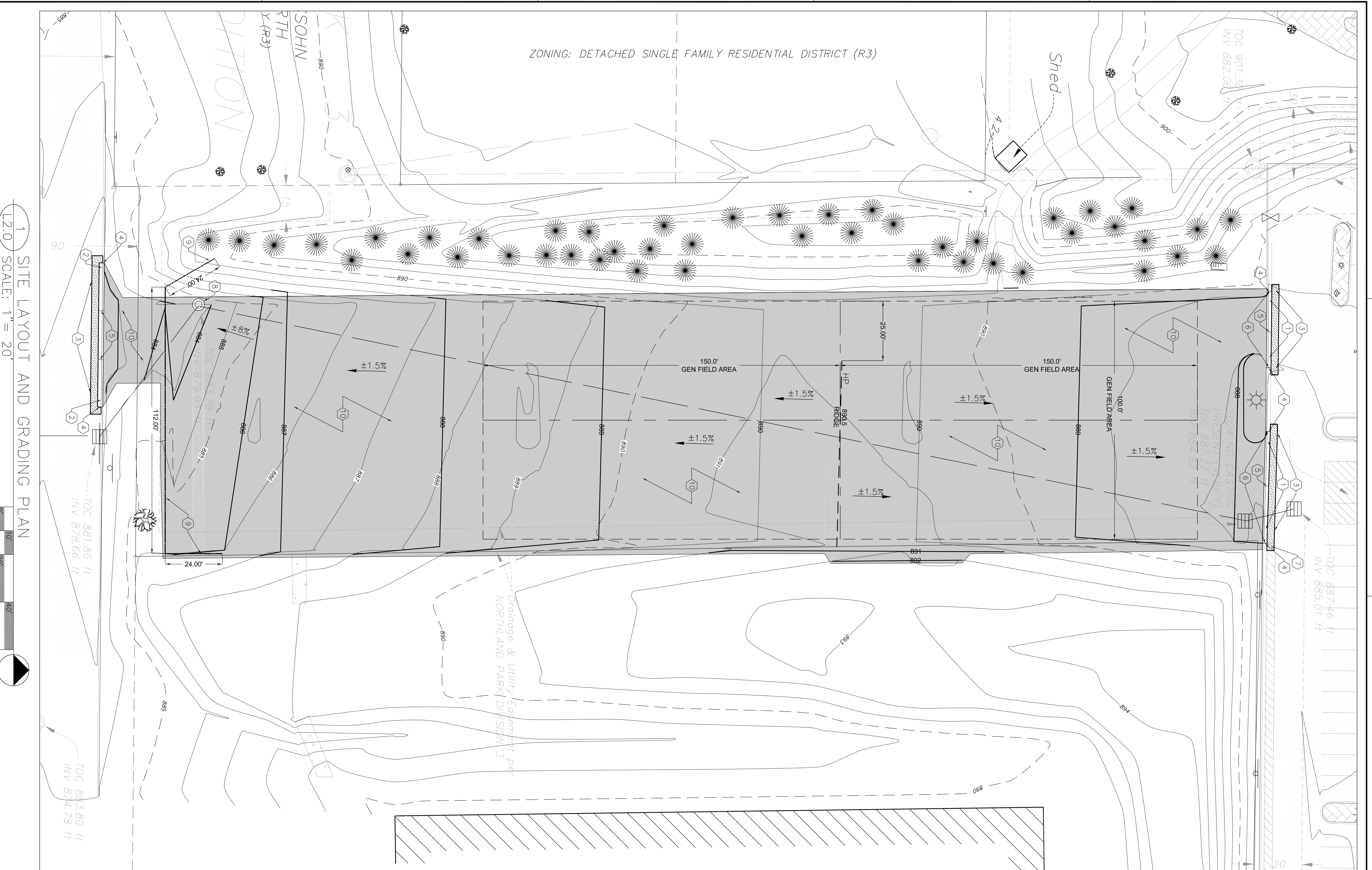
5 SILT FENCE
L1.1 HEAVY DUTY
NOT TO SCALE



Play Field Conversion at L-Parking Lot
Maranatha Christian Academy
Living Word Christian Center
9201 75 th Avenue North
Brooklyn Park, Minnesota 55428

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WEB: WWW.ATSR.COM
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FEBRUARY XX, 2024

SIGNATURE/SEAL
FOR REFERENCE ONLY
NOT FOR CONSTRUCTION
KEY PLAN
DRAWN BY
RJS
CHECKED BY
DSB
ISSUED FOR CONSTRUCTION DOCUMENTS
ISSUE DATE
FEBRUARY XX, 2024
SHEET NAME
SITE DEMOLITION PLAN
ATSR PROJECT NO.
23064
REVISION NO.
11.1
SHEET NUMBER
11.1



1 SITE LAYOUT AND GRADING PLAN
SCALE: 1" = 20'

SITE LAYOUT GENERAL NOTES

- 1 ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED. ALL CORNICES ON RADI ARE TO CENTER OF RADIUS.
- 2 IF SHOWN, DIMENSIONS ARE TO PROPERTY LINE INTERSECTIONS, NOT IRONS SET OR FOUND.
- 3 ALIGN EDGES OF WALKS WITH BLDG. WALLS AND/OR SToops AS SHOWN UNLESS OTHERWISE NOTED.
- 4 SEE GRADING & UTILITY PLAN, FOR PAVEMENT GRADES AND SPOT ELEVATIONS.
- 5 INSTALL GUTTER SLOPES TO MATCH PAVEMENT GRADES.
- 6 CONTRACTOR TO COORDINATE ALL WORK IN THE P.O.W. WITH THE CITY OF BROOKLYN PARK. CONTRACTOR TO FOLLOW CITY OF BROOKLYN PARK STANDARD SPECIFICATIONS AND STANDARD DETAIL PLATES IN THE P.O.W.
- 7 CONTRACTOR SHALL HAVE ALL UNDERGROUND PUBLIC AND PRIVATE UTILITIES LOCATED PRIOR TO CONSTRUCTION.
- 8 DO NOT BEGIN CONSTRUCTION UNTIL RELATED TEMPORARY SITE EROSION CONTROL MEASURES ARE IN PLACE AND HAVE BEEN INSPECTED BY GOVERNING AUTHORITY, IF REQUIRED.
- 9 PROTECT ALL EXISTING TREES TO REMAIN FROM CONSTRUCTION ACTIVITY. INSTALL TREE PROTECTION MEASURES AROUND ALL TREES IN IMMEDIATE VICINITY OF CONSTRUCTION ACTIVITY.
- 10 COOPERATION WITH UTILITIES: THE PLANS SHOW ALL KNOWN UTILITIES LOCATED WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION ACCORDING TO INFORMATION OBTAINED FROM THE SURVEY AND/OR THE OWNER, AND/OR THE VARIOUS UTILITY COMPANIES. THE ACCURACY OF THE PLANS IN THIS RESPECT IS NOT GUARANTEED FOR UTILITIES AFFECTED BY THE WORK. THE CONTRACTOR SHALL LOCATE, IDENTIFY, DESCRIBE, AND SUBMIT RECORD DRAWINGS TO THE ARCHITECT/ENGINEER AND THE AFFECTED UTILITY COMPANY SHOWING LOCATIONS OF UTILITIES DIFFERING FROM THE PLANS OR DISCOVERY OF UNCHARTED UTILITIES.
- 11 WATER LINES, SEWERS, GAS LINES, WIRE AND FIBER OPTIC LINES, SERVICE CONNECTIONS METER BOXES, VALVE BOXES, AND OTHER UTILITY STRUCTURES, INCLUDING ALL EXISTING VEGETATION WITHIN GENERAL CONTRACTOR LIMITS AND MAINTENANCE AREAS SHALL BE PROTECTED FROM CONSTRUCTION. ANY STRUCTURES AND/OR UTILITIES WHICH ARE TO BE RELOCATED OR ADJUSTED ARE TO BE MOVED BY THE CONTRACTOR AT THEIR EXPENSE. EXCEPT AS NOTED ON THE PLANS, OR IN ACCORDANCE WITH THE UTILITY SUPPLIER REQUIREMENTS, THE CONTRACTOR SHALL PROVIDE COORDINATION FOR THE PROPER SEQUENCE OF RELOCATION, ADJUSTMENT OR REMOVAL.
- 12 LOCATIONS OF UTILITY SERVICES FROM THE POINT OF SURVEY TO THE POINT OF CONNECTION WITH METERS, INCLUDING ALL EXISTING VEGETATION WITHIN GENERAL CONTRACTOR LIMITS AND MAINTENANCE AREAS, ARE SCHEMATICALLY LOCATED. THE CONTRACTOR SHALL PROVIDE COORDINATION FOR DETERMINATION OF FINAL LOCATIONS, AND SEQUENCE OF INSTALLATION, DIRECTLY WITH THE AFFECTED UTILITY COMPANY.
- 13 NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR COORDINATION AND SEQUENCING, DELAYS, INCONVENIENCE OR DAMAGE SUSTAINED BY THE CONTRACTOR DUE TO INTERFERENCE FROM THE UTILITIES AND APPEARANCES OR THE OPERATIONS OF MOVING OR INSTALLING THEM.

SITE LAYOUT KEY NOTES

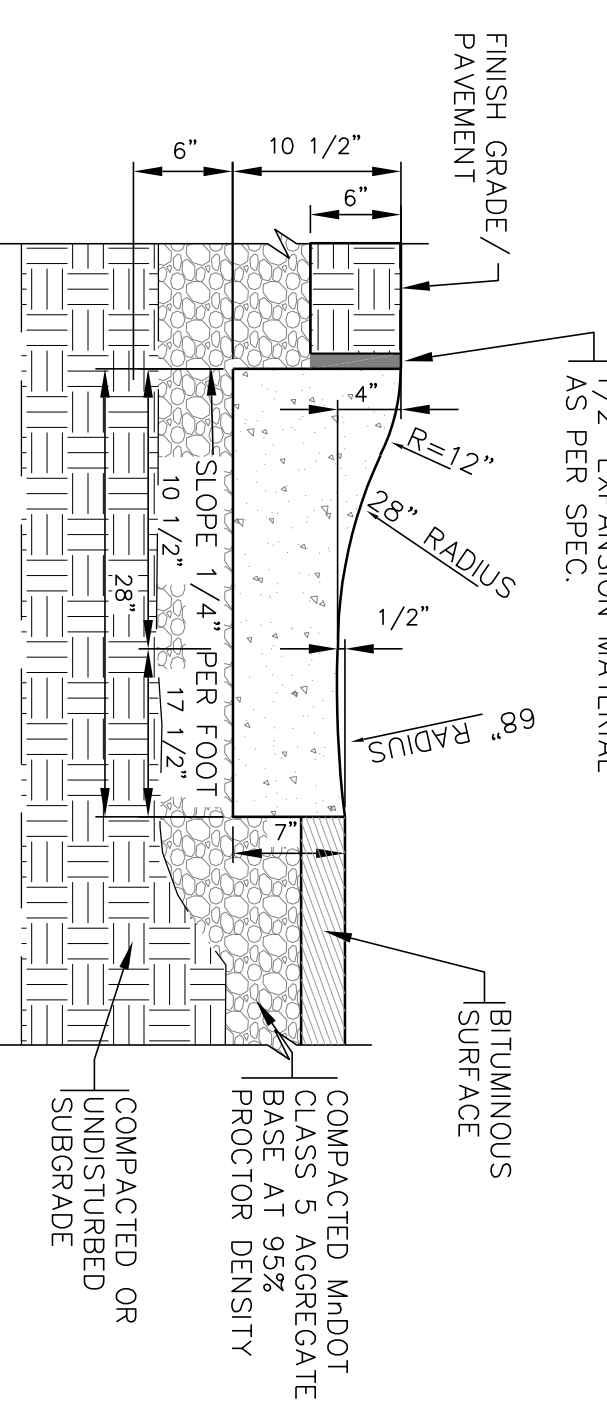
- 1 SURMOUNTABLE CONCRETE CURB AND GUTTER (L2.0)
- 2 B-418 CONCRETE CURB & GUTTER PER CITY STANDARDS (L2.0)
- 3 BITUMINOUS PAVEMENT IN/TL/OVERLAP (L2.0)
- 4 EXPANSION JOINT (L2.0)
- 5 CONTRACTION JOINT (L2.0)
- 6 CONCRETE CURB TRANSITION TAPERED SECTION (L2.0)
- 7 RESTRIPE ANY AFFECTED PAVEMENT STRIPING
- 8 RECONSTRUCT INLINE CURB CATCH BASIN - PROVIDE NEW CONC. RINGS & TOP COVER AS NECESSARY - REINSTALL SALVAGED ROUND METAL CASTING
- 9 6" HIGH CHAIN LINK FENCE
- 10 PROVIDE A MINIMUM OF 4-INCHES TOP SOIL, AND SOD ALL DISTURBED SITE AREAS AFFECTED BY THIS PROJECT.

GRADING GENERAL NOTES

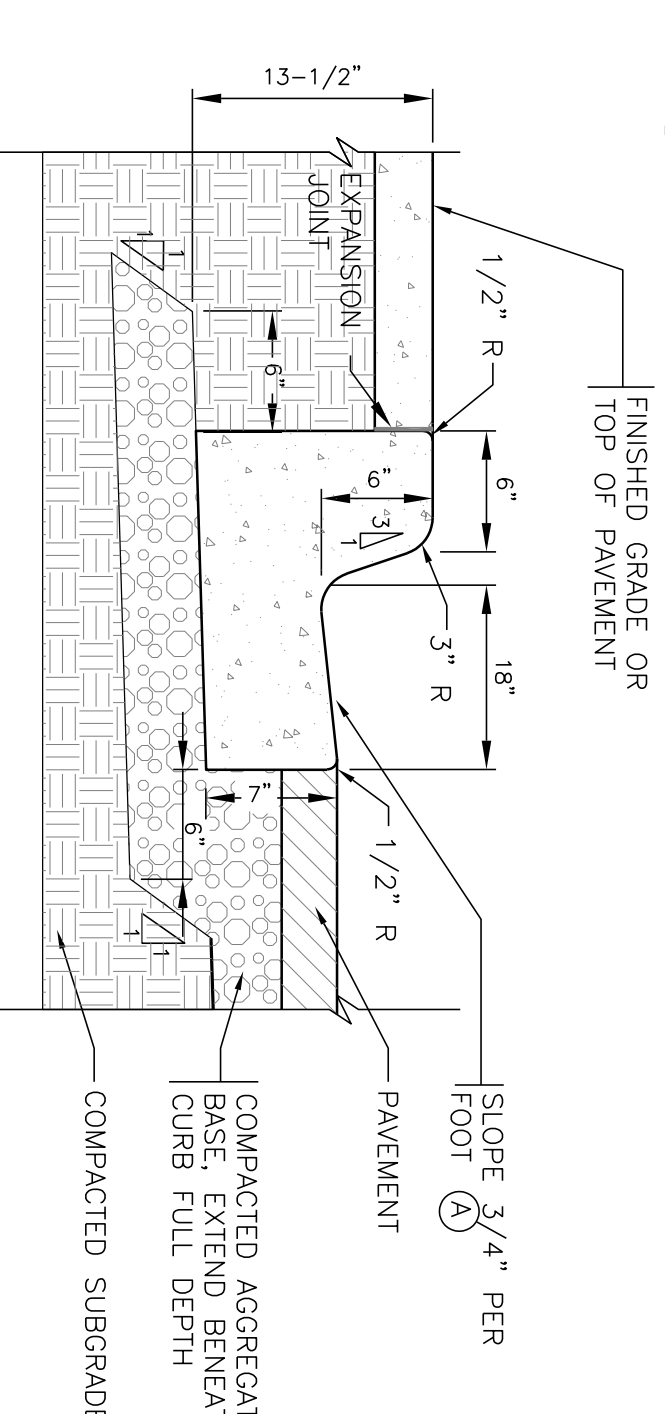
- 1 ALL SOILS TRACKED ON TO PAVED SURFACES ON SITE AND ROADWAYS SHALL BE REMOVED DAILY.
- 2 CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL NECESSARY GRADING AND EROSION CONTROL PERMITS. CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES IN THE STATE OF MINNESOTA. POLLUTION CONTROL AGENCY: MANUAL PROTECTING WATER QUALITY IN URBAN AREAS.
- 3 STOCKPILE SOILS FOR EARTHWORK OPERATIONS AS DIRECTED BY ARCHITECT OR OWNER'S REPRESENTATIVE. ALL STOCKPILING SHALL BE STABILIZED TO PREVENT EROSION.
- 4 CONTRACTOR SHALL HAVE ALL UNDERGROUND PUBLIC AND PRIVATE UTILITIES LOCATED PRIOR TO CONSTRUCTION.
- 5 DO NOT BEGIN GRADING UNTIL EROSION PROTECTION DEVICES ARE IN PLACE. MAINTAIN EROSION PROTECTION DEVICES UNTIL AREAS VOID OF CONSTRUCTION ACTIVITY FOR MORE THAN 14 DAYS MUST BE TEMPORARILY SEEDED AND MULCHED.
- 6 MAINTAIN CONSTRUCTION FENCE UNTIL ALL WORK IS COMPLETED. CONTRACTOR SHALL PROVIDE PROPOSED LAYOUT OF CONSTRUCTION ENTRANCES FOR REVIEW BY OWNER'S REPRESENTATIVE, PRIOR TO CONSTRUCTION.
- 7 ROCK ENTRANCE TO BE PLACED AT ALL CONSTRUCTION ENTRANCES. CONTRACTOR SHALL PROVIDE PROPOSED LAYOUT OF CONSTRUCTION ENTRANCES FOR REVIEW BY OWNER'S REPRESENTATIVE, PRIOR TO CONSTRUCTION. SEE (L1.1)
- 8 CONTRACTOR SHALL PROVIDE TREE PROTECTION FENCING AROUND ALL EXISTING VEGETATION WITHIN GENERAL CONTRACTOR LIMITS AND MAINTENANCE AREAS. TREE WORK IS COMPLETED TO EQUIPMENT STORAGE OR STOCKPILING SHALL BE PERMITTED WITHIN THE DRIVE LINE OR ANY EXISTING TREE ON SITE. SEE (L1.1)
- 9 CONTRACTOR SHALL PROPERLY CLEAN PAVEMENT, AND ALL PAVEMENT AREAS SHALL BE DEMED MARK FREE PRIOR TO TURNING OVER AREAS TO THE OWNER.
- 10 CONTRACTOR SHALL CLEAN STORED SEWER STRUCTURES AND PIPES OF SEDIMENT/DEBRIS PRIOR TO SUBSTANTIAL COMPLETION IF FOUND TO HAVE BEEN UNSUBMITTED DURING ANY PORTION OF THE SITE CONSTRUCTION.
- 11 ALL SPOT ELEVATIONS ARE TO GRADE OR TOP OF PAVEMENT, UNLESS OTHERWISE NOTED. TC INDICATES TOP BACK OF CURB.
- 12 SEE SPECIFICATIONS FOR PAVEMENT HOLD-DOWNS AND SITE DIMENSION PLAN FOR LOCATIONS OF EACH PAVEMENT TYPE.
- 13 COOPERATION WITH UTILITIES: THE PLANS SHOW ALL KNOWN UTILITIES LOCATED WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION ACCORDING TO INFORMATION OBTAINED FROM THE SURVEY AND/OR THE OWNER, AND/OR THE VARIOUS UTILITY COMPANIES. THE ACCURACY OF THE PLANS IN THIS RESPECT IS NOT GUARANTEED FOR UTILITIES AFFECTED BY THE WORK. THE CONTRACTOR SHALL LOCATE, IDENTIFY, DESCRIBE, AND SUBMIT RECORD DRAWINGS TO THE ARCHITECT/ENGINEER AND THE AFFECTED UTILITY COMPANY SHOWING LOCATIONS OF UTILITIES DIFFERING FROM THE PLANS OR DISCOVERY OF UNCHARTED UTILITIES.
- 14 WATER LINES, SEWERS, GAS LINES, WIRE AND FIBER OPTIC LINES, SERVICE CONNECTIONS METER BOXES, VALVE BOXES, LIGHT STANDARDS, CABLEWAYS, SIGNALS, MANHOLES AND ALL OTHER UTILITY APPEARANCES, INCLUDING ABOVE AND BELOW GRADE STRUCTURES, WHICH ARE TO BE RELOCATED OR ADJUSTED ARE TO BE MOVED BY THE CONTRACTOR AT THEIR EXPENSE. EXCEPT AS NOTED ON THE PLANS, OR IN ACCORDANCE WITH THE UTILITY SUPPLIER REQUIREMENTS, THE CONTRACTOR SHALL PROVIDE COORDINATION FOR THE PROPER SEQUENCE OF RELOCATION, ADJUSTMENT OR REMOVAL.
- 15 LOCATIONS OF UTILITY SERVICES FROM THE POINT OF SURVEY TO THE POINT OF CONNECTION WITH METERS, INCLUDING ALL EXISTING VEGETATION WITHIN GENERAL CONTRACTOR LIMITS AND MAINTENANCE AREAS, ARE SCHEMATICALLY LOCATED. THE CONTRACTOR SHALL PROVIDE COORDINATION FOR DETERMINATION OF FINAL LOCATIONS, AND SEQUENCE OF INSTALLATION, DIRECTLY WITH THE AFFECTED UTILITY COMPANY.
- 16 NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR COORDINATION AND SEQUENCING, DELAYS, INCONVENIENCE OR DAMAGE SUSTAINED BY THE CONTRACTOR DUE TO INTERFERENCE FROM THE UTILITIES AND APPEARANCES OR THE OPERATIONS OF MOVING OR INSTALLING THEM.

LEGEND

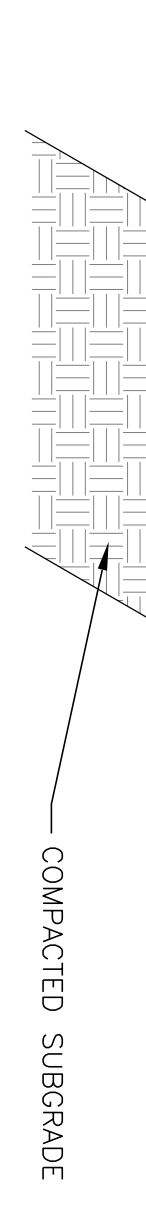
	EXISTING CONTOUR		TC - TOP CURB ELEVATION
	PROPOSED CONTOUR		GL - GUTTER LINE ELEVATION
	HP - HIGH POINT		DRNAGE FLOW & PERCENT SLOPE
	LP - LOW POINT		FFE - FINISH FLOOR ELEVATION
	GB - GRADE BREAK		TW - TOP RETAINING WALL ELEVATION
	ME - MATCH EXISTING		BW - WALL ELEVATION AT DESIGN GRADE



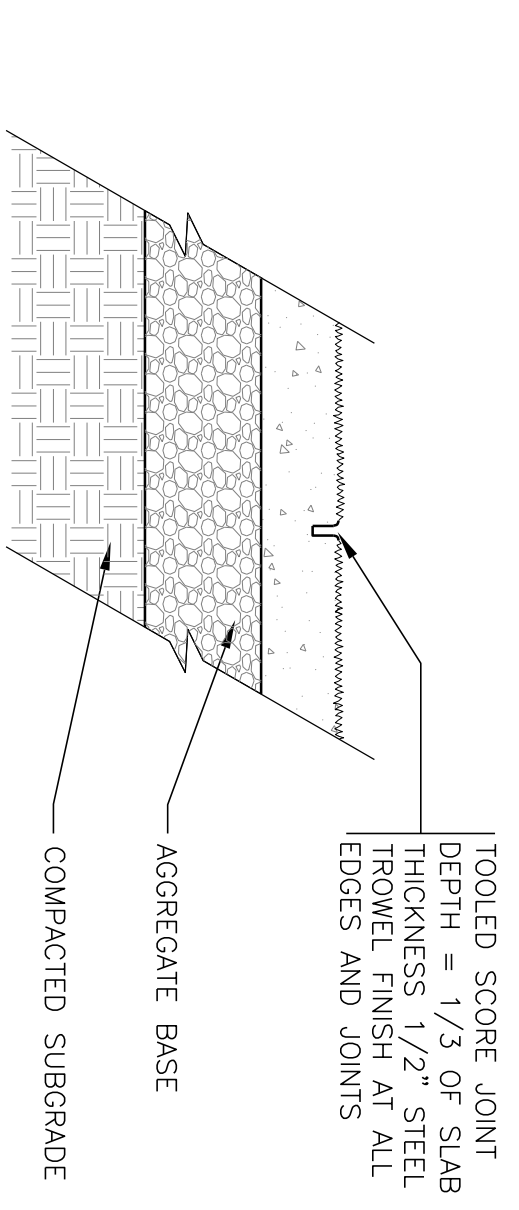
2 SURMOUNTABLE CURB & GUTTER
NOT TO SCALE



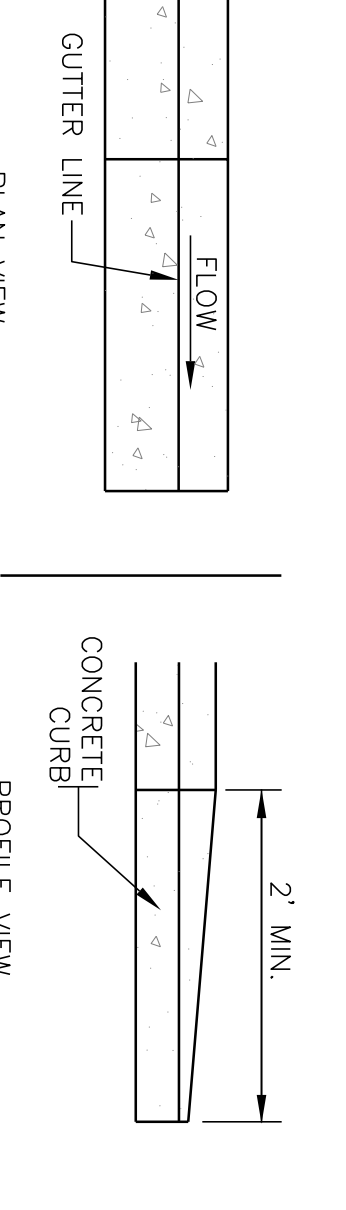
3 CONCRETE BARRIER CURB & GUTTER
REFER TO CITY STANDARD PLATE DTL
NOT TO SCALE



5 EXPANSION JOINT
NOT TO SCALE



6 CONTRACTION JOINT
NOT TO SCALE



7 CONCRETE CURB & GUTTER
TRANSITION TAPERED SECTION
NOT TO SCALE

4 BITUMINOUS PAVMT OVERLAP
NOT TO SCALE

ARCHITECTURE ENGINEERING INTERIOR DESIGN LANDSCAPE ARCHITECTURE
8501 GOLDEN VALLEY ROAD
SUITE 300
MINNEAPOLIS, MINNESOTA 55427
TEL: 763-545-3731
FAX: 763-525-2289
WEB: WWW.ATSR.COM

Play Field Conversion at L-Parking Lot
Maranatha Christian Academy
Living Word Christian Center
9201 75 th Avenue North
Brooklyn Park, Minnesota 55428

NO FOR CONSTRUCTION
SIGNATURE/SEAL
FOR REFERENCE ONLY
DRAWN BY
RJS
CHECKED BY
XXXX
ISSUED FOR CONSTRUCTION DOCUMENTS
ISSUE DATE
FEBRUARY XX, 2024
SHEET NAME
SITE LAYOUT AND GRADING PLAN
ATSR PROJECT NO.
23064
REVISION NO.

STATE HIGHWAY NO. 169

Westwood

1230 232 4435 2316 23rd Street North, Suite 208
Tomball, TX 77375
Tel: 281 232 4435 Fax: 281 232 4435
www.westwoodcs.com

Project: **Living Word Christian Center**
Client: **Living Word Christian Center**
Survey No.: **100000000**
Date: **3/25/15** License No.: **50019**

1:1000 scale for all dimensions. All dimensions are based on the center of the road. All dimensions are based on the center of the road. All dimensions are based on the center of the road.

Created: **Tony T. Shula**
Checked: **Tony T. Shula**
Date: **3/25/15** License No.: **50019**

Scale: **1:1000**

Scale: **1:1000**

Scale: **1:1000**

LEGEND

- STEEL AND/OR POST
- SON-TRAFIC/OTHER
- SON-TRAFIC/OTHER
- MAIL BOX
- HANDICAPPED STALL
- CABLE TV BOX
- GAS METER
- STREET LIGHT
- GUY WIRE
- POWER POLE
- ELECTRIC BOX
- ELECTRIC METER
- SANITARY MANHOLE
- SUMP CLEANOUT
- BEHIVE CATCH BASIN
- CATCH BASIN
- CONCRETE SURFACE
- LANDSCAPE SURFACE
- DECORATIVE TREE
- CONTOUR TREE
- COMPASS TREE
- STORM MANHOLE
- TELEPHONE BOX
- TELEPHONE MANHOLE
- GATE VALVE
- HYDRAVIT
- WATER METER
- CURB STOP BOX
- WATER MANHOLE
- WELL
- GAS LINE
- POWER UNDERGROUND
- SANITARY SEWER
- STORM SEWER
- TELEPHONE UNDERGROUND
- WATER MAIN
- FENCE LINE
- CURB & CUTTER
- BITUMINOUS SURFACE
- YARD LIGHT
- FLAG POLE
- TREE LINE

PROPERTY DESCRIPTION:

Lot 1, Block 1, CLEARVIEW DIVISION, according to the recorded plat thereof. Per Document No. 14951131. Acre: 792.968 Sq. Ft./18.20 Acres.

TOGETHER WITH:

Lot 2, Block 1, GERVAIN'S ADDITION, according to the recorded plat thereof. Hennepin County, Minnesota. Per Document No. 105062277. Acre: 316.898 Sq. Ft./0.77 Acres.

NOTES:

1) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF CURRENT TITLE OCCURRENCES. ONLY THE EXISTING RECORDS ON THE RECORD PLAT OF CLEARVIEW DIVISION AND THE GERVAIN'S ADDITION WERE REVIEWED. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF ANY UNRECORDED INTERESTS. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF ANY UNRECORDED INTERESTS. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF ANY UNRECORDED INTERESTS.

BEARINGS SHOWN ARE BASED UPON THE PLAT OF CLEARVIEW DIVISION.

● DENOTES FOUND MONUMENT AS NOTED ON SURVEY

○ DENOTES SET MAG. NAIL

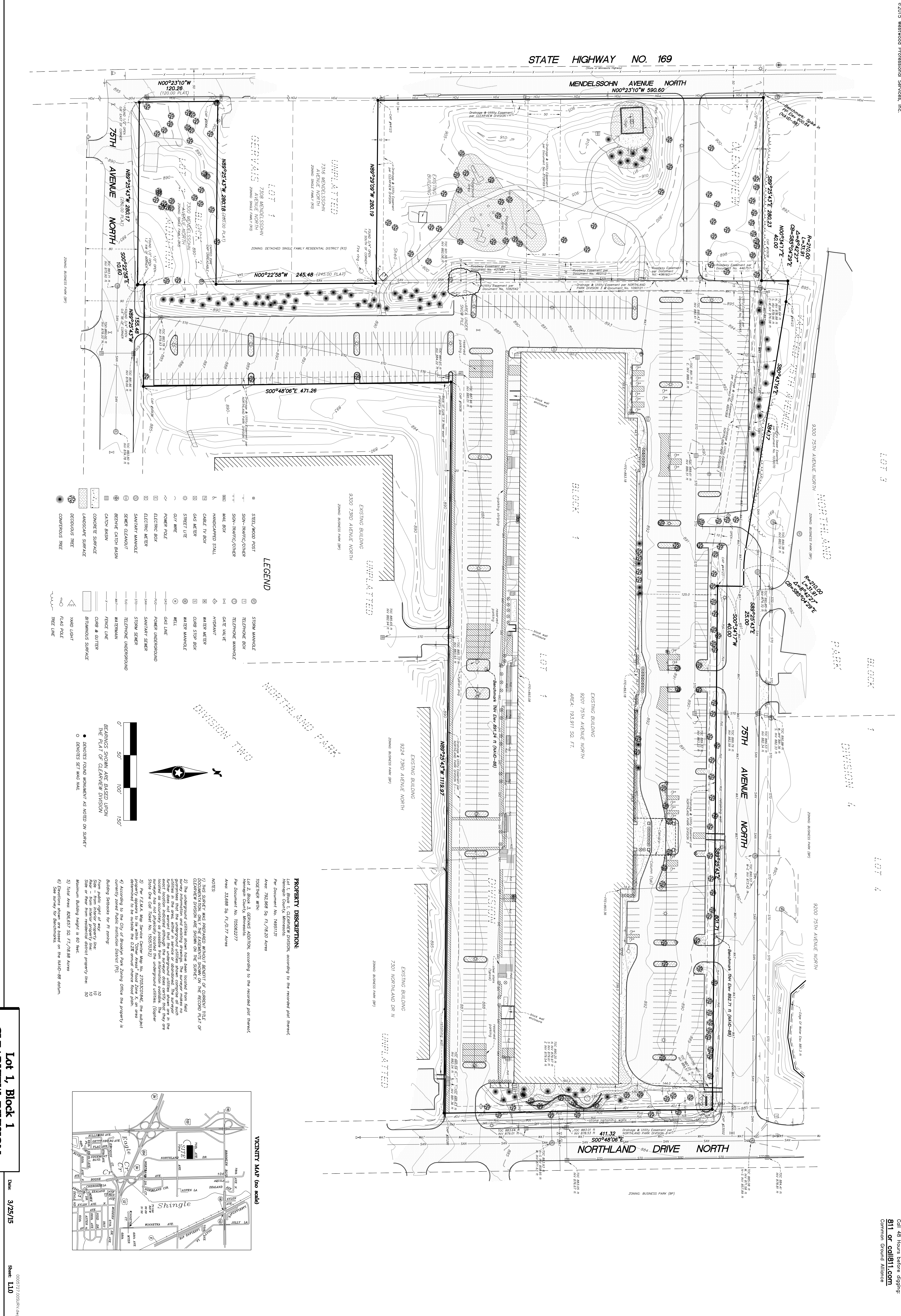
**Lot 1, Block 1
CLEARVIEW DIVISION
& Lot 2, Block 3
GERVAIS ADDITION**

Brooklyn Park, MN

VICINITY MAP (not scale)

DATE: 3/25/15

SHEET: L10



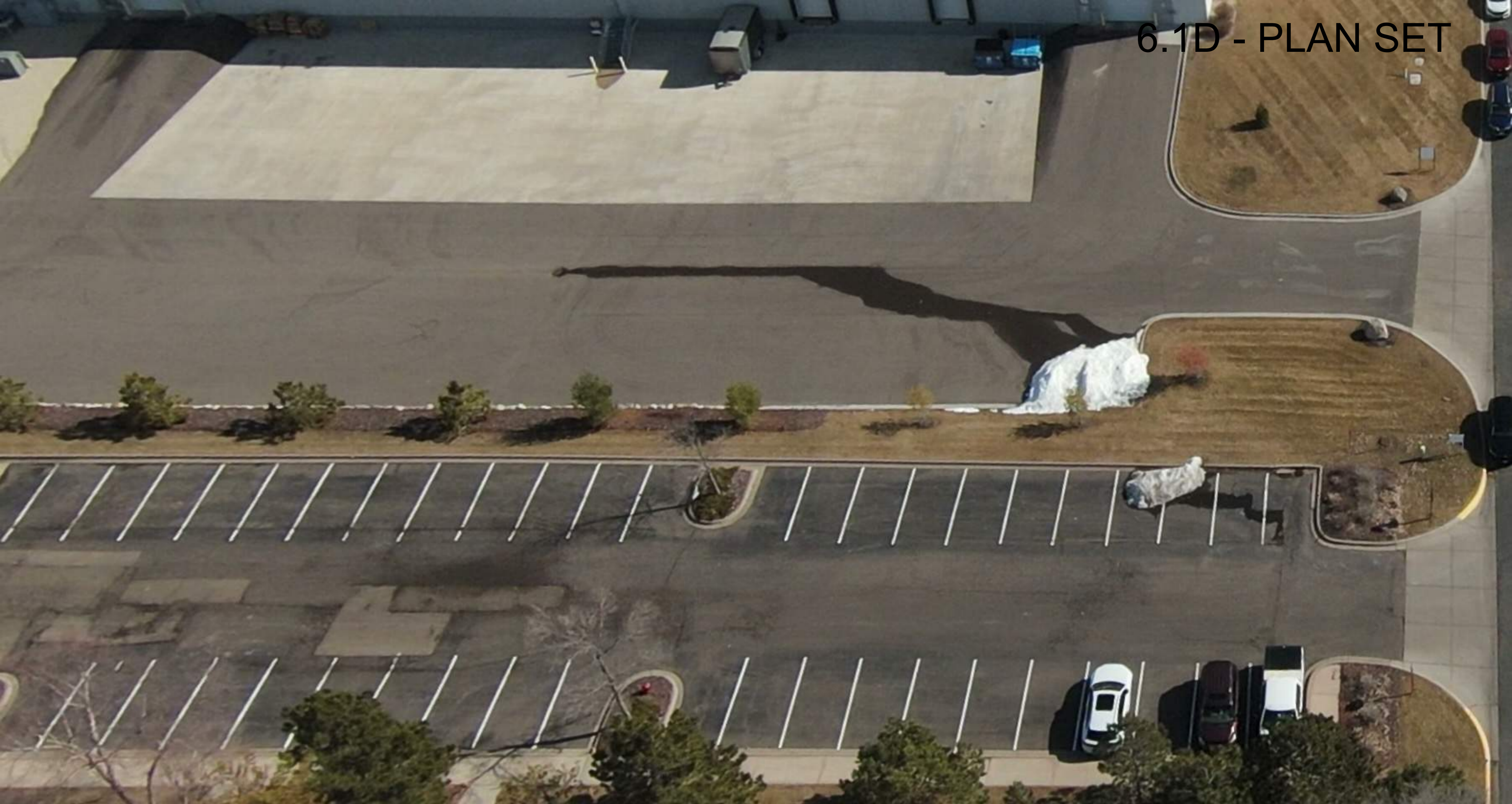
LOT 3
BLOCK 1
DIVISION 4
LOT 4
LOT 5
LOT 6

Call 48 Hours before digging: 811 or call811.com Common Ground Alliance





6.1D - PLAN SET



6.1D - PLAN SET



6.1D - PLAN SET





6.1D - PLAN SET



6.1D - PLAN SET





6.1D - PLAN SET



6.1D - PLAN SET



6.1D - PLAN SET



6.1D - PLAN SET



6.1D - PLAN SET



6.1D - PLAN SET



6.1D - PLAN SET



6.1D - PLAN SET



6.1D - PLAN SET



6.1D - PLAN SET



6.1D - PLAN SET



City of Brooklyn Park Planning Commission Staff Report			
Agenda Item:	6.2	Meeting Date:	April 10, 2024
Agenda Section:	Public Hearing	Originating Department:	Community Development
Resolution:	X	Prepared By:	Erin McDermott, Associate Planner
Ordinance:			
Attachments:	3	Presented By:	Erin McDermott, Associate Planner
Item:	Precision Dent Removal - Conditional Use Permit #24-104 for auto oriented repair services at 8557 Wyoming Ave.		

Proposed Actions:

MOTION _____ SECOND _____ TO RECOMMEND APPROVAL OF A CONDITIONAL USE PERMIT FOR AUTO ORIENTED REPAIR SERVICES AT 8557 WYOMING AVENUE N # 4, SUBJECT TO CONDITIONS CONTAINED IN THE DRAFT RESOLUTION.

Summary:

Precision Dent Repair is a company specializing in paintless dent repair. The application is for a Conditional Use Permit (CUP) for auto oriented repair services, which is allowed within the Business Park zoning district with a CUP (§ 152.342). The process of paintless dent repair does not involve repainting the vehicles being worked on, and does not utilize chemicals in this process. The applicant is not proposing auto body work, or repair services other than dent removal.

Previous Approvals:

This property was platted and developed in 1995 as part of the CIC NO. 1604 Wyoming Office Condo plat. The site is a condo development with each tenancy under individual ownership. The development went through site plan approvals at that time. There have been no additional applications on this site since the initial development.

Current Conditions:

The subject property is 1.3 acres, and is located north of 85th Avenue, between Highway 169 and Wyoming Avenue. The building was developed as a multitenant business park development, with office uses and professional services. There are 6 tenancies in this building, with shared parking and interior waste storage.

Future Land Use Plan	Business Park
Current Zoning	BP - Business Park
Proposed Zoning	BP - Business Park
Neighborhood	Commerce
Site Area	1.3 Acres
Conforms to:	
Land Use Plan	Yes
Zoning Code	Yes
Notification	Legal notice was published in the Sun Post, 24 Notices were mailed to properties within 500 feet, Proposed Development Sign was placed on the property, A Neighborhood email was sent to the Commerce neighborhood.

Timeline (MN §15.99) 60-day 120-day	April 27, 2024 July 2, 2024
---	--------------------------------

Land Use/Zoning and Overlay:

The site is zoned Business Park District (BP) and is within the Commerce neighborhood. The future land use for the property is Business Park. The adjacent properties to the north, south, east, and west are zoned Business Park. The site is not impacted by any overlay districts.

Conditional Use Permit:

Auto oriented repair services are considered a conditional use in the BP District (§ 152.342.01). Conditional uses must be reviewed against the standards of the Code (§ 152.035). The proposed use is evaluated below:

(D) Review Standards. The request may address the following factors, although the City Council, the Planning Commission, and city staff has the authority to request additional information from the applicant concerning operational factors pertaining to the proposed use or to retain experts with the consent and at the expense of the applicant concerning operational factors, when necessary to establish performance conditions to effect the intent of this chapter.

(1) Comprehensive Plan. Compliance with the Comprehensive Plan, public facilities and capital improvement plans, and all sections of the City Code.

The Future Land Use of the Brooklyn Park 2040 Comprehensive Plan guides the property as Business Park. Auto oriented repair services are consistent with the Comprehensive Plan.

(2) Traffic. The generation and characteristics of the traffic associated with the use and its impact on the traffic volumes of and safety associated with driveway location on adjacent roads, sidewalks and trail connections.

Vehicular access to the site is provided from two existing access points along Wyoming Avenue, with a drive aisle to the rear of the building. The applicant provided anticipated traffic numbers, which have been reviewed by staff.

(3) Parking. The characteristics of the parking area of the use, including the number and design of parking spaces, landscaping, traffic circulation, drainage, and lighting. The city may require additional parking above that required in § 152.140 through 152.146.

This property is under condo ownership, with each property owner owning 7 parking spaces. Due to the nature of this business requiring the vehicles being worked on to be within the building during the repairs, the applicant has demonstrated that the spaces provided on site adequately serve the employees and customers on site.

(4) City services. The provision of adequate public facilities and services to the site where the use is proposed and the ability of the existing infrastructure to absorb the additional demand for city services.

There will be no change to the existing utilities serving the facility.

- (5) ***Screening and landscaping.*** The ability to screen and buffer incompatible off-site impacts of the proposed use on adjacent property and the surrounding neighborhood. The city may require additional landscaping or screening above that required in the specific zoning district.

There will be no change to the exterior of the facility and this proposal will not require any change to the screening or landscaping. There is currently no outdoor waste enclosure, or alternative waste enclosure arrangement approved for this site. If outdoor waste storage is added, a waste enclosure is required, and must meet the requirements outlined in 152.150 Trash and Waste Enclosures.

- (6) ***Architectural standards.*** The degree that the site or building associated with the proposed use meets or exceeds the architectural design and landscaping standards for the district in which it is located. The city may require additional architectural standards above those required in the specific zoning district.

There will be no new architectural development to the facility, and any modifications to the interior of the facility will be permitted accordingly prior to any construction.

- (7) ***Other sections of the city code.*** The applicant may be required to submit additional information demonstrating that the development is able to comply with any other applicable section of this chapter or the city code.

There are no additional sections of the code applicable to this application request.

The required findings of § 152.035 have been addressed and Staff recommends approval of the CUP.

Conditions of Approval:

Staff recommends the adoption of Resolutions 24-___ Approving a Conditional Use Permit for auto oriented repair services at 8557 Wyoming Ave. with the following conditions:

1. All vehicles parked on this property must be parked on a paved surface.
2. Outdoor storage of tires and parts is not permitted.
3. The storage of vehicles for the sole purpose of salvage or recycling of parts is prohibited.
4. Parking of any vehicles associated with the business must be on site. On-street parking is prohibited. Double parking of vehicles is prohibited.
5. Deliveries and vehicle drop-offs must occur within designated loading areas on the property, on-street loading or deliveries are prohibited.
6. All vehicular repairs must occur within the building, screened from public view.
7. Vehicle sales are prohibited on this property.
8. The property must remain compliant with the property maintenance code.
9. The property must remain compliant with all fire safety protocols.
10. Prior to using the space for auto oriented repair services, applicant must work with the Brooklyn Park Building Department and Brooklyn Park Fire Department to obtain all necessary building permits in accordance with all applicable building codes and requirements.
11. Signage must comply with all requirements of City Code Chapter 150: Signs.
12. Waste storage must be in conformance with 152.150 Trash and Waste Enclosures, if outdoor waste storage is to be added, an enclosure must be constructed meeting the requirements of that section.

Staff Recommendation:

Staff recommends approval of the conditional use permit with the conditions listed in the attached draft resolution.

Alternatives to Consider:

1. Approve the Conditional Use Permit as presented.
2. Approve the Conditional Use Permit with modifications.
3. Deny the Conditional Use Permit based on certain findings.

Budgetary/Fiscal Issues:

Not applicable.

Attachments:

- A. DRAFT RESOLUTION
- B. LOCATION MAP
- C. PLAN SET

RESOLUTION #2024-____

RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR AUTO ORIENTED REPAIR SERVICES AT 8557 WYOMING AVENUE N # 4

Planning Commission File #24-104

WHEREAS, Precision Dent Removal has made application for a Conditional Use Permit under the provisions of Chapter 152 of the City Code on property legally described as:

CIC NO. 1604 WYOMING OFFICE CONDOMINIUM, Hennepin County, Minnesota.

WHEREAS, the proposed development is consistent with the purposes of the Zoning District and the Comprehensive Plan; and

WHEREAS, the matter has been referred to the Planning Commission public hearing and who have given their advice and recommendation to the City Council; and

WHEREAS, the effect of the proposed use upon the health, safety and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park that a Conditional Use Permit is hereby approved for an auto oriented repair facility on the above described parcel, subject to the following:

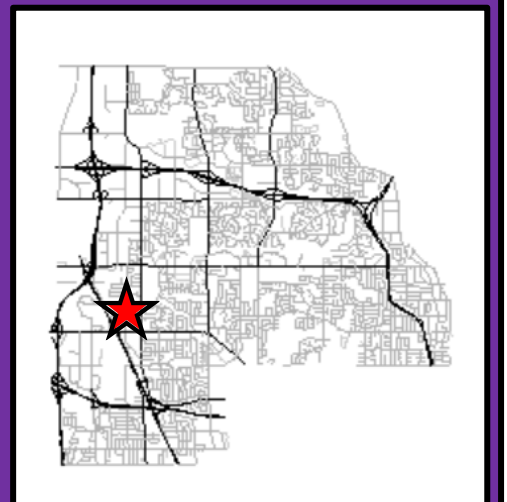
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2. Outdoor storage of tires and parts is not permitted.
3. The storage of vehicles for the sole purpose of salvage or recycling of parts is prohibited.
4. Parking of any vehicles associated with the business must be on site. On-street parking is prohibited. Double parking of vehicles is prohibited.
5. Deliveries and vehicle drop-offs must occur within designated loading areas on the property, on-street loading or deliveries are prohibited.
6. All vehicular repairs must occur within the building, screened from public view.
7. Vehicle sales are prohibited on this property.
8. The property must remain compliant with the property maintenance code.
9. The property must remain compliant with all fire safety protocols.
10. Tenancies must be clearly marked with business names, hours and contact number.
11. All previously approved conditional use permits are hereby rescinded and replaced with this conditional use permit.

The petitioner shall be required to record a copy of this resolution with the Hennepin County Recorder and to pay all fees for said recording. Proof of said recording shall be filed promptly with the City.



Conditional Use Permit
Case #24-104 – Precision Dent Removal
Area of Request (August 2023 Air Photo)
8557 Wyoming Ave N

Brooklyn Park 



AGENDA ITEM 6.2C - PLAN SET

PROJECT INFORMATION

The property located at 8557 Wyoming Avenue N, Suite 4, Brooklyn Park, Minnesota is applying for a Conditional Use Permit allowing a new dental office building. The property is a +/- 2,300 square foot, single-story, sprinkled building. The new tenant will be a painted steel removal shop. The layout of the space will remain unchanged and no hazardous materials will be stored on site.

ACCESSIBLE ROUTES

2020 MINNESOTA ACCESSIBILITY CODE
SECTION 403 - WALKING SURFACES

403.5.1 General.
The clear width of an accessible route shall be 36 inches (915 mm) minimum.
Exception: The clear width shall be permitted to be reduced to 32 inches (815 mm) minimum for a length of 24 inches (610 mm) maximum provided the reduced width segments are separated by segments that are 48 inches (1220 mm) minimum in length and 36 inches (915 mm) minimum in width.
All accessible routes are compliant.

DOOR AND DOORWAYS

2020 MINNESOTA ACCESSIBILITY CODE
SECTION 404 - DOORS AND DOORWAYS

404.2.2 Clear width.
Downways shall have a clear opening width of 32 inches (815 mm) minimum. Clear opening width of doorways with swinging doors shall be measured between the face of door and stop, with the door open 90 degrees. Downways shall have a clear opening width of 36 inches (915 mm) minimum. Clear opening width of doorways without doors shall provide a clear opening width of 36 inches (915 mm) minimum. There shall be no projections into the clear opening width lower than 34 inches (865 mm) above the floor. Projections into the clear opening width between 34 inches (865 mm) and 48 inches (1220 mm) above the floor shall not exceed 4 inches (100 mm).
All existing doors are compliant.

EXIT ACCESS

2020 MINNESOTA BUILDING CODE
SECTION 1017 - EXIT ACCESS TRAVEL DISTANCE

1017.2 Exit Access Travel Distance.
Occupancy S-1 (Storage) with sprinkler system.
Maximum exit access travel distance = 250 feet.
All travel distances are compliant. See schedule below.

TRAVEL DISTANCE SCHEDULE	
PATH	TRAVEL DISTANCE
PATH A	121' - 5"
PATH B	117' - 3"

CODE TAG AND PATTERN LEGEND

CODE ROOM TAG (1 HR)
Name
AREA
OCCUPANT LOAD FACTOR
GROUP
OCCUPANT LOAD

CODE WALL RATING PATTERNS

1 HOUR
2 HOUR
3 HOUR
SMOKE

REQUIRED SEPARATION OF OCCUPANCIES

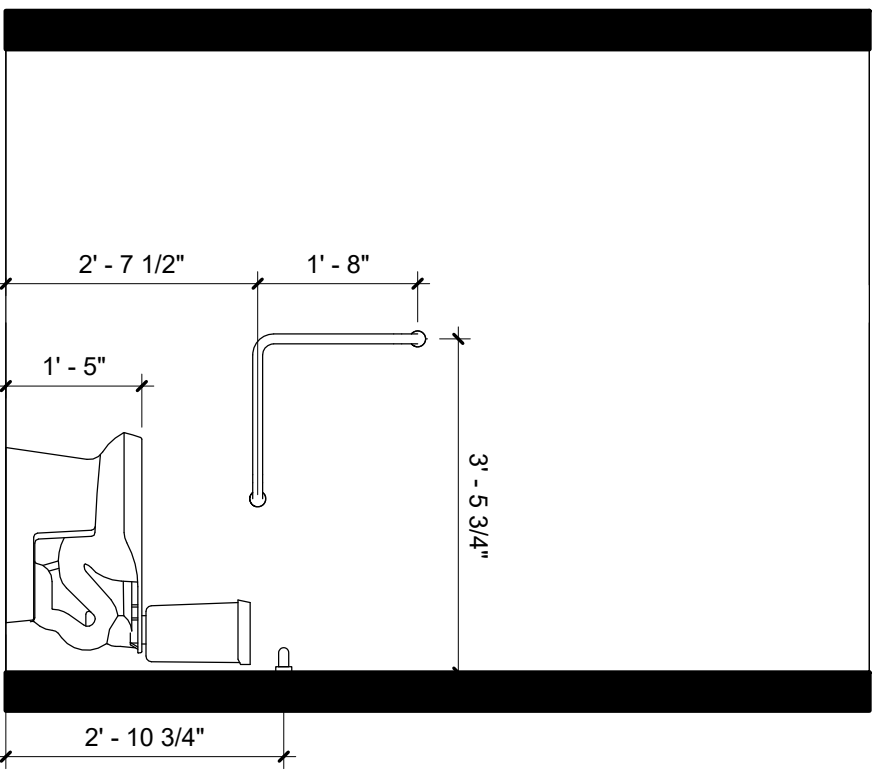
Per Table 508.4, there is no separation required between S-1 and B occupancies.

OCCUPANT LOAD & MEANS OF EGRESS

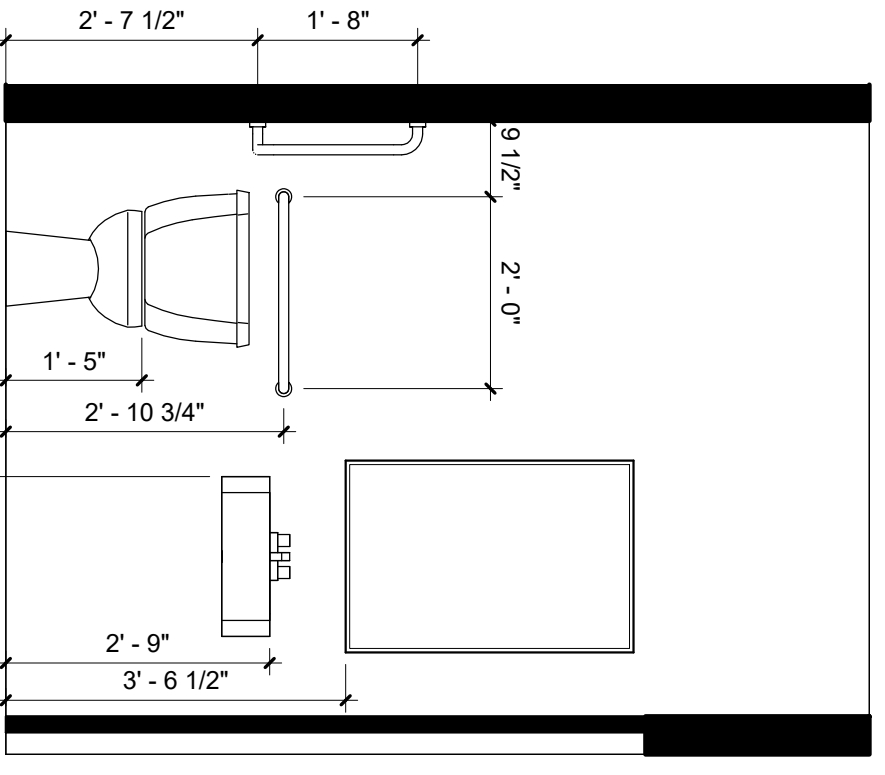
The total occupant load of Precision Dent Removal will be 33 occupants. The Conference Room and Reception area are set to B (Business) occupancy type for assembly. Both will consist of un-concentrated tables and chairs that are not fixed, allowing for 15 square feet per occupant.

EXITS:

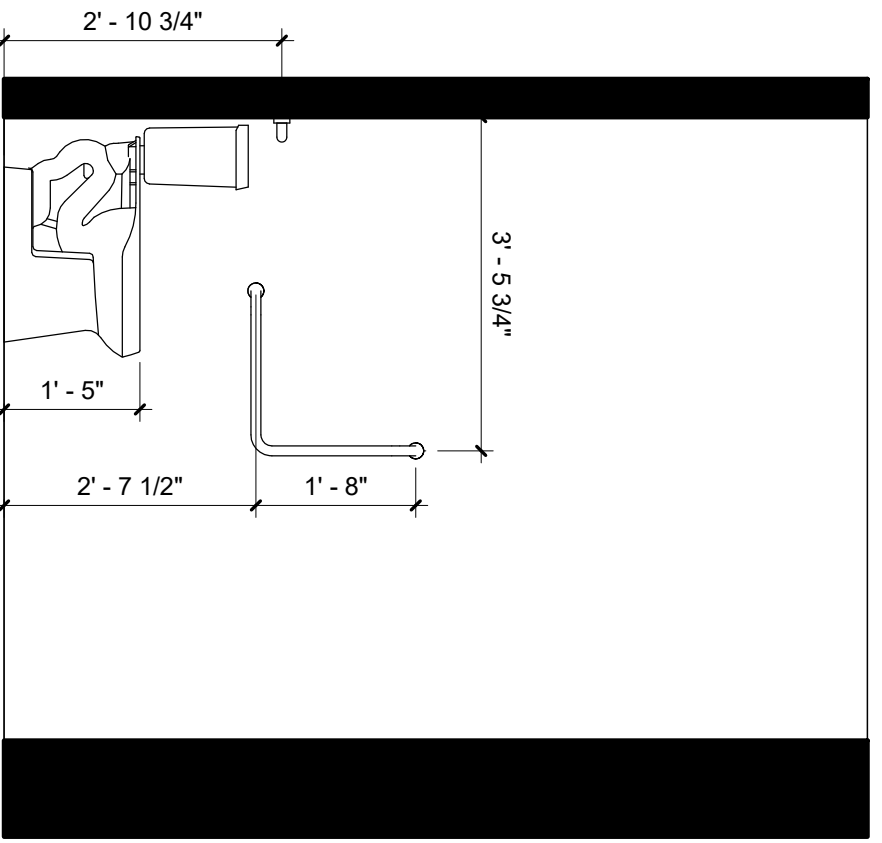
Occupant load per story between 1 and 500 occupants require two (2) exits per story.
The minimum number of exits required for Precision Dent Removal is two (2).
Exit requirements are met.



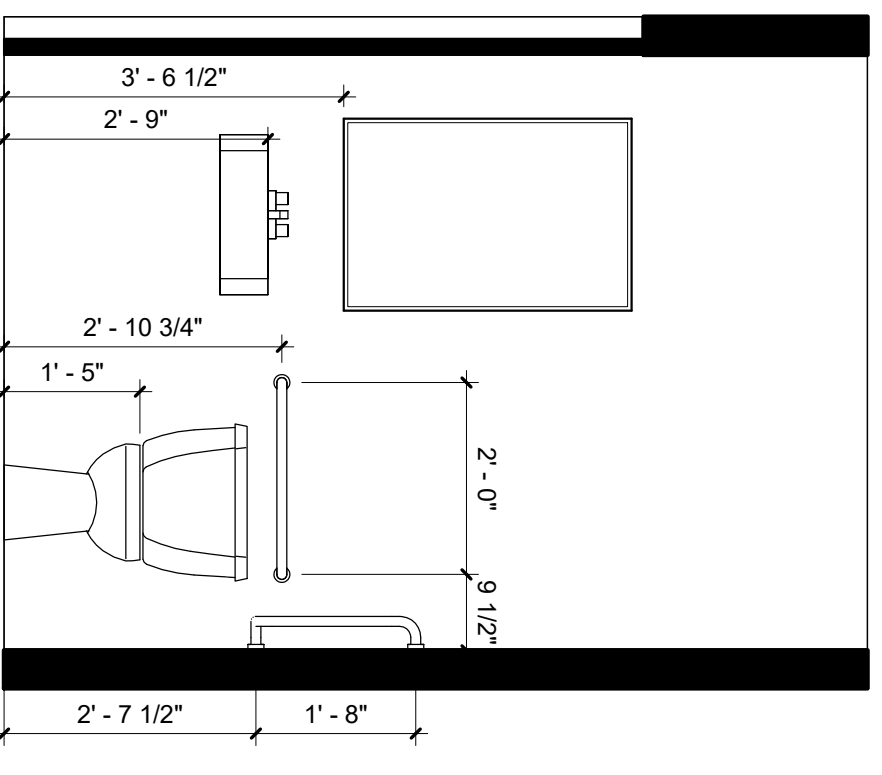
2 RESTROOM 1 - GRAB BAR ELEVATION
AC1.1 1/2" = 1'-0"



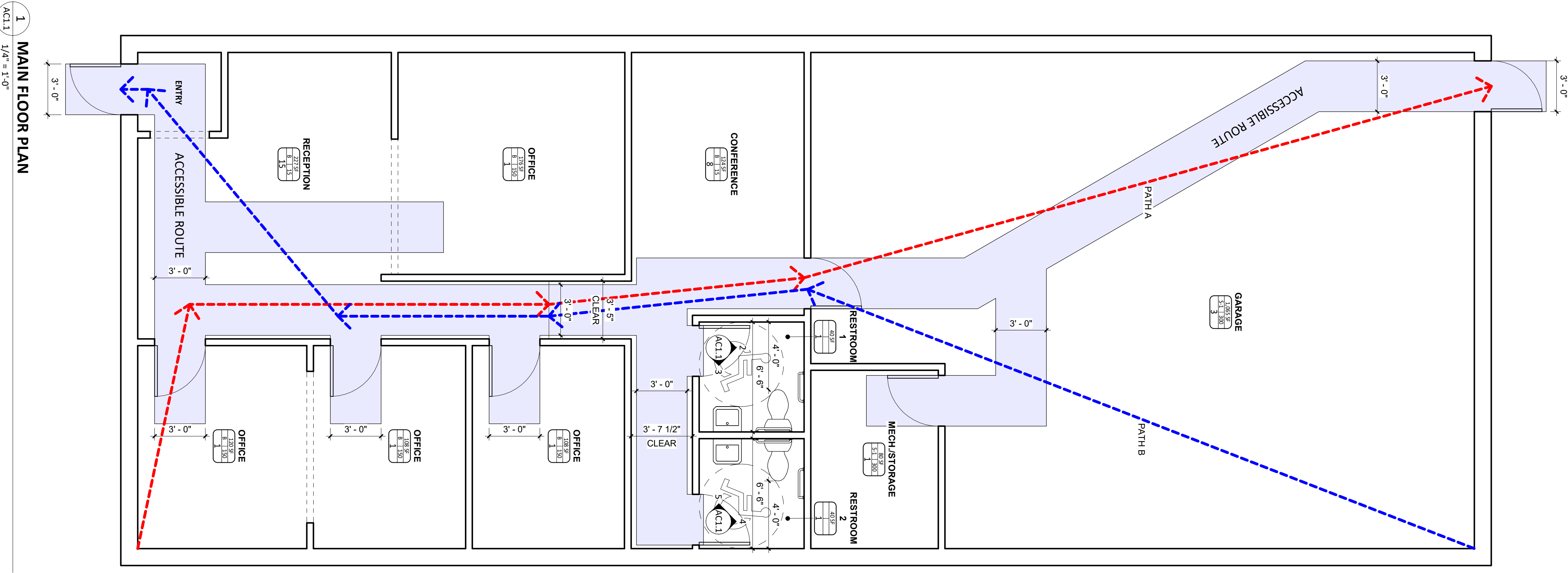
3 RESTROOM 1 - LAVATORY ELEVATION
AC1.1 1/2" = 1'-0"



4 RESTROOM 2 - GRAB BAR ELEVATION
AC1.1 1/2" = 1'-0"

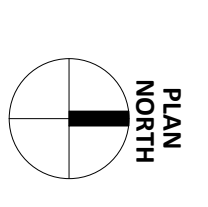


5 RESTROOM 2 - LAVATORY ELEVATION
AC1.1 1/2" = 1'-0"



1 MAIN FLOOR PLAN
AC1.1 1/8" = 1'-0"

Scale: As indicated



PLAN NORTH
ARCHITECTURAL CODE PLAN

RESERVED



IRONWOOD
ARCHITECTURE

02.16.2024
PROJECT DIRECTOR/CONST. ADMIN.:
N/A
DESIGNER:
N/A
Interior
N/A

PREPARED BY:
Erik Hall
IronWood Architecture LLC
erikhall@ironwoodarchitecture.com
(630) 400-5115

SHEET INDEX:
- AC1.1 - MAIN FLOOR CODE PLAN

Precision Dent Removal

8557 Wyoming Avenue N, Suite 4
Brooklyn Park, MN 55445

AC1.1

ARCHITECTURAL CODE PLAN

City of Brooklyn Park Planning Commission Staff Report			
Agenda Item:	6.3	Meeting Date:	April 10, 2024
Agenda Section:	Public Hearing	Originating Department:	Planning and Development Division
Resolution:	X	Prepared By:	Erin McDermott, Associate Planner
Ordinance:			
Attachments:	3	Presented By:	Erin McDermott, Associate Planner
Item:	Redline Athletics - Conditional Use Permit #24-105 for a commercial indoor recreational facility over 2,450 square feet at 7115 Northland Terrace.		

Proposed Actions:

MOTION _____ SECOND _____ TO RECOMMEND APPROVAL OF A CONDITIONAL USE PERMIT FOR A COMMERCIAL INDOOR RECREATIONAL FACILITY OVER 2,450 SQUARE FEET AT 7115 NORTHLAND TERRACE, SUBJECT TO CONDITIONS CONTAINED IN THE DRAFT RESOLUTION.

Summary:

Redline Athletics is an athletic franchise that is planning to occupy a vacant tenant space in an existing building north of Highway 694 on the western border of Brooklyn Park. The application is for a Conditional Use Permit (CUP) for a commercial indoor recreational facility over 2,450 square feet, which is allowed within the zoning district with a CUP (§ 152.342). The applicant is proposing a performance center focused on specialized performance training programs.

Previous Approvals:

This property was platted in 1999 as part of the Northland Interstate Business Center 3rd Addition. The development went through site plan approvals at that time. There have been no additional applications on this site since the initial development.

Current Conditions:

The subject property is 4.84 acres, and is located north of Highway 694, between Highway 169 and Northland Terrace. The building was developed as a multitenant business park development, with office uses and professional services.

Future Land Use Plan	Business Park
Current Zoning	BP - Business Park
Proposed Zoning	BP - Business Park
Neighborhood	Northland
Site Area	4.84 Acres
Conforms to:	
Land Use Plan	Yes
Zoning Code	Yes
Notification	Legal notice was published in the Sun Post, 9 Notices were mailed to properties within 500 feet, Proposed Development Sign was placed on the property, A Neighborhood email was sent to the Northland neighborhood
Timeline (MN §15.99)	
60-day	April 26, 2024
120-day	July 1, 2024

Land Use/Zoning and Overlay:

The site is zoned Business Park District (BP) and is within the Northland neighborhood. The future land use for the property is Business Park. The adjacent properties to the north, south and east are zoned Business Park, with MNDOT right-of-way to the west.

Conditional Use Permit:

A commercial indoor recreational facility over 2,450 square feet is considered a conditional use in the BP District (§ 152.342.01). Conditional uses must be reviewed against the standards of the Code (§ 152.035). The proposed use is evaluated below:

(D) Review Standards. The request may address the following factors, although the City Council, the Planning Commission, and city staff has the authority to request additional information from the applicant concerning operational factors pertaining to the proposed use or to retain experts with the consent and at the expense of the applicant concerning operational factors, when necessary to establish performance conditions to effect the intent of this chapter.

(1) Comprehensive Plan. Compliance with the Comprehensive Plan, public facilities and capital improvement plans, and all sections of the City Code.

The Future Land Use of the Brooklyn Park 2040 Comprehensive Plan guides the property as Business Park. The Business Park uses include businesses and limited commercial. The commercial indoor recreational facility is consistent with the Comprehensive Plan.

(2) Traffic. The generation and characteristics of the traffic associated with the use and its impact on the traffic volumes of and safety associated with driveway location on adjacent roads, sidewalks and trail connections.

Vehicular access to the site is provided from one existing access points along Northland Terrace, with a shared drive to the abutting property to the south. During peak hours the applicant anticipates 30 vehicles per hour. The applicant provided anticipated traffic numbers, which has been reviewed by staff, and found to be sufficient.

(3) Parking. The characteristics of the parking area of the use, including the number and design of parking spaces, landscaping, traffic circulation, drainage, and lighting. The city may require additional parking above that required in § 152.140 through 152.146.

The applicant provided anticipated numbers of vehicles on site at 5-15 vehicles during sessions. Due to the nature of the services provided being outside of daytime hours, there is minimal overlap anticipated with adjacent tenants as those spaces are primarily employment based. There are 189 parking spots on this property of shared parking. There are no anticipated parking concerns.

(4) City services. The provision of adequate public facilities and services to the site where the use is proposed and the ability of the existing infrastructure to absorb the additional demand for city services.

There will be no change to the existing utilities serving the facility. Redline will continue to use water, electricity and gas, as required to support the health and welfare of the customers and employees on site.

- (5) ***Screening and landscaping.*** The ability to screen and buffer incompatible off-site impacts of the proposed use on adjacent property and the surrounding neighborhood. The city may require additional landscaping or screening above that required in the specific zoning district.

There will be no change to the exterior of the facility and this proposal will not require any change to the screening or landscaping.

- (6) ***Architectural standards.*** The degree that the site or building associated with the proposed use meets or exceed the architectural design and landscaping standards for the district in which it is located. The city may require additional architectural standards above those required in the specific zoning district.

There will be no new architectural development to the facility, and any modifications to the interior of the facility will be permitted accordingly prior to any construction.

- (7) ***Other sections of the city code.*** The applicant may be required to submit additional information demonstrating that the development is able to comply with any other applicable section of this chapter or the city code.

Commercial indoor recreational facilities have additional standards required by Code (§ 152.344). These standards require adequate parking facilities for off-street parking, as well as conformance with lighting and pedestrian standards, the Sign code, and the Comprehensive Plan. Existing conditions of the site are consistent with these requirements.

The required findings of § 152.035 have been addressed and Staff recommends approval of the CUP.

Conditions of Approval:

Staff recommends the adoption of Resolutions 24-___ Approving a Conditional Use Permit for a Commercial Indoor Recreational Facility over 2,450 Square Feet at 7115 Northland Terrace with the following conditions:

1. Prior to using the space as an indoor recreation facility, the applicant must work with the Brooklyn Park Building Department to obtain all necessary building permits in accordance with all applicable building codes and requirements.
2. Signage must comply with all requirements of City Code Chapter 150: Signs.

Staff Recommendation:

Staff recommends approval of the conditional use permit with the conditions listed in the attached draft resolution.

Alternatives to Consider:

1. Approve the Conditional Use Permit as presented.
2. Approve the Conditional Use Permit with modifications.
3. Deny the Conditional Use Permit based on certain findings.

Budgetary/Fiscal Issues:

Not applicable.

Attachments:

- A. DRAFT RESOLUTION – COMMERCIAL INDOOR RECREATIONAL FACILITY OVER 2,450 SQUARE FEET
- B. LOCATION MAP
- C. PLAN SET

RESOLUTION #2024-___

RESOLUTION APPROVING A CONDITIONAL USE PERMIT
FOR A COMMERCIAL INDOOR RECREATIONAL FACILITY OVER 2,450 SQUARE FEET AT
7115 NORTHLAND TERRACE NORTH

Planning Commission File #24-105

WHEREAS, Nicholas Lucca of Redline Athletics has made application for a Conditional Use Permit under the provisions of Chapter 152 of the City Code on property legally described as:

Lot 1 Block 1 of Northland Interstate Business Center 3rd Addition, Hennepin County, Minnesota.

WHEREAS, the proposed development is consistent with the purposes of the Zoning District and the Comprehensive Plan; and

WHEREAS, the matter has been referred to the Planning Commission public hearing and who have given their advice and recommendation to the City Council; and

WHEREAS, the effect of the proposed use upon the health, safety and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park that a Conditional Use Permit is hereby approved for a commercial indoor recreational facility over 2,450 square feet on the above described parcel, subject to the following:

1. Prior to using the space as an indoor recreation facility, a new Certificate of Occupancy for the correct occupancy type must be obtained from Building Department in accordance with all applicable building codes and requirements.
2. Signage must comply with all requirements of City Code Chapter 150: Signs.



Conditional Use Permit
Case #24-105 – Redline Athletics
Area of Request (August 2023 Air Photo)
7115 Northland Terrace N

Brooklyn Park 





February 26, 2024

Conditional Use Permit Plan

Site Location:

7115 Northland Terrace, Suite 150, Brooklyn Park, MN, 55428
6,749 square feet

Business Description:

Redline Athletics – TC Northwest will be a franchised performance center offering specialized programs to develop core stability, speed improvement, running form and agility, and strength training. Our core offering is semi-private, instructor lead classes that focus on injury prevention, speed/agility, age-appropriate strength development, and recovery, while developing the work ethic and character of the athletes we train. We will also provide skills instruction for various sports, including baseball, softball, football, hockey, lacrosse, and more.

Development Plan:

To enable the effective operation of the sports performance center, there will be some minor construction required for the interior of the suite, with no impact on the structure of the building. The buildout process will include the raising of some interior drop-ceilings, and installation of turf flooring for the agility training space and rubber tiling for the strength training area (as shown in Exhibit 1 below). In the strength training section, we will be installing weight racks for free weight storage and training. Based on the building's established requirements, we will install compliant signage to the front façade of the facility, with no other exterior changes to be made. Once open, the facility will support four to eight semi-private and private performance training sessions for individuals and athletic teams in and around the Brooklyn Park area.

Anticipated Impacts

1. *Traffic.* This is expected to serve between 60-100 members per day, equating to 10-30 additional vehicles each hour during training sessions. See Exhibit 2 for the hourly estimates for vehicle and employee traffic.
2. *Parking.* The parking available to the business center at 7115 Northland Terrace N will adequately support the additional vehicle traffic for the employees and members attending training sessions. As our performance center specializes in the development of youth performance, we anticipate only 5-15 parking during a session at any time.

3. *City services.* There will be no change to the existing utilities servicing the facility. Redline will continue to use water, electricity and gas, as required to support the health and welfare of the customers and employees on site.
4. *Screening and landscaping.* There will be no change to the exterior of the facility and will not require any change to the screening or landscaping.
5. *Architectural standards.* There will be no new architectural development to the facility, and any modifications to the interior of the facility will be permitted accordingly prior to any construction.

Nicholas Lucca
Redline Athletics - TC Northwest
Franchise Owner

Exhibit 1: Anticipated Buildout Design

Square Footage: 6,749 ft²

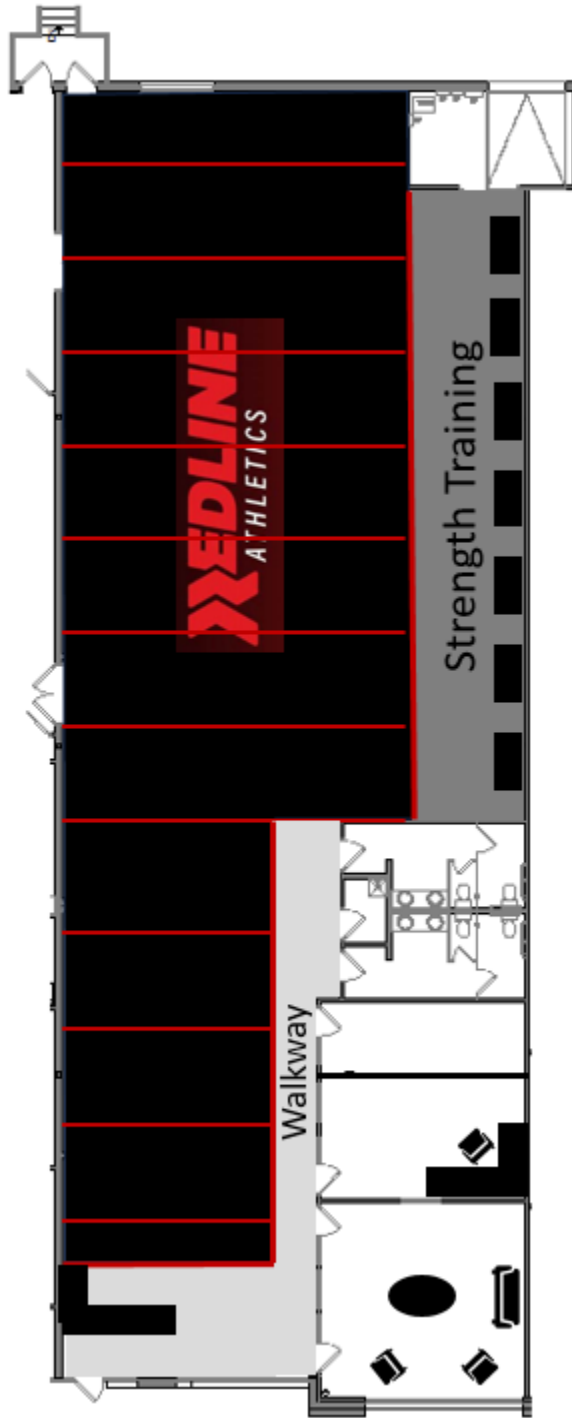
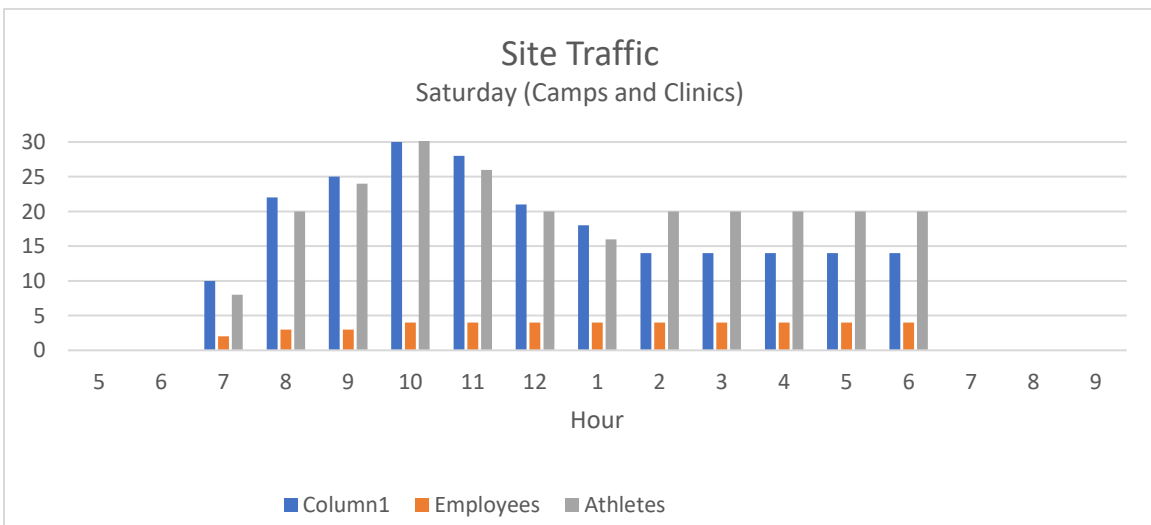
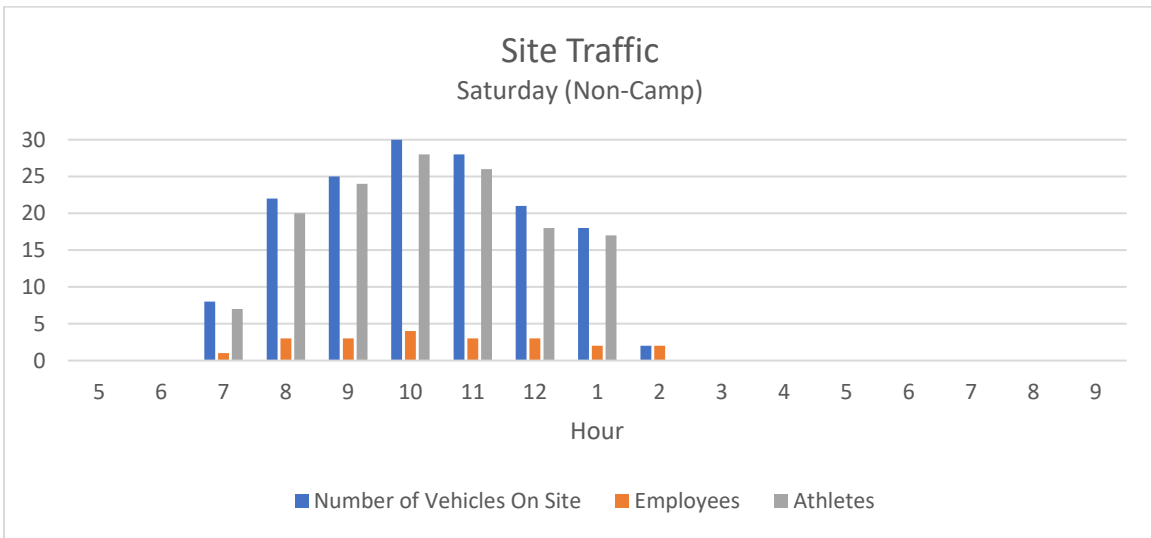
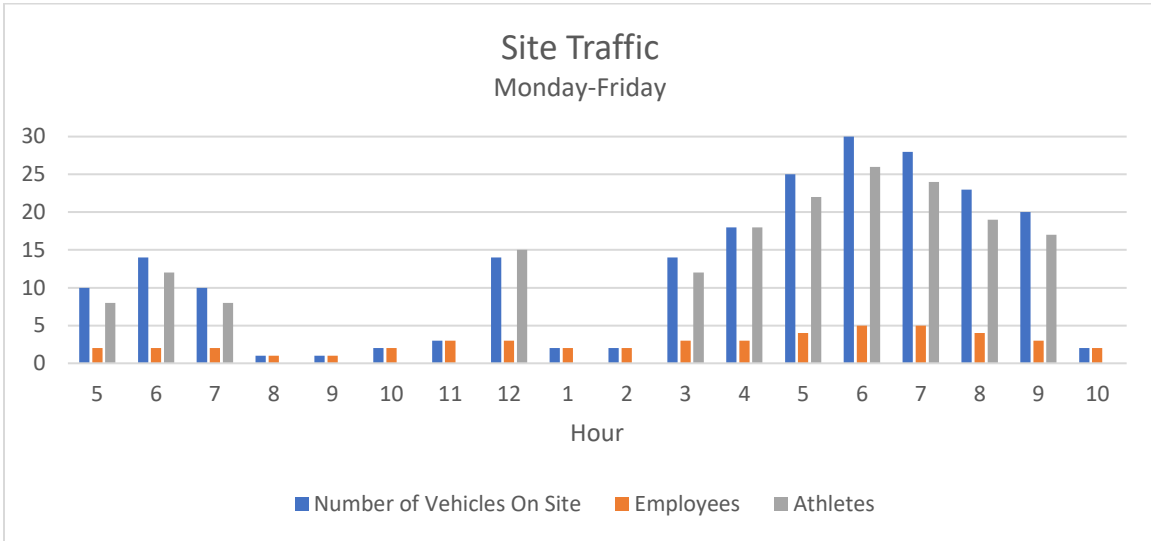


Exhibit 2: Estimated Traffic Rates



City of Brooklyn Park Planning Commission Staff Report			
Agenda Item:	6.4	Meeting Date:	April 10, 2024
Agenda Section:	Public Hearing	Originating Department:	Community Development
Resolution:	X	Prepared By:	Erin McDermott, Associate Planner
Ordinance:			
Attachments:	3	Presented By:	Erin McDermott, Associate Planner
Item:	Rotation Engineering – Planning Case #24-106 Site Plan Review for an addition to an existing restaurant on a property zoned BP – Business Park.		

Proposed Actions:

MOTION _____ SECOND _____ TO RECOMMEND APPROVAL OF SITE PLAN REVIEW FOR THE CONSTRUCTION OF AN ADDITION TO THE EXISTING STRUCTURE AT 8800 XYLON AVE N, SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.

Summary:

This request is for the construction of an addition to the existing structure located at 8800 Xylon Avenue. This addition will expand the existing structure to the north, increasing the footprint of the structure by 26,928 square feet.

Land Use Plan	Business Park
Current Zoning	BP – Business Park
Proposed Zoning	No proposed change
Site Area	3.19 acres
Conforms to	
Land Use Plan	Yes
Zoning Code	Yes
Subdivision Ordinance	Yes
Notification	Legal notice was published in the Sun Post, 28 Notices were mailed to properties within 500 feet, Proposed Development Sign was placed on the property, A Neighborhood email was sent to the Shingle Creek neighborhood.
60- and 120- Days (§15.99)	April 29, 2024; June 28, 2024

Previous Approvals:

This property was subdivided as part of the Enterprise Park Plat in 1991. The property went through site plan review and the existing 38,273 square foot building was constructed in 1993. At the time of the original site

plan approval, an addition was approved as part of a development plan. Due to the time elapsed, it was determined that a site plan was necessary. The proposal is in line with the previously approved development plan.

Current Conditions:

This site is developed with the existing 38,273 square foot building, with existing parking to the south and west of the property, as well as a staging area with outdoor storage to the south.

Land Use/Zoning (and Overlay):

This property is zoned BP – Business Park and is guided Business Park by the 2040 Comprehensive Plan. Warehouses are a permitted use within the BP zoning district, and this conforms to the Comprehensive Plan. This proposal meets all district setback requirements.

Proposed Development:

The applicant is proposing a 28,928 square foot addition with additional loading dock on the north side of the structure. The applicant provided ghost parking in the event that additional parking is needed, however, the applicant also provided proof of parking that the existing parking lot is adequate for the anticipated expansion.

Site Plan Review:

Site plans must be reviewed against the evaluation criteria required by the Code (§ 152.033).

Lighting:

A lighting plan was provided with light specifications showing the lighting of the addition will meet lighting requirements (§ 152.111)

Pedestrian Circulation:

This site does not currently meet Code requirements to necessitate sidewalks. Future improvements to adjacent roadways may necessitate the installation of sidewalks. (§ 152.131)

Parking:

This site has 80 existing parking stalls, 4 accessible stalls, and will add 4 additional parking spaces on the north side of the proposed structure. The parking code calculations for the site indicate 22 spaces are required for office space, 34 are required for the existing manufacturing space, and the spaces required for warehousing including both existing and proposed warehouse space requires a total of 78 spaces. The proposed total of 84 spaces meets code requirements. The applicant provided an additional 7 spaces in the proof of parking spaces that will not be constructed until a time when it is necessary. The existing structure has 3 loading docks, as required by code for the size of the existing structure. This addition exceeds the threshold requiring the addition of one loading dock, as proposed on the north side of the building.

Enclosures and Screening:

The proposed site has an existing waste enclosure which meets screening requirements for waste. The existing structure has a legally non-conforming unscreened rooftop HVAC unit. All rooftop HVAC units that are placed in different locations from the existing, or new rooftop HVAC units are required to meet screening requirements.

Landscaping:

The landscaping plan provided meets all prescribed landscaping requirements (§ 152.373). The site currently

has 14 overstory trees, 53 shrubs, and 5 evergreen trees. This site requires 12 overstory trees, 344 shrubs, and 12 evergreen trees. This proposal indicates the installation of 7 evergreen trees, which satisfies the evergreen requirement as well as street tree requirement, as well as the addition of 292 shrubs to meet landscaping requirements.

Architectural Standards:

The proposed addition matches the existing structure and is composed of architecturally textured precast panels, which are Class I materials. All facades visible from the right of way include windows, doors, and a decorative stripe consistent with the existing building to mitigate the appearance of blank walls (§ 152.392).

Roadways:

The site is located on the corner of 89th and Xylon avenues, with two access points on Xylon Avenue and a proposed entrance on 89th Avenue.

Grading and Drainage:

There are no proposed changes to grading or drainage on the site, however, it was determined that additional drainage considerations are necessary for the construction of the proof of parking concept. Upon determination of the necessity to expand parking, the drainage requirements will be reviewed by the City.

Utilities:

The existing structure is already serviced by utilities, and the expansion of this restaurant can be supported.

The required findings of § 152.033 have been addressed and Staff recommends approval of the Site Plan Review.

Conditions of Approval:

Staff recommends the adoption of Resolution 2024 - ____ subject to the following conditions as listed in Section 5 of the resolution:

- 5.01 At the time additional parking is necessary, a review of the stormwater management is required to be approved by the City Engineer.

Staff Recommendation:

Staff recommends Planning Commission recommend approval of the resolutions approving the Site Plan Review for the construction of an addition to an existing structure at 8800 Xylon Ave subject to the conditions as written in the attached resolution.

Alternatives to Consider:

- 1. Recommend approval of the site plan as presented.
- 2. Recommend approval of the site plan with modifications.
- 3. Recommend denial the proposal based on certain findings.

Budgetary/Fiscal Issues:

There are no budgetary or fiscal impacts anticipated by this application.

Attachments:

- A. DRAFT SITE PLAN RESOLUTION
- B. LOCATION MAP
- C. PLAN SET

RESOLUTION #2024-

RESOLUTION APPROVING A SITE PLAN REVIEW FOR THE FOR THE CONSTRUCTION OF AN ADDITION TO THE EXISTING STRUCTURE AT 8800 XYLON AVE N

Planning Commission File #24-106

WHEREAS, an application has been made by Shaw Construction for a Site Plan Review under the provisions of the City Code on properties legally described as:

Lot 2, Block 2 of Enterprise Park, Hennepin County, Minnesota

WHEREAS, the zoning of the property is BP – Business Park –in which warehouses are a permitted use; and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission who held the public hearing on April 10, 2024.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park:

The Site Plan Review for the construction of an addition to the existing structure is hereby approved with the following conditions:

1.00 DRAWINGS

- 1.01 Site, landscaping, and grading plans for the property on file in the City Clerk’s office dated February 2, 2024 are approved, subject to conditions listed below.

2.00 BONDS, ESCROWS AND DIRECT PAYMENTS

- 2.01 A Development Contract and bonding shall be required as a development bond or letter of credit in the amount of \$_____.00, a cash bond in the amount of \$_____.00, and a developer’s escrow in the amount of \$_____.00 as required by Chapter 152. The developer’s escrow must be posted with the City to cover engineering, legal and administrative costs incurred by the City. If this account becomes deficient, it shall be the developer’s responsibility to deposit additional funds. This must be done before final bonding obligations are complete.

3.00 REQUIRED DOCUMENTS

- 3.01 All utility construction, drainage, grading and development plans must be approved by the City Engineer prior to receiving a building permit.

4.00 GENERAL CONDITIONS

- 4.01 It shall be the developer’s responsibility to keep active and up to date the developer’s contract and financial surety (Letter of Credit, bonds, etc.). These documents must remain active until the developer has been released from any further obligation by City Council motion received in writing from the Engineering Department.

AGENDA ITEM 6.4A – DRAFT RESOLUTION

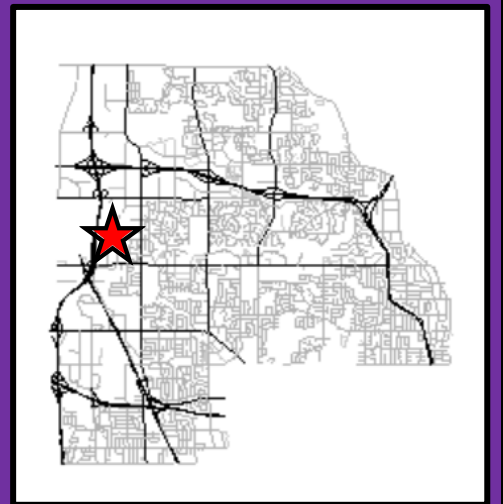
- 4.02 Before final bonding obligations are released, a certificate signed by a registered engineer must be provided. This certificate will state that all final lot and building grades are in conformance to drainage development plan(s) approved by the City Engineer.
- 4.03 No burying of construction debris shall be permitted on the site.
- 4.04 Dust control and erosion measures must be in place to prevent for dust and erosion including, but not limited to, daily watering, silt fences, and seeding. The City Engineer may impose measures to reduce dust and run-off.
- 4.05 Adequate dumpsters must be on site during construction. When full, they must be emptied immediately or replaced with an empty dumpster.
- 4.06 Signs must conform to the requirements of Chapter 150. The sign plans will be approved by staff to verify code compliance at time of building permit.

5.00 CONDITIONS

- 5.01 At the time additional parking is necessary, a review of the stormwater management is required to be approved by the City Engineer.



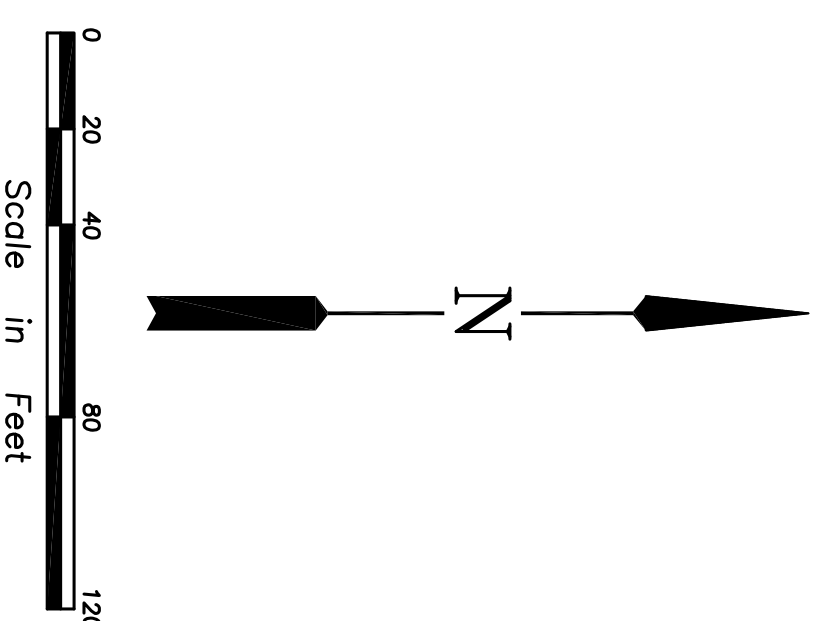
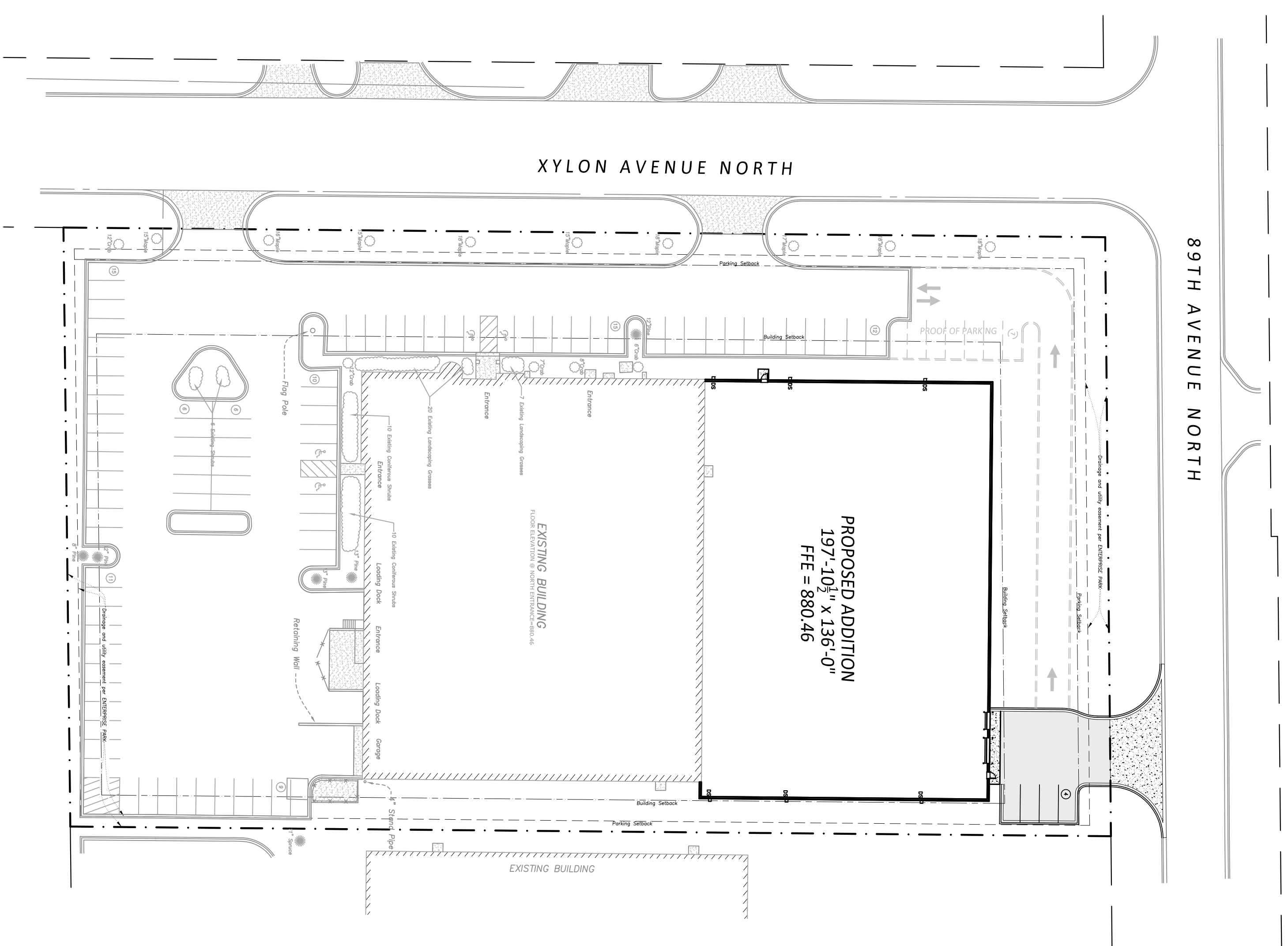
Site Plan Review
Case #24-106 – Rotation Engineering
Area of Request (August 2023 Air Photo)
8800 Xylon Ave N



Brooklyn Park 

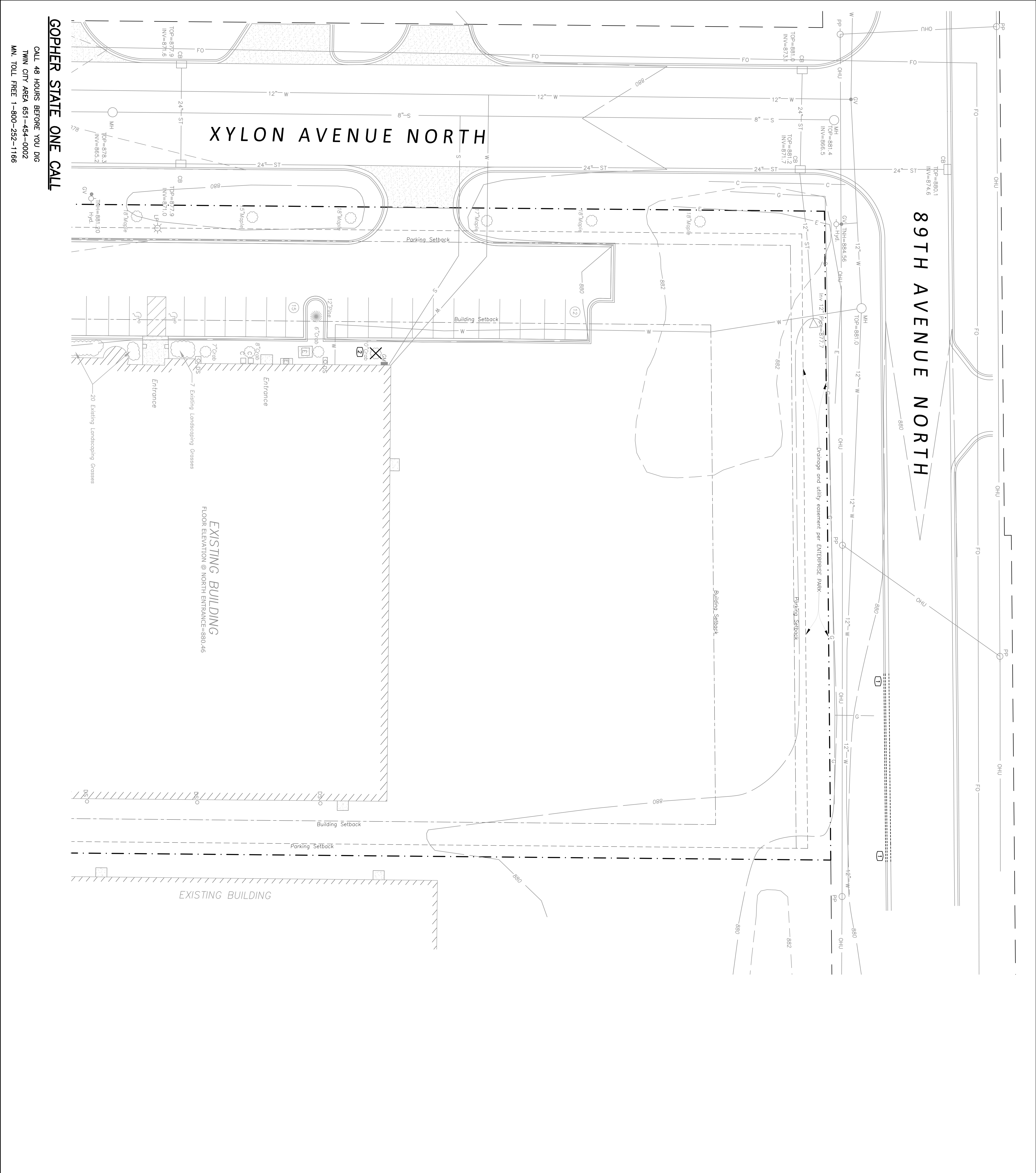
ROTATION ENGINEERING ADDITION

8800 XYLON AVENUE NORTH
 BROOKLYN PARK, MN 55445



TITLE	SHEET INDEX	SHEET NO.
COVER SHEET		C0
SITE DEMOLITION PLAN		C1
SITE DIMENSION PLAN		C2
GRADING, DRAINAGE & EROSION CONTROL PLAN		C3
UTILITY PLAN		C4
DETAILS & SPECIFICATIONS		C5
LANDSCAPE PLAN		L1

<p>C0</p>	<p>COVER SHEET ROTATION ENGINEERING ADDITION CITY OF BROOKLYN PARK</p>	<p>Issued</p> <table border="1"> <tr> <td>SITE PLAN SUBMITTAL</td> <td>2-29-24</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	SITE PLAN SUBMITTAL	2-29-24							<p>I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.</p> <p>PRELIMINARY</p> <p>Date _____ Name <u>Nicholas P. Adam</u> Reg. No. <u>43856</u></p>	<p>REHDER & ASSOCIATES, INC. Civil Engineers & Land Surveyors</p> <p>3440 Federal Drive, Suite 110 Eden Prairie, MN 55122 Telephone: 651-452-5051 www.rehder.com</p> <p>PROJECT NO.: 241-2552.031 DRAWING NO.: 2552031.DWG</p>	<p>SHAW CONSTRUCTION</p> <p>7487 Corporate Way Eden Prairie, MN 55144-2021 952-917-9111 952-917-4433 Fax www.shawconstruction.com</p>
	SITE PLAN SUBMITTAL	2-29-24											
<p>SHEET NUMBER</p>		<p>SHEET NUMBER</p>											



GOPHER STATE ONE CALL
 CALL 48 HOURS BEFORE YOU DIG
 TWIN CITY AREA 651-454-0002
 MN. TOLL FREE 1-800-252-1166

XYLON AVENUE NORTH

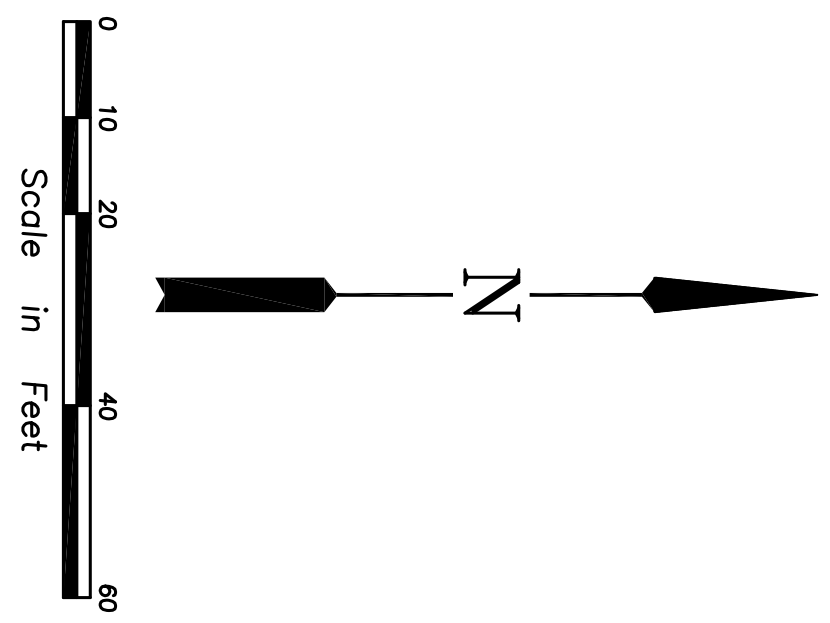
89TH AVENUE NORTH

EXISTING BUILDING
 FLOOR ELEVATION @ NORTH ENTRANCE=880.46

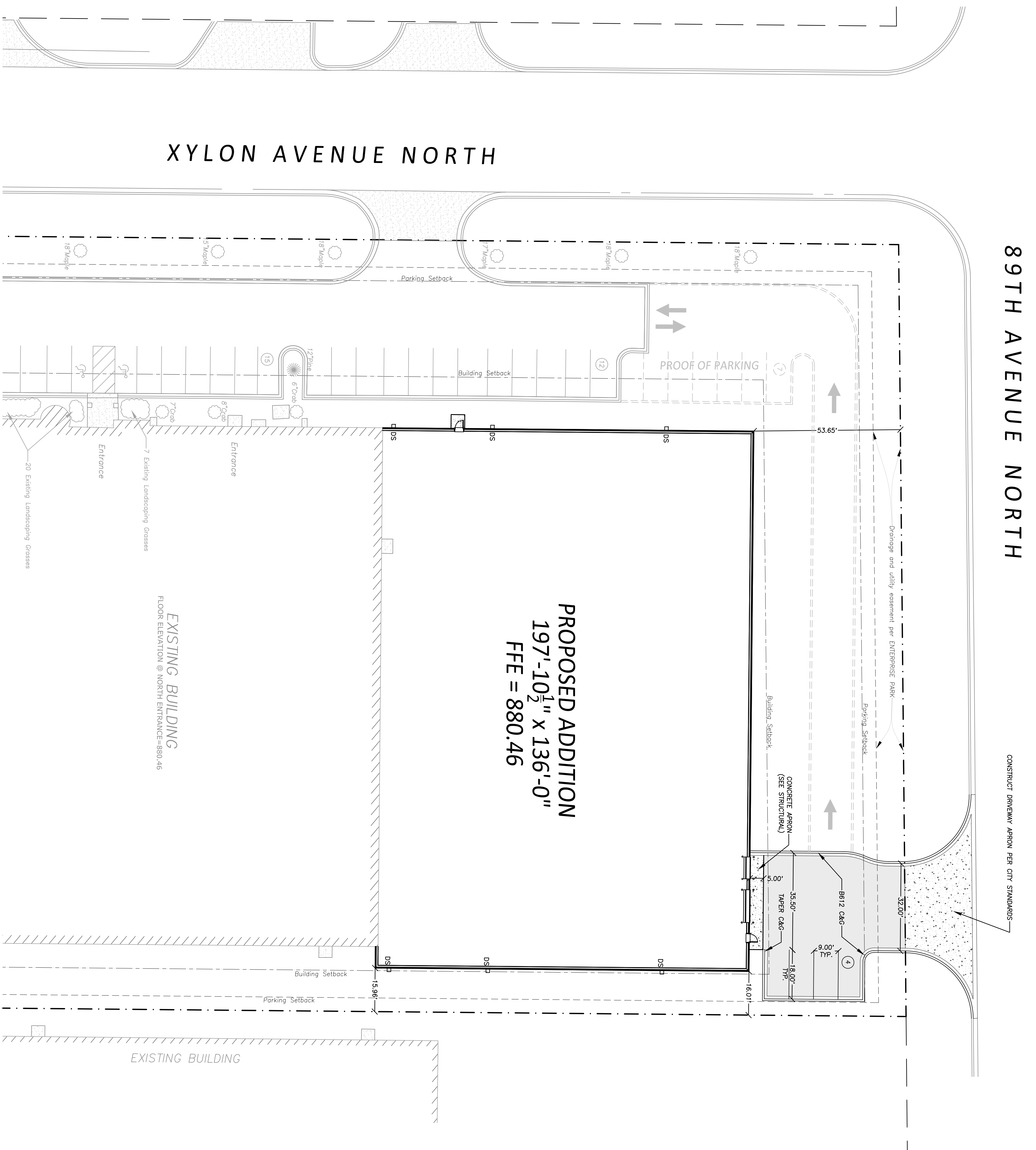
EXISTING BUILDING

DEMOLITION NOTES
 1 - Remove concrete curb & gutter
 2 - Remove existing tree

- LEGEND**
- BOUNDARY/ROW/BLOCK LINE
 - EASEMENT
 - BUILDING/PARKING SETBACK LINE
 - EXISTING WATERMAIN
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - EXISTING BURIED FIBER OPTIC
 - EXISTING BURIED GAS LINE
 - EXISTING BURIED ELECTRIC LINE
 - EXISTING BURIED COMMUNICATION LINE
 - EXISTING CONTOUR
 - EXISTING ELEVATION



<p>SHEET NUMBER C1</p>	<p>SITE DEMOLITION PLAN ROTATION ENGINEERING ADDITION CITY OF BROOKLYN PARK</p>	<p>Issued SITE PLAN SUBMITTAL 2-29-24</p>	<p>I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.</p> <p>PRELIMINARY</p> <p>Date _____ Name <u>Nicholas P. Adam</u> Reg. No. <u>43856</u></p>	<p>REHDER & ASSOCIATES, INC. Civil Engineers & Land Surveyors</p>	<p>3440 Federal Drive, Suite 110 Eden Prairie, MN 55322 Telephone: 651-452-5051 www.rehder.com</p>	<p>7485 Corporate Blvd. Eden Prairie, MN 55344-2021 952-917-9311 952-917-9313 Fax www.shawconstruction.com</p>
			<p>PROJECT NO.: 241-2552.031 DRAWING NO.: 2552031.DWG</p>			



PROPOSED ADDITION
 197'-10 1/2" X 136'-0"
 FFE = 880.46

EXISTING BUILDING
 FLOOR ELEVATION @ NORTH ENTRANCE=880.46

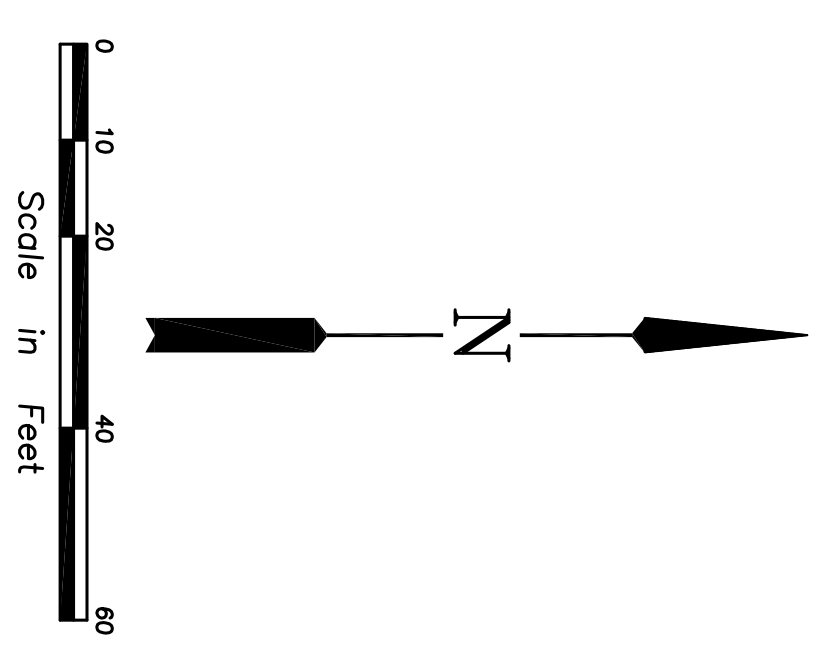
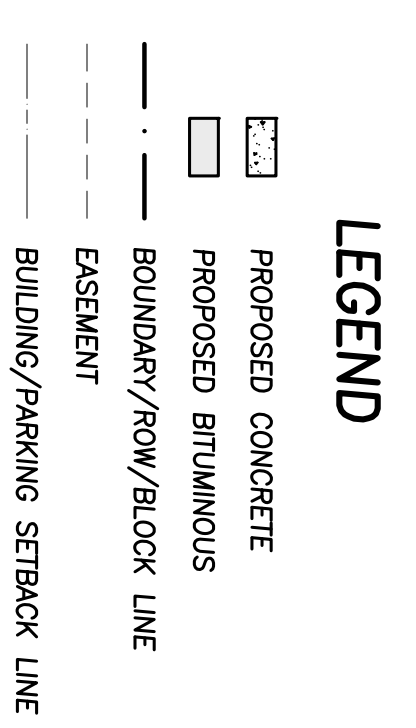
ZONING SUMMARY
 ZONING DISTRICT = BP
 PROPOSED USE = MANUFACTURING & WAREHOUSE
 PARKING SETBACK = 15' FRONT, 5' SIDE
 BUILDING SETBACK = 50' FRONT, 15' SIDE

SITE SUMMARY

SITE AREA = 3.19 ACRES
 DISTURBED AREA = 0.98 ACRES
 EXISTING MANUFACTURING WAREHOUSE AREA = 72 ACRES (54%)
 EXISTING CONSTRUCTION IMPERVIOUS AREA w/ROOF OR PARKING = 2.54 ACRES (80%)
 POST CONSTRUCTION IMPERVIOUS AREA w/ROOF OR PARKING = 1.32 ACRES (57.545 ST.F.)

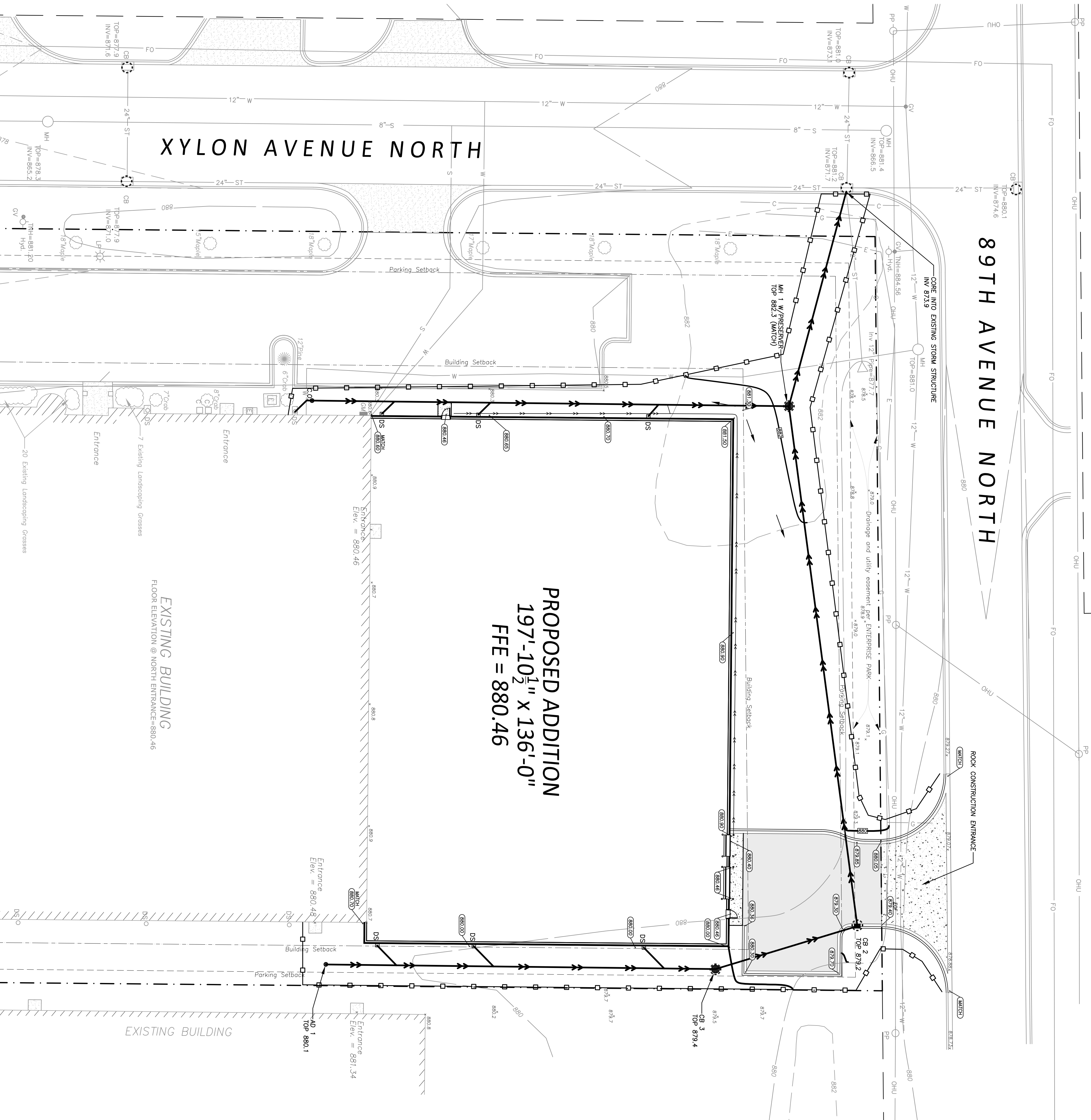
PARKING STALLS REQUIRED
 EXISTING OFFICE 5,526/1000/4 = 22
 EXISTING MANUFACTURING 12,000/400 + 4 = 34
 EXISTING + PROPOSED WAREHOUSE 43,657/2,000 = 22
TOTAL = 78

PARKING STALLS PROVIDED
 EXISTING STANDARD STALLS = 80
 EXISTING ACCESSIBLE STALLS = 4
 PROPOSED STANDARD STALLS = 4
 PROOF OF PARKING STALLS = 7
TOTAL = 95 (INCLUDES PROOF OF PARKING)



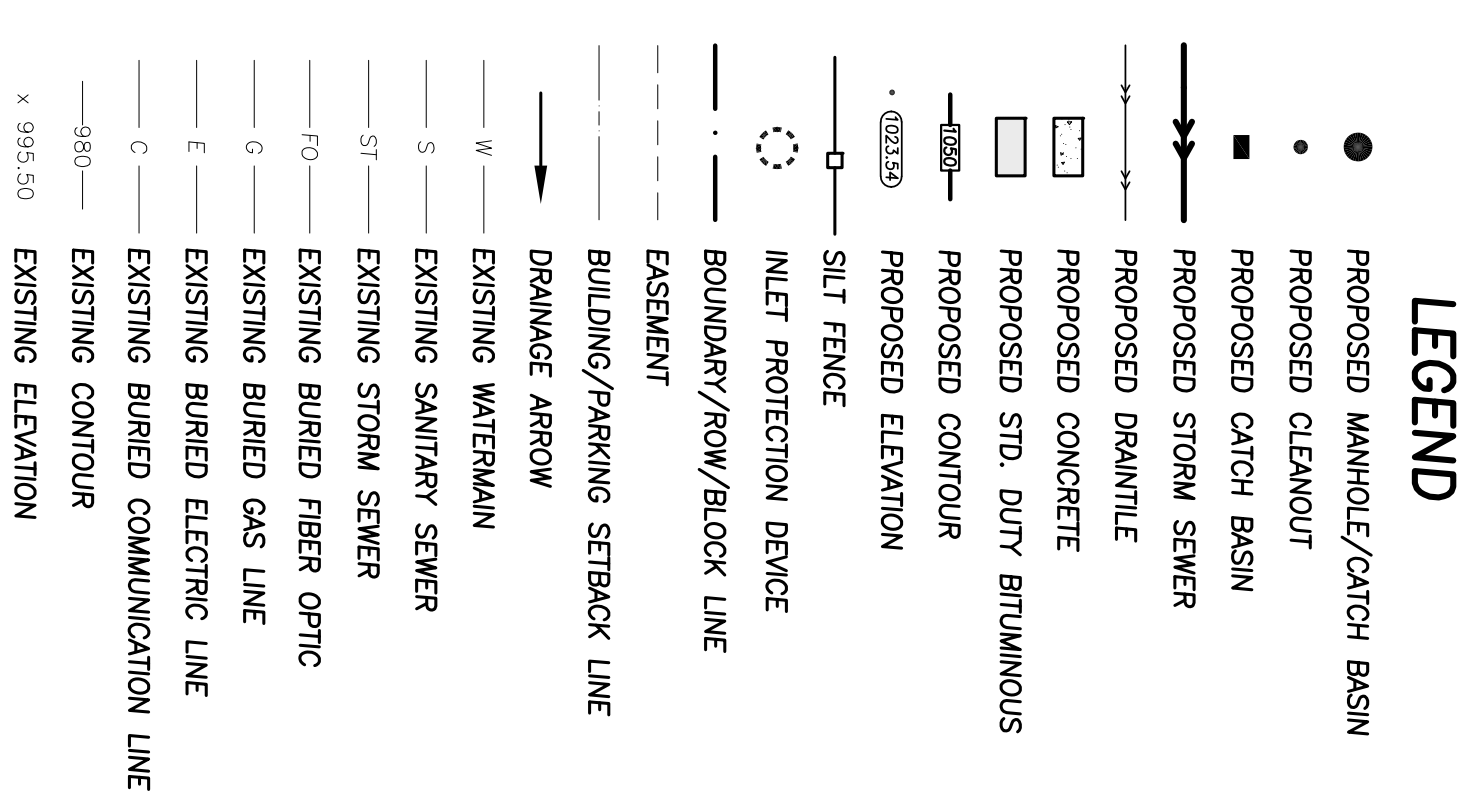
GOPHER STATE ONE CALL
 CALL 48 HOURS BEFORE YOU DIG
 TWIN CITY AREA 651-454-0002
 MN. TOLL FREE 1-800-252-1166

<p style="text-align: center;">SITE DIMENSION PLAN ROTATION ENGINEERING ADDITION CITY OF BROOKLYN PARK</p>	<p style="text-align: center;">Issued</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">SITE PLAN SUBMITTAL</td> <td style="text-align: center;">2-29-24</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	SITE PLAN SUBMITTAL	2-29-24					<p>I hereby certify that this plan was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.</p> <p style="text-align: right; font-size: 2em; font-weight: bold; opacity: 0.5;">PRELIMINARY</p> <p style="text-align: right;">Date _____ Name <u>Nicholas P. Adam</u> Reg. No. <u>43856</u></p>	<p style="text-align: center;">REHDER & ASSOCIATES, INC. Civil Engineers & Land Surveyors</p> <p style="font-size: 0.8em;">3440 Federal Drive, Suite 110 Eagan, MN 55122 Telephone: 651-452-5051 www.rehder.com</p>	<p style="font-size: 0.8em;">7487 Corporate Way Eden Prairie, MN 55444-2021 952-917-9311 952-917-9433 Fax www.shawconstruction.com</p> <p style="font-size: 1.5em; font-weight: bold; text-align: center;">SHAW CONSTRUCTION</p>
SITE PLAN SUBMITTAL	2-29-24									
<p style="font-size: 2em; font-weight: bold;">C2</p>	<p style="font-size: 0.8em;">SHEET NUMBER</p>	<p style="font-size: 0.8em;">PROJECT NO.: 241-2552.031 DRAWING NO.: 2552031.DWG</p>								



- GRADING NOTES**
- 1 - All elevations shown are to final surfaces.
 - 2 - Contractor is responsible for obtaining all required permits from the City.

- EROSION CONTROL NOTES**
- 1 - Contractor is responsible for all notifications and inspections required by General Storm Water Permit.
 - 2 - All erosion control measures shown shall be installed prior to grading operations and maintained until all areas disturbed have been restored.
 - 3 - Sweep paved public streets as necessary where construction sediment has been deposited.
 - 4 - Each area disturbed by construction shall be restored per the specifications within 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
 - 5 - Temporary soil stockpiles must have silt fence around them and cannot be placed in surface waters. Including storm water conveyances such as curb and gutter systems, or conduits and ditches.
 - 6 - Excess concrete/water from concrete trucks shall be disposed of in portable washout concrete basin or disposed of in a contained area.



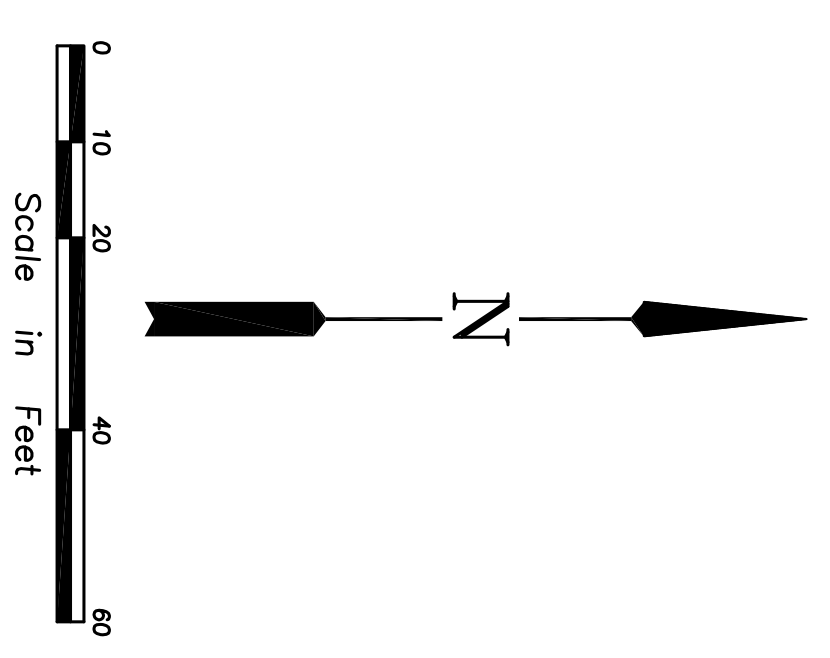
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MN. TOLL FREE 1-800-252-1166

EXISTING BUILDING
FLOOR ELEVATION @ NORTH ENTRANCE=880.46

PROPOSED ADDITION
197'-10 1/2" X 136'-0"
FFE = 880.46

EXISTING BUILDING



Issued	
SITE PLAN SUBMITTAL	2-29-24

I hereby certify that this plan was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

PRELIMINARY

Date _____
Name Nicholas P. Adam Reg. No. 43856

7488 Corporate Way
Eden Prairie, MN 55424
952-917-9211 Fax
952-917-9433 Ext.
www.shawconstruct.com

REHDER & ASSOCIATES, INC.
Civil Engineers & Land Surveyors

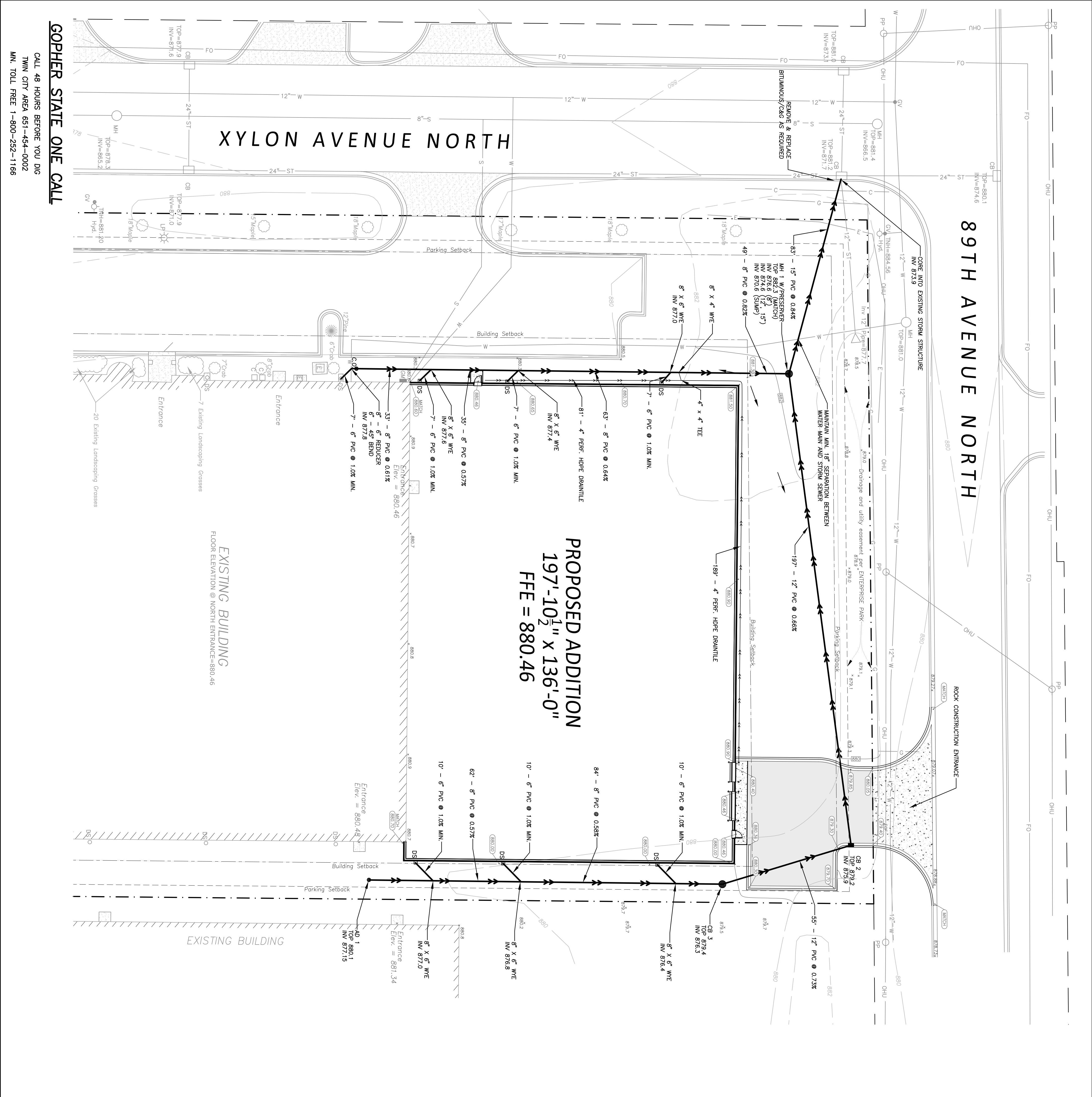
3440 Federal Drive, Suite 110
Eden Prairie, MN 55422
Telephone: 651-452-5051
www.rehder.com

PROJECT NO.: 241-2552.031 DRAWING NO.: 2552031.DWG

GRADING, DRAINAGE &
EROSION CONTROL PLAN
ROTATION ENGINEERING ADDITION
CITY OF BROOKLYN PARK

C3

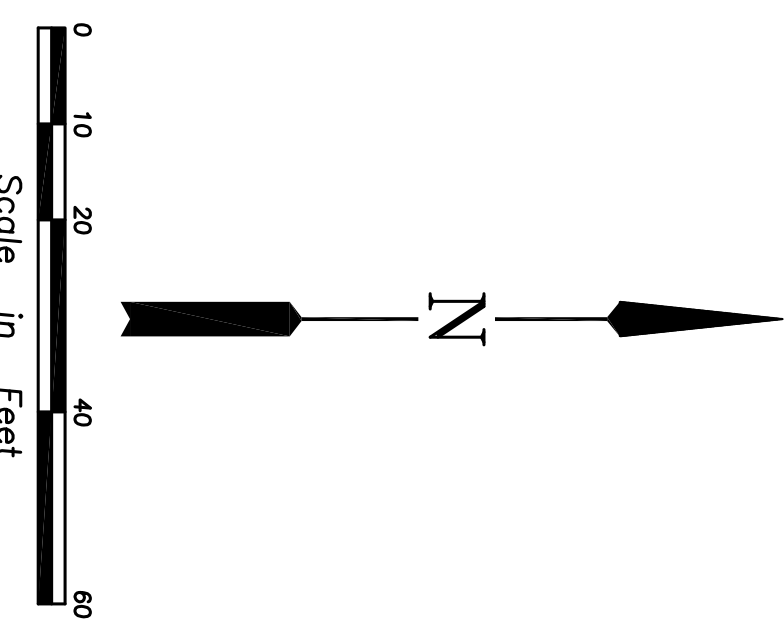
SHEET NUMBER



CATCH BASIN/MANHOLE SCHEDULE	
STRUCTURE NO.	BARREL SIZE
MH 1	48"
CB 2	48"
CB 3	48"

AREA DRAIN SCHEDULE	
NYLOPLAST BASIN TYPE	NEEMH CASTING NO.
AD 1	R-1642B
	R-3057V
	R-2573-1C

LEGEND	
●	PROPOSED MANHOLE/CATCH BASIN
○	PROPOSED CLEANOUT
■	PROPOSED CATCH BASIN
→	PROPOSED STORM SEWER
→	PROPOSED DRAIN TILE
→	PROPOSED CONCRETE
→	PROPOSED STD. DUTY BITUMINOUS
---	BOUNDARY/ROW/BLOCK LINE
---	EASEMENT
---	BUILDING/PARKING SETBACK LINE
---	EXISTING WATERMAIN
---	EXISTING SANITARY SEWER
---	ST
---	EXISTING BURIED FIBER OPTIC
---	EXISTING BURIED GAS LINE
---	EXISTING BURIED ELECTRIC LINE
---	EXISTING BURIED COMMUNICATION LINE
---	EXISTING CONTOUR
---	EXISTING ELEVATION

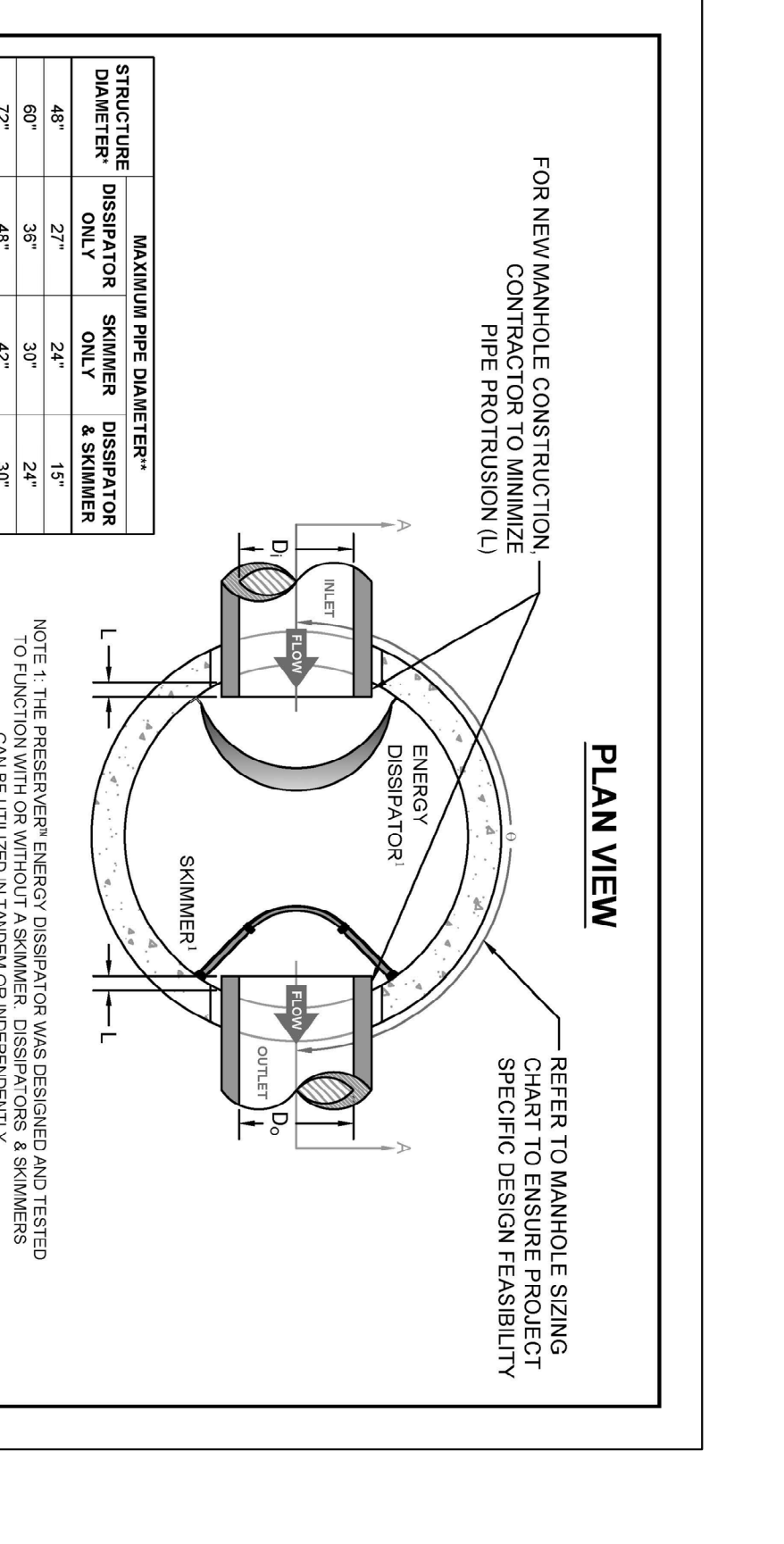
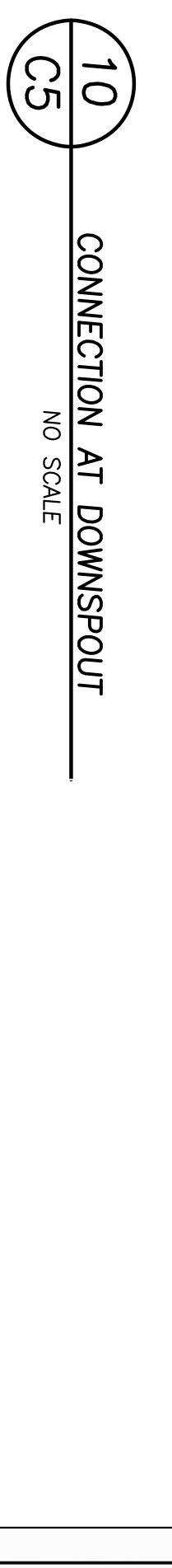
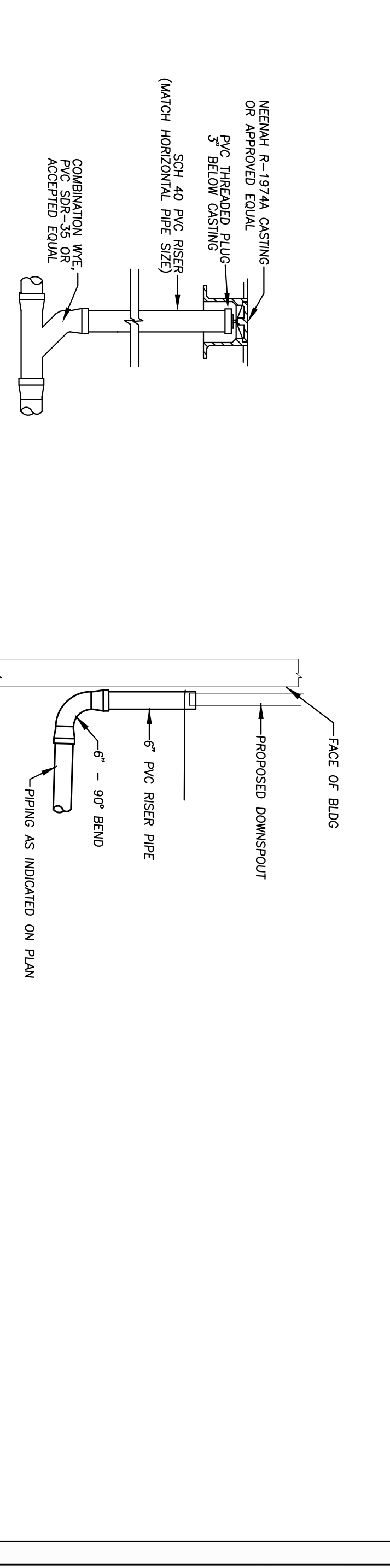
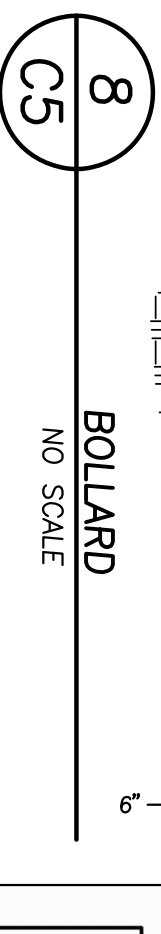
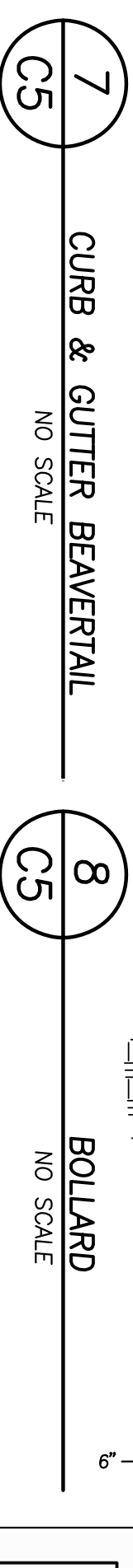
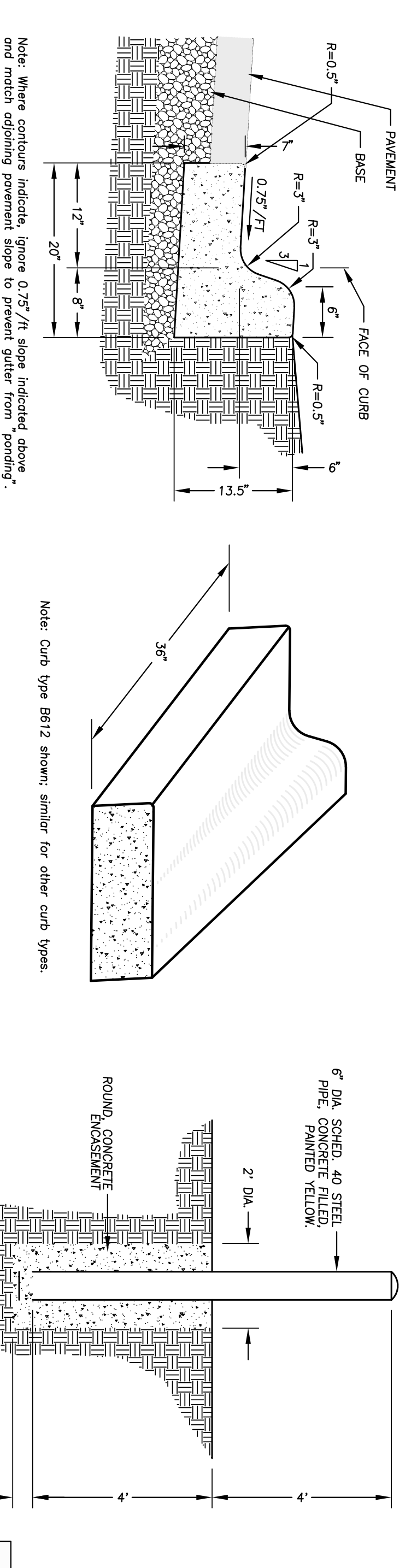
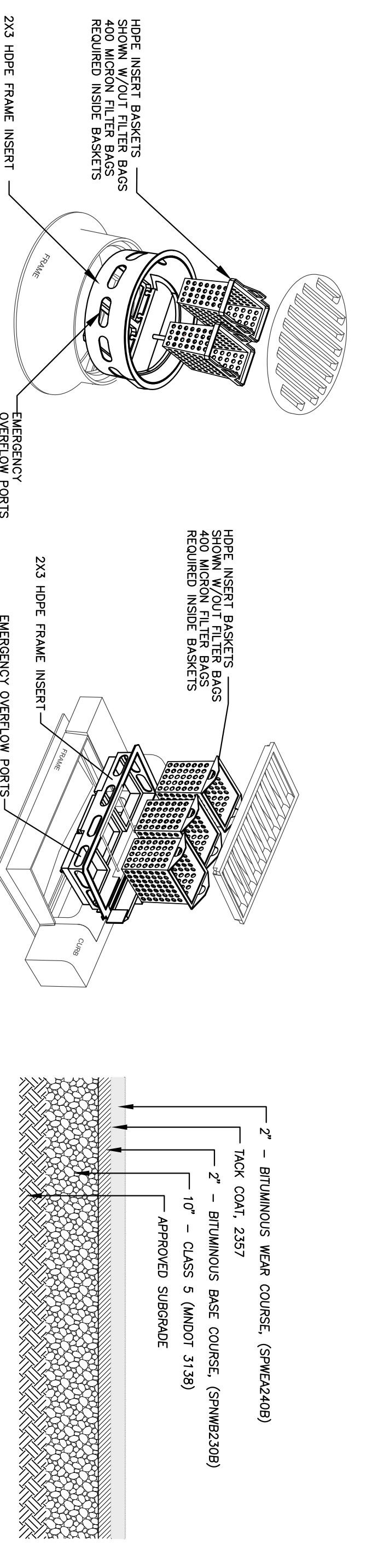
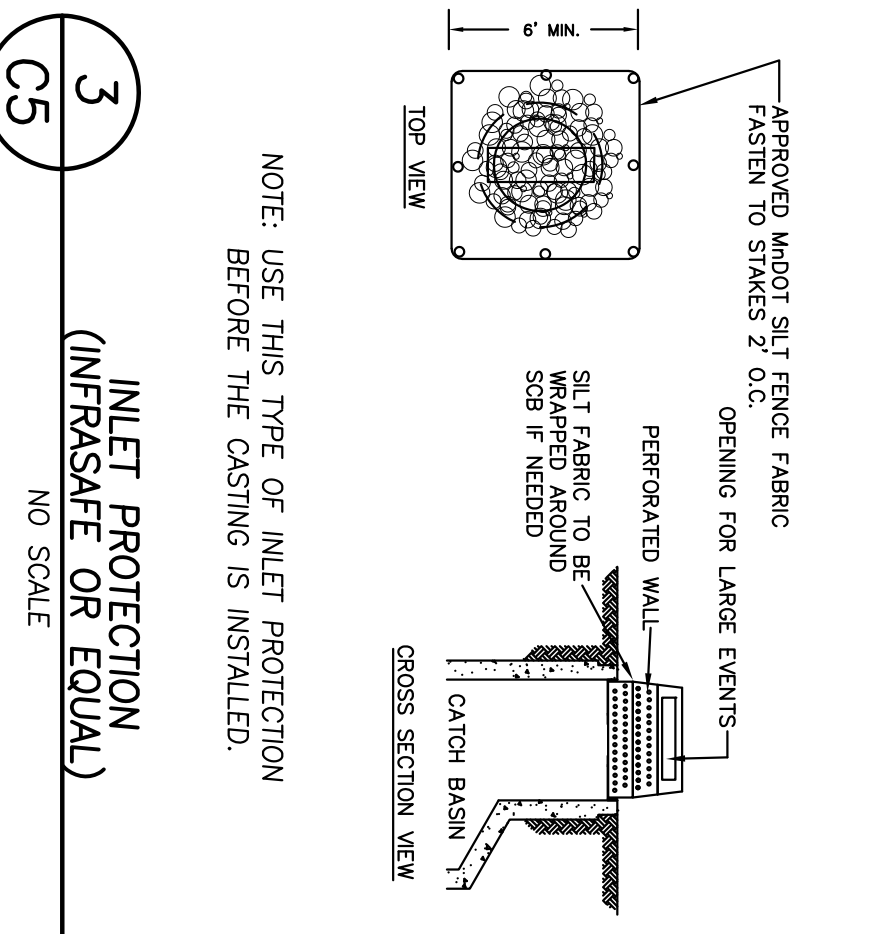
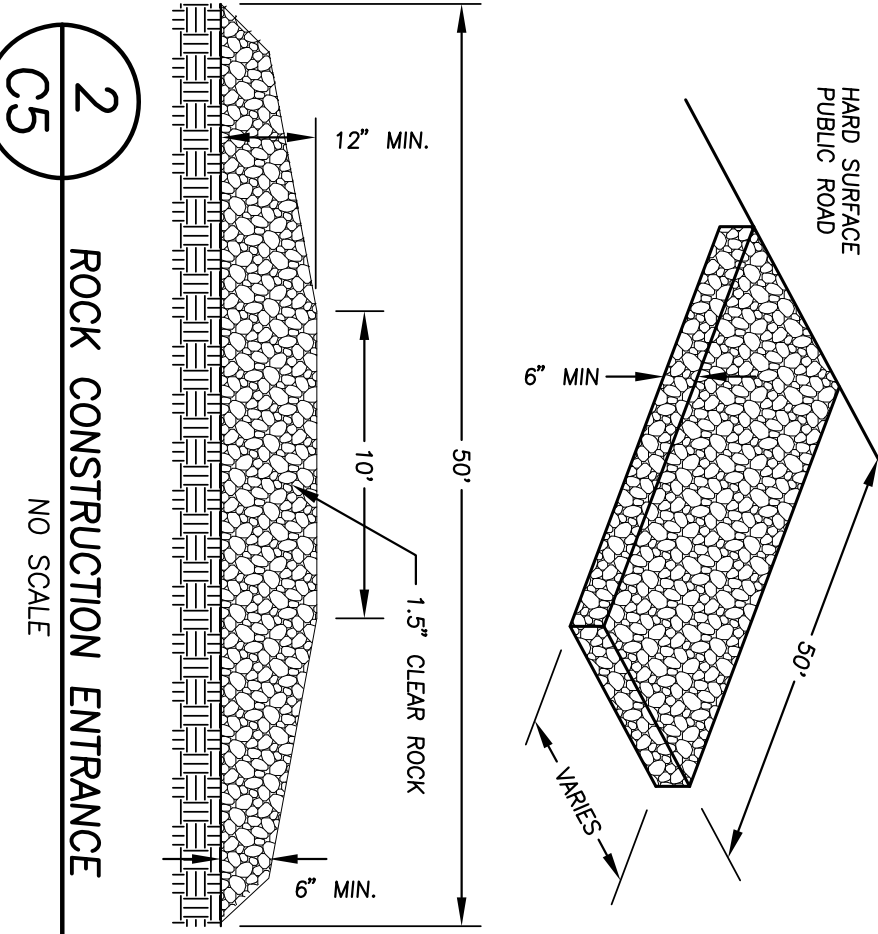
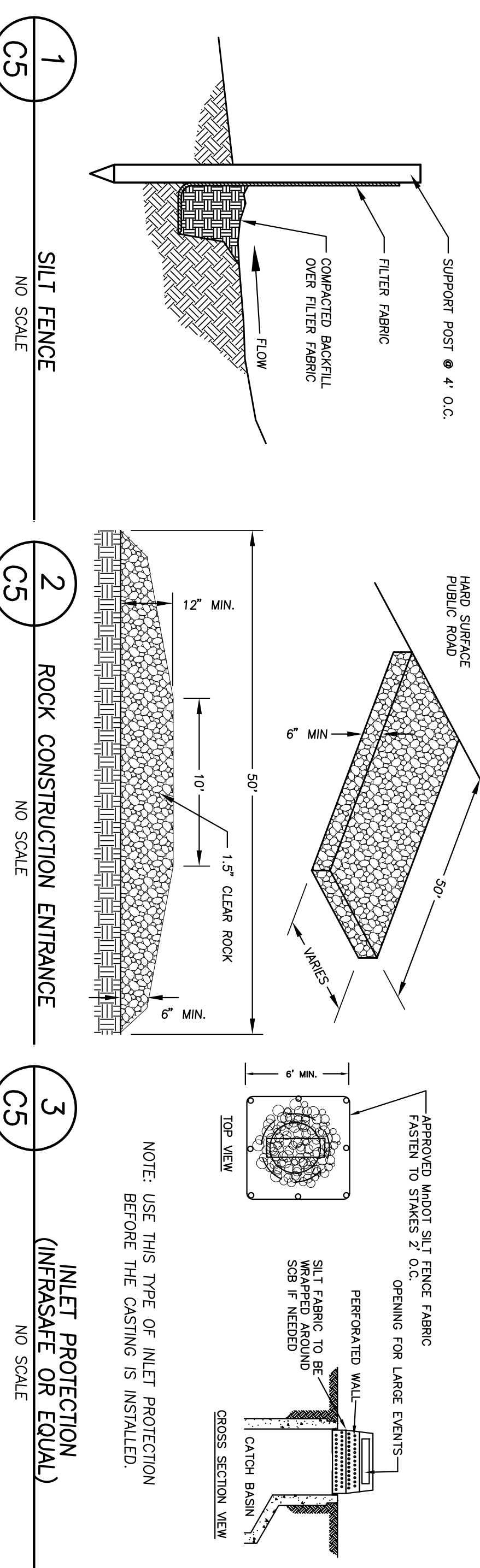


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<p>UTILITY PLAN ROTATION ENGINEERING ADDITION CITY OF BROOKLYN PARK</p>	<p>Issued SITE PLAN SUBMITTAL 2-29-24</p>	<p>I hereby certify that this plan was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.</p> <p>PRELIMINARY</p> <p>Date _____ Name: <u>Nicholas P. Adam</u> Reg. No. <u>43856</u></p>	<p>REHDER & ASSOCIATES, INC. Civil Engineers & Land Surveyors</p> <p>3440 Federal Drive, Suite 110 Eagan, MN 55122 Telephone: 651-452-5051 www.rehder.com</p>	<p>SHAW CONSTRUCTION</p> <p>7488 Coopersville Eden Prairie, MN 55444-2021 952-917-9313 Fax 952-914-0433 Ext www.shawconstruct.com</p>
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SHEET NUMBER
C4

PROJECT NO.: 241-2552.031 DRAWING NO.: 2552031.DWG



MAXIMUM PIPE DIAMETER	SKIMMER		DISBURSER	
	DIAMETER	DEPTH	DIAMETER	DEPTH
48"	24"	24"	24"	15"
60"	36"	36"	36"	24"
72"	48"	42"	42"	36"
84"	60"	54"	54"	48"

NOTE: 1. THE PRESSURE ENERGY DISSIPATOR MUST BE SIZED AND INSTALLED TO FUNCTION WITH OR WITHOUT A SKIMMER. DISSIPATORS & SKIMMERS CAN BE UTILIZED IN PARALLEL OR INDEPENDENTLY.

NOTE 2. MINIMIZE ELEVATION DIFFERENCE BETWEEN INLET AND OUTLET INSERTS FOR THE SKIMMER TO FUNCTION AS DESIGNED. REFER TO STANDARD INSTALL DETAIL FOR DIMENSIONS AND INSTALLATION INSTRUCTIONS.

NOTE 3. STOCK SKIMMERS HAVE A MINIMUM FREEBOARD DEPTH OF 14" FOR GREATER FREEBOARD DETAILS, DESIGNERS CAN PREFER THE SKIMMER OR USE CUSTOMER SPECIFIED SKIMMERS FOR CUSTOM DESIGNERS. CUSTOMER SPECIFIED SKIMMERS SHALL BE A MAX 2% SLOPE. SIZING CALCULATION SHOULD BE USED TO ENSURE ADEQUATE POLLUTANT STORAGE VOLUME.

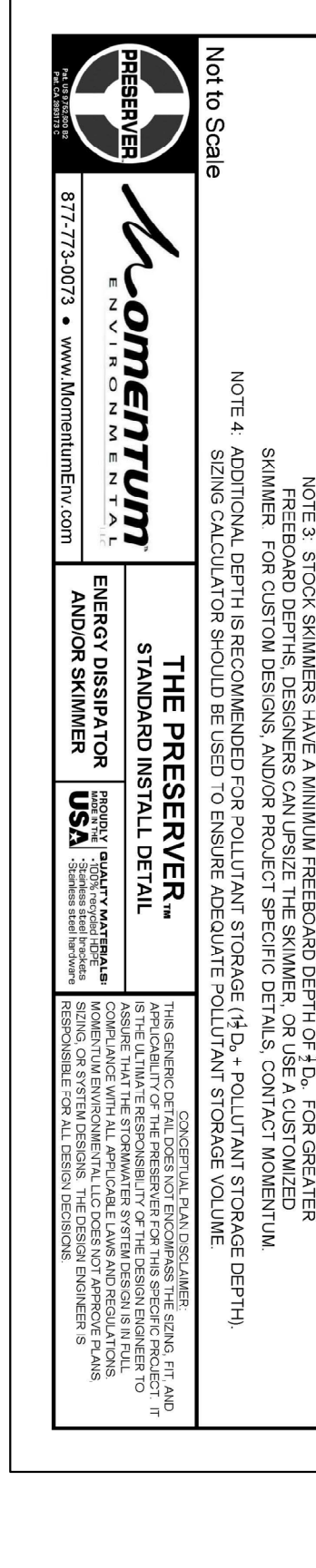
NOTE 4. APPROVED MDOOT SILT FENCE FABRIC FASTEN TO STAKES 2" DIA. ON 10' ON CENTER.

NOTE 5. MINIMIZE ELEVATION DIFFERENCE BETWEEN INLET AND OUTLET INSERTS FOR THE SKIMMER TO FUNCTION AS DESIGNED. REFER TO STANDARD INSTALL DETAIL FOR DIMENSIONS AND INSTALLATION INSTRUCTIONS.

NOTE 6. APPROVED MDOOT SILT FENCE FABRIC FASTEN TO STAKES 2" DIA. ON 10' ON CENTER.

NOTE 7. MINIMIZE ELEVATION DIFFERENCE BETWEEN INLET AND OUTLET INSERTS FOR THE SKIMMER TO FUNCTION AS DESIGNED. REFER TO STANDARD INSTALL DETAIL FOR DIMENSIONS AND INSTALLATION INSTRUCTIONS.

NOTE 8. APPROVED MDOOT SILT FENCE FABRIC FASTEN TO STAKES 2" DIA. ON 10' ON CENTER.



SPECIFICATIONS

- GENERAL
 - Before construction begins, the Contractor will contact all utility companies, both public and private and have them locate all utilities within the construction limits.
 - The Contractor will be responsible for arranging all required inspections with the governing authority that has jurisdiction over the project.
 - The Contractor shall stay within the construction limits unless approved otherwise by the Owner and/or Engineer.
 - The Contractor shall be responsible for protecting all existing structures, utilities, trees, etc. from damage during construction.
 - The Contractor shall be responsible for carrying any damage (at Contractor's expense).
 - Any discrepancies found on the site that affect the proposed work shall be reported to the Owner and/or Engineer before the completion of any additional work.
 - Existing topography and Boundary Survey provided by Rehder & Associates, Inc.
- SITE CLEARING
 - Remove trees, shrubs, grass, and other vegetation or obstructions, as required, to permit installation of improvements shown on the plan.
 - Excavation
 - Trees and stumps shall be located from the site. Burial on-site or burning of trees and stumps will not be allowed.
 - Where existing trees are indicated to remain, leave existing topsoil in place with the following conditions:
 - System shall be designed to prevent erosion and siltation.
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 - System shall be designed to prevent erosion and siltation.
 - Remove all loose dirt and material removed from under other and roadway within 3-feet of final pavement subgrade.
 - Remove all waste material and unusable or excess topsoil from Owner's property.
- GRADING, EROSION CONTROL, AND TURF ESTABLISHMENT
 - GENERAL
 - All grading, erosion control and turf establishment shall be according to the materials, workmanship, and other applicable requirements of the Minnesota Department of Transportation "Standard Specifications for Construction", latest edition, unless otherwise specified.
 - All erosion control measures shown on the plan must be installed prior to commencement of grading operations and maintained until all areas affected on the site have been restored.
 - All areas disturbed by construction shall be restored with seed and silt and silt blanket, soil, sand flow blanket, or be hard surface with two weeks of additional completion of construction.
 - Prohibit approved erosion control methods from being used on slopes steeper than 3:1 unless otherwise approved by the Engineer.
 - Project structures, utilities, sidewalks, pavements, and other facilities from damage caused by settlement, lateral movement, undermining, washout, and other hazards created by earthwork operations.
 - Construction shall not be less than the following percentages of minimum dry density according to ASTM D 698:
 - Subgrade, including 3, 6, 9, 12, and 18 inches below subgrade and each layer of backfill or fill material of 100 percent minimum dry density.
 - Underneath or embankment crest, compact the top 6 inches below subgrade and each layer of backfill or fill material of 95 percent minimum dry density.
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 - Final fill materials shall be placed on the subgrade.
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 - EROSION CONTROL
 - Final fill materials shall be placed on the subgrade.
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 - TURF ESTABLISHMENT
 - Final fill materials shall be placed on the subgrade.
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- PRODUCTS
 - Satisfactory soils include ASTM D 2487 soil classification groups GM, GP, GM, SW, SP, and SM. Free of rock or gravel larger than 2-inches in any dimension, debris, frozen waste, frozen material, vegetation and other deleterious matter.
 - Manufactured soils include ASTM D 2487 soil classification groups GC, SC, ML, WL, CL, OH, OL, OH, and PL.
 - Special soils shall be per ASTM D 5958. Free of stones 1" or larger.
 - Subbase and base material must be a naturally or artificially graded mixture of natural or crushed gravel, crushed stone, sand and natural or crushed sand meeting MDOOT Specifications for Class 3 gravel.
 - Spreading/Summer temporary turf establishment: seed shall be MDOOT Mixture 110 @ 1000 lb./acre and match shall be MDOOT Type 1.
 - Permanent turf establishment: seed shall be MDOOT Mixture 22-13 @ 220 lb./acre. Fertilizer shall be 10-10-10 (10%) commercial grade, and match shall be MDOOT Type 1.
- EXECUTION
 - All fill under buildings shall be compacted to meet Soil Engineer's recommendations.
 - Place 4-inches of topsoil over all areas to be re-established with turf.
 - Place erosion control measures to prevent erosion or displacement with silt and discharge of soil-banking water runoff or other deleterious matter.
 - Place limit protection devices in each hole and maintain until all areas disturbed have been restored.
 - Whenever construction vehicle access routes intersect paved public roads, provisions must be made to minimize the transport of sediment (mud) by wind or vehicle tracking onto the paved road surface. Where sediment is transported onto a public road surface, the road shall be cleaned thoroughly of the end of each day. Sediment shall be removed by other means if it remains in this manner.
- BITUMINOUS PAVEMENT
 - GENERAL
 - Provide hot-mix asphalt pavement according to the materials, workmanship, and other applicable requirements of the Minnesota Department of Transportation "Standard Specifications for Construction", latest edition, unless otherwise specified.
 - Conform to applicable standards of authorities having jurisdiction for asphalt paving work on public projects.
 - PRODUCTS
 - Provide hot-mix asphalt of fine aggregate materials and gradations that have performed satisfactorily in previous installations.
 - Provide a base and wear course as indicated on the plan unless otherwise specified.
 - Provide a tack coat on indicated on the plan unless otherwise specified.
 - EXECUTION
 - Verify that the subgrade is dry and in suitable condition to support paving and proposed loads.
 - The Contractor shall furnish a tandem truck loaded with a minimum of 14-tons to compact the completed subgrade and/or base.
 - Machine place hot-mix asphalt on prepared surface, spread uniformly, and strike off. Place asphalt mix by hand to areas inaccessible to equipment in a manner that prevents segregation of mix. Place each course to required grade, cross section, and thickness, when compacted.
 - Begin compaction as soon as placed hot-mix paving will bear roller weight without excessive displacement.
 - Percent mix greater than 100 percent.
 - Temperature: Base course thickness shall be plus or minus 0.5-inches and surface course shall be plus or minus 0.25-inches.
- PORTLAND CEMENT CONCRETE PAVEMENT
 - GENERAL
 - Provide Portland cement concrete pavement for roads, curbs, walks and exterior walls according to the materials, workmanship, and other applicable requirements of the Minnesota Department of Transportation "Standard Specifications for Construction", latest edition, unless otherwise specified.
 - PRODUCTS
 - Provide Portland cement concrete for curb and gutter and sidewalk shall be 4000 psi, 28-day compressive strength, 5.0% air entrainment, and 3-inch slump.
 - Curing compound shall be solvent-borne, liquid formers-forming ASTM C293, Type 1 or approved equal.
 - EXECUTION
 - Form and finish shall furnish a tandem truck loaded with a minimum of 14-tons to compact the completed subgrade and/or base prior to final paving.
 - Apply curing compound to concrete pavement.
 - Comply with requirements and with ACI 308R for measuring, mixing, transporting, and placing concrete.
 - Comply with the Concrete Reinforcing Steel Institute's recommended practice for "Tying Reinforcing Bars" for placing and supporting reinforcement.
 - Reinforced expansion joints using 0.5-inch thickness shall be placed at each end of curb radius, of intersections, and at other locations as shown on the plan.
 - Construction joints shall be placed at minimum 10-foot intervals in the curb and gutter and at 5-foot for walks.
 - Provide a medium to coarse form finish perpendicular to traffic flow.
 - Protect freshly placed concrete from premature drying and excessive cold or hot temperatures using moisture curing, moderate-curing-compound curing, curing compound or a combination of these.
- STORM SEWER
 - GENERAL
 - Storm sewer shall comply with all local regulations pertaining to storm sewer systems including materials, installation, and setting. If no regulations exist, comply with "Standard Utilities Specifications" by the City Engineers Association of Minnesota, latest edition.
 - PRODUCTS
 - Storm sewer pipe indicated on the plan is PVC shall be polyvinyl chloride pipe, ASTM D 3024, SDR 35, for 36-inch diameter and 48-inch diameter and HDPE shall be dual wall corrugated polyethylene pipe with wall thickness per the manufacturer's specifications.
 - Storm sewer catch basins and manholes shall be precast structures with at least two and at the most five adjusting ribs.
 - Storm sewer castings indicated on the plan shall be from the Meehan Foundry or approved equal.
 - EXECUTION
 - The poles indicate the general location and placement of underground storm sewer systems. Location and placement shall be in accordance with the City Engineer's specifications.
 - PVC & HDPE sewer pipe shall be installed in accordance with ASTM F 2306, "Standard Specification for Single Corrugated Profile-Wall Polyethylene (PE) Pipe and Fittings for Corrosive-Fluid Storm Sewer and Sanitation Drainage Applications".

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REHDER & ASSOCIATES, INC.
Civil Engineers & Land Surveyors

3440 Federal Drive, Suite 110
Edina, MN 55121
Telephone: 651-452-5051
www.rehder.com

PROJECT NO.: 241-2552.031 DRAWING NO.: 2552031.DWG

I hereby certify that this plan was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

PRELIMINARY

Name: Nicholas P. Adam Reg. No. 43856

Date: _____

2-29-24

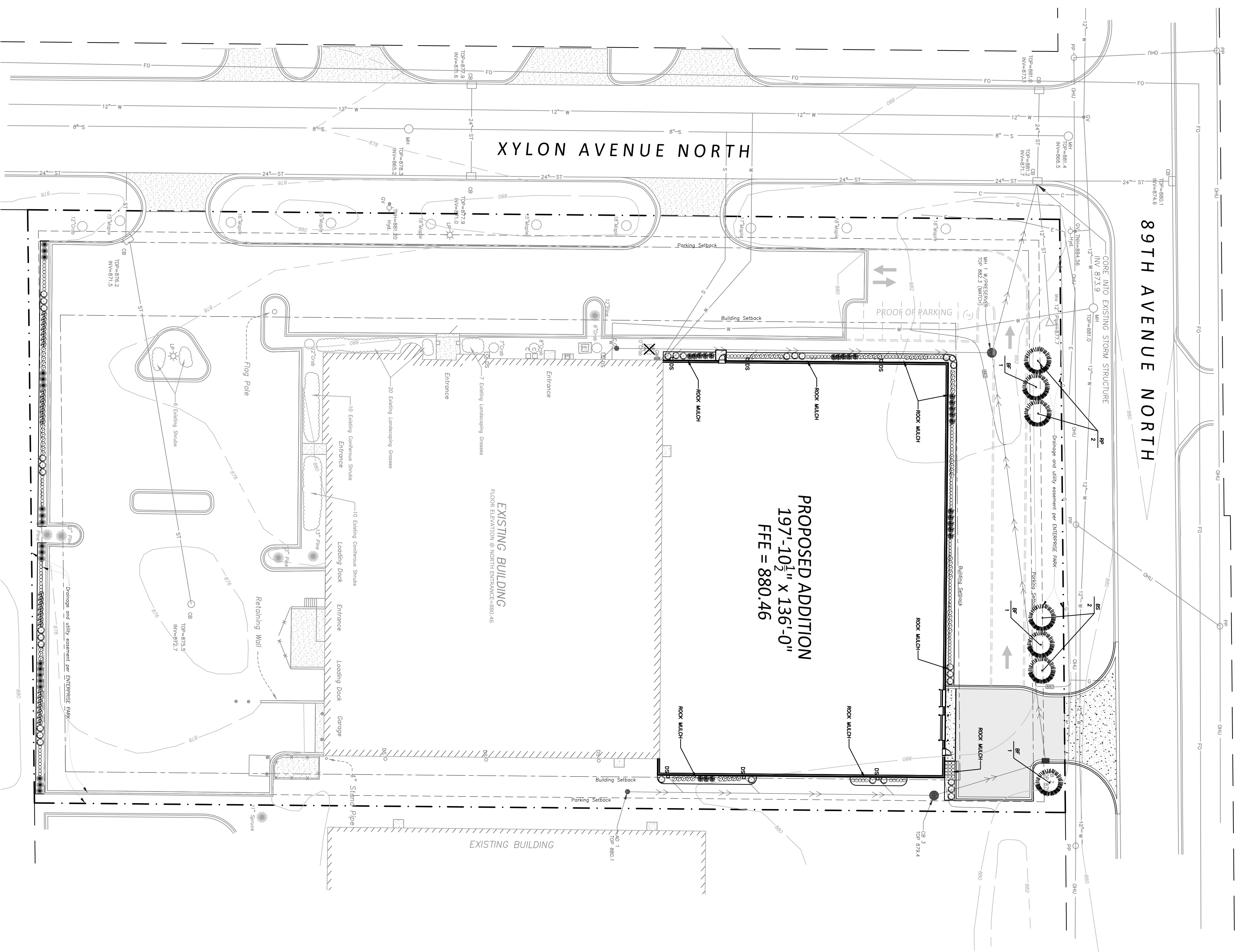
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SITE PLAN SUBMITTAL

DETAILS & SPECIFICATIONS
ROTATION ENGINEERING ADDITION
CITY OF BROOKLYN PARK

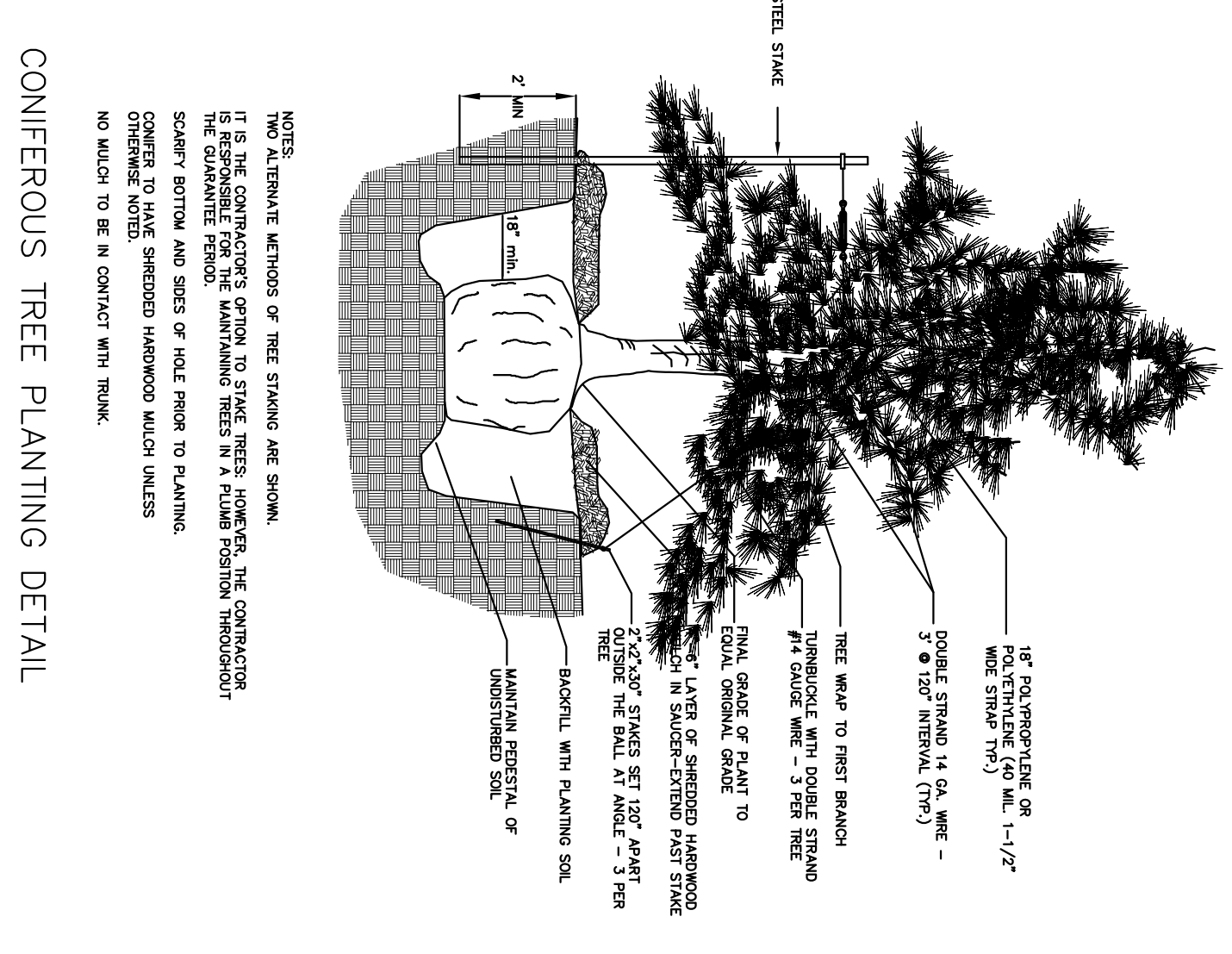
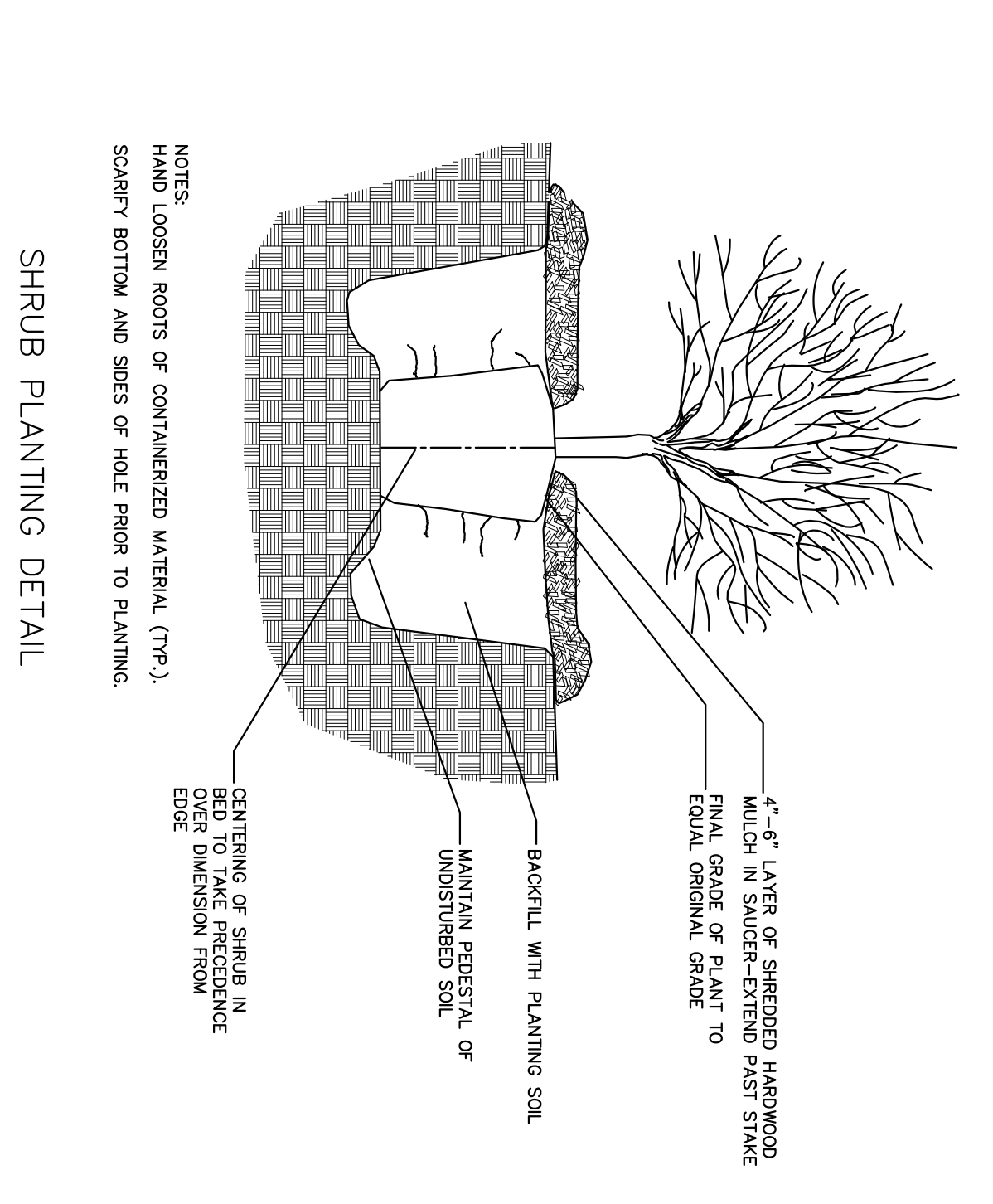
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NOTE: UNLESS OTHERWISE NOTED, ALL DISTURBED AREAS TO REMAIN PERVIOUS SHALL BE RESEED WITH 10-5-31 AT A RATE OF 420 LBS/ACRE WITH COMMERCIAL GRADE FERTILIZER 10-10-10 (NPK), AND MINOT TYPE 1 MULCH.



SITE COVERAGES

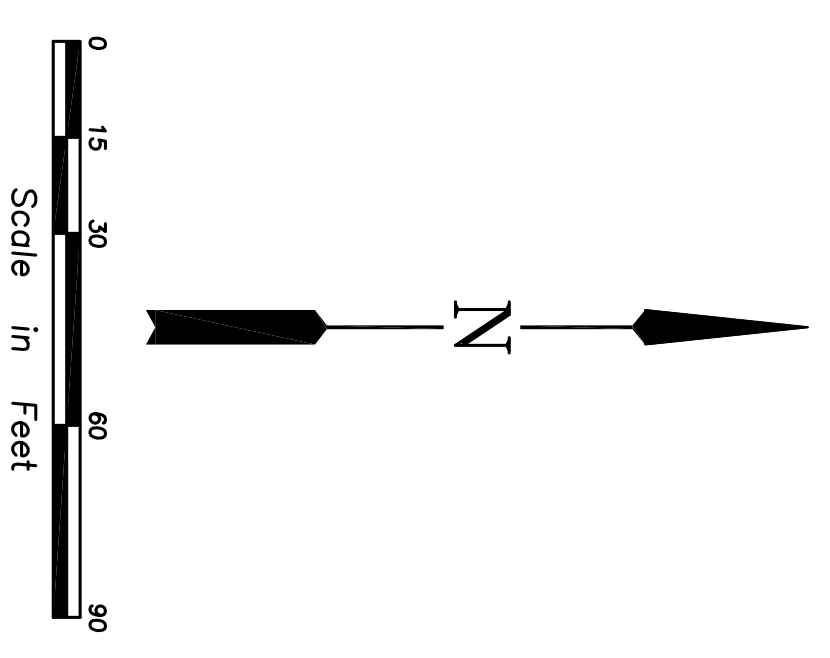
TOTAL SITE AREA: 3.19 AC
 SITE IMPERVIOUS AREA: 2.40 AC
 TOTAL SITE OPEN AREA: 0.79 AC
 SITE OPEN AREA FOR LANDSCAPE REQUIREMENTS: 0.79 AC 34,412 S.F.

PLANTING UNIT	REQUIRED UNITS RATE	UNITS REQUIRED	EXISTING UNITS TO REMAIN	POST CONSTRUCTION UNITS PROVIDED
OVERSTORY TREES	1 TREE/3000 S.F.	12 TREES	14 TREES	14 TREES
SHRUBS	1 SHRUB/100 S.F.	344 SHRUBS	53 SHRUBS	345 SHRUBS
EVERGREEN TREES	1 TREE/3000 S.F.	12 TREES	5 TREES	12 TREES

CANOPY COVER LANDSCAPING:
 PARKING LOT AREA: 2,175 S.F.
 MINIMUM PARKING LOT AREA GREEN SPACE (10%): 217 S.F.
 REQUIRED LARGE TREES (1 TREE / 360 S.F.): 1 TREE
 STREET TREES:
 FRONTAGE ROAD LENGTH: 283 S.F.
 REQUIRED TREES (1 TREE / 70 L.F.): 4 TREES

PLANT, SHRUB AND TREE LIST

PLANTS & SHRUBS			
SYMBOL QTY	SCIENTIFIC NAME	COMMON NAME	
128	<i>Colemangetalia acutiflora</i>	Kent Forester Feather Reed Grass	
62	<i>Hasta Blueberry Muflin</i>	Large Hasta	
31	<i>Juniperus x pfrictans</i> 'Sea of Gold'	Sea of Gold Juniper	
23	<i>Viburnum opulus 'Nanum'</i>	Dwarf European Viburnum	
28	<i>Hemerocallis 'Stella de Oro'</i>	Stella de Oro Daylily	
20	<i>Physocarpus opulifolius</i>	Mitsubuki	
TOTAL	292		
TREES			
SYMBOL QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT
BS	<i>Picea glauca 'Densata'</i>	Black Hills Spruce	6' B&B
BF	<i>Abies balsamea</i>	Balsam Fir	6' B&B
PP	<i>Pinus resinosa</i>	Red Pine	6' B&B
TOTAL	7		



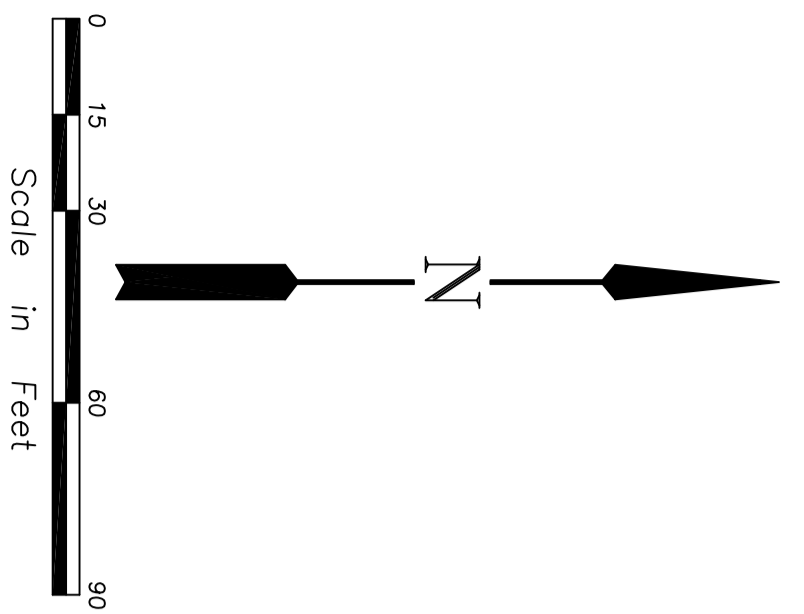
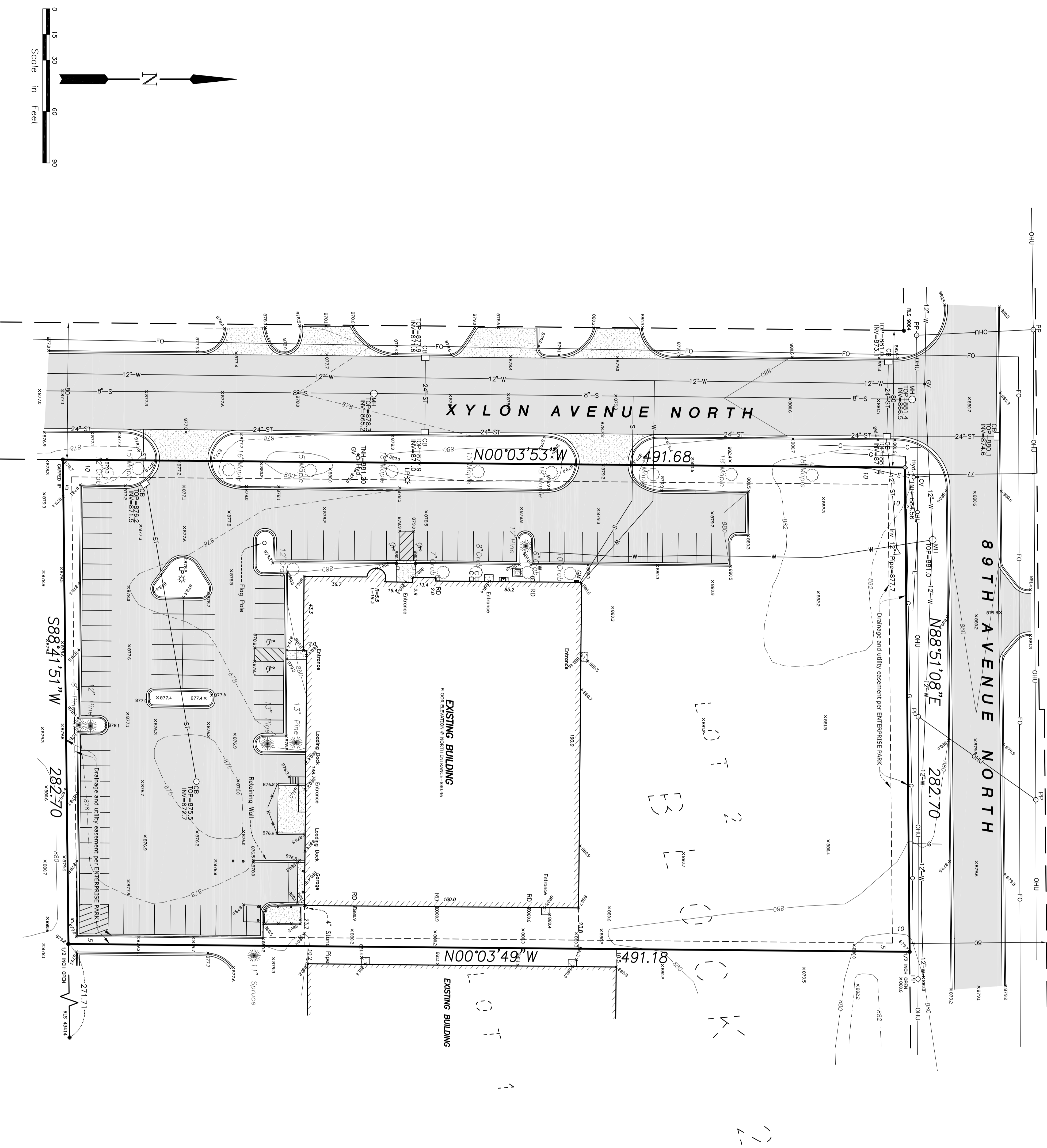
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PROJECT NO.: 241-2552.031 DRAWING NO.: 2552031.DWG

Boundary and Topographic Survey for: SHAW CONSTRUCTION at 800 Xylon Avenue North, Brooklyn Park, Minnesota



PROPERTY DESCRIPTION
Lot 2, Block 2, ENTERPRISE PARK, Hennepin County, Minnesota.

- SURVEYOR'S NOTES**
- Orientation of the bearing system used for this survey is based on the NAD 83(1983) coordinate projection for Hennepin County, Minnesota. Vertical Datum: NAVD 88.
 - As shown on this survey map, underground utility lines and structures are shown in an approximate way only, according to observations made in the field. Excavators were not made during the process of this survey to locate underground utilities and structures. The surveyor does not guarantee that the information shown on this map is correct. The surveyor is not responsible for any damage to underground utility lines and structures, active or abandoned, on or adjacent to the subject property.
 - Area = 69,488 square feet or 1.60 acres as surveyed.

LEGEND

●	Iron Monument Found
○	Iron Monument Set
—S—	Sanitary Sewer
—ST—	Storm Sewer
—W—	Watermain
Hyd ∠	Hydrant
GV	Gate Valve
MB	Manhole
CB	Catch Basin
Inv.	Invert Elevation
•	Guard Post
PP-○	Power Pole
LP-×	Light Pole
⊠	Electrical Transformer
C/D	Communications Pedestal
▨	Concrete Surface
▩	Bituminous Surface
—G—	Buried Gas
—C—	Buried Communications
—E—	Buried Electric
—FO—	Buried Fiber Optic
GM	Gas Meter
RD	Road Drain

CERTIFICATION

I hereby certify that this survey was prepared by me or under my direction and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 12th day of January, 2024

REHDER & ASSOCIATES, INC.

Gary C. Rehder
Gary C. Rehder, Land Surveyor
Minnesota License No. 22036

Revisions
Drawn C.A.W.
Checked L.M.
Date 2-29-24
Job Number 2384
Sheet A1

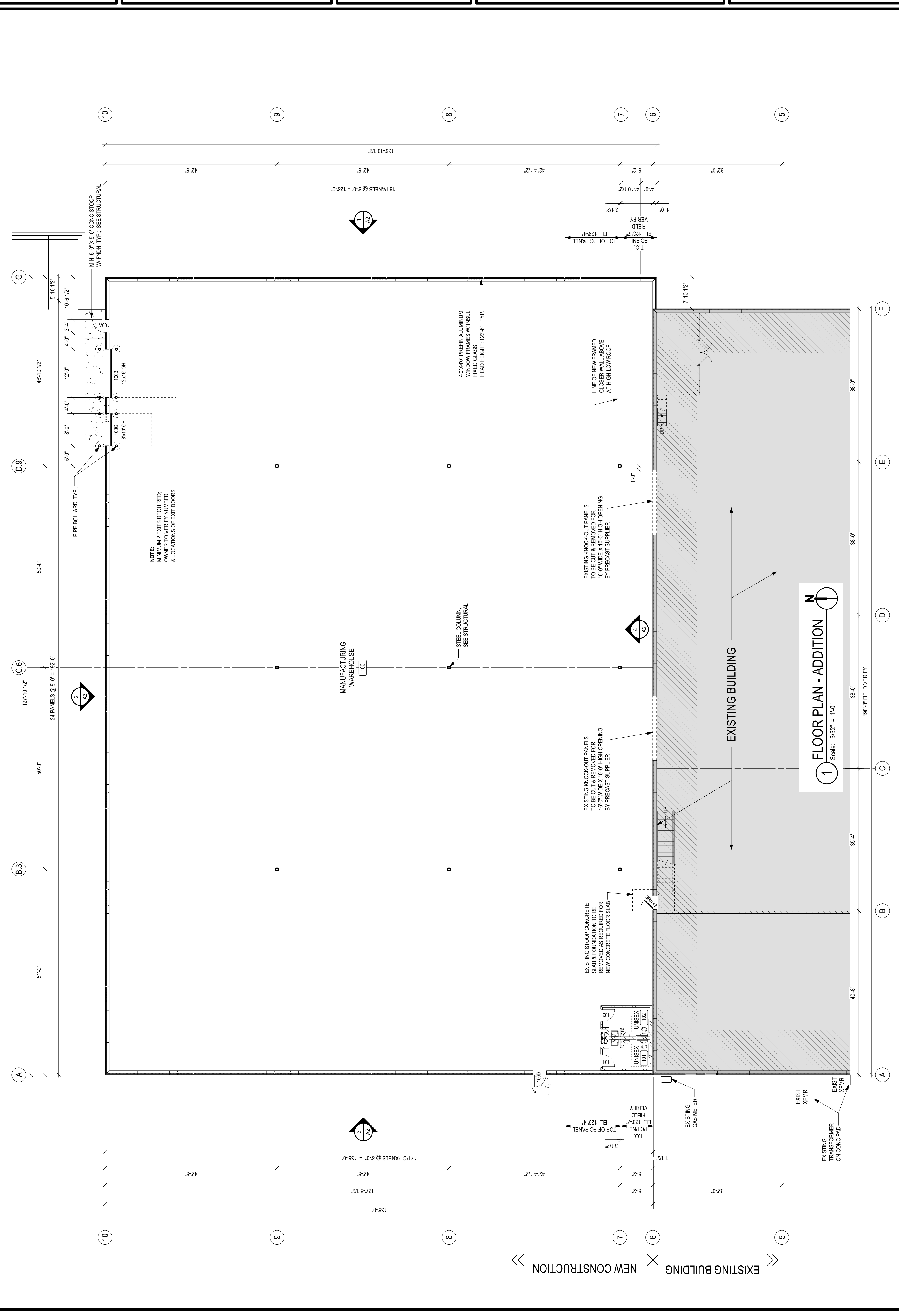
A MANUFACTURING / WAREHOUSE ADDITION FOR:
ROTATION ENGINEERING
 8800 XYLON AVE N
 BROOKLYN PARK, MN 55445
RE50 ROTATION ENGINEERING
 ESTABLISHED 1973

SITE PLAN SUBMITTAL
 2-29-24
 NOT FOR CONSTRUCTION

Linner Morschen Architects
 424 Chestnut Street North, Ste 204
 Chaska, MN 55318
 PHONE: (952) 884-6455
 EMAIL: lmorschen@linnermorschenarchitects.com



SHAW CONSTRUCTION
 7685 Corporate Way
 Eden Prairie, MN 55544-2021
 952-957-8214
 952-914-9433 Fax
 www.shawconstruct.com



1 FLOOR PLAN - ADDITION
 Scale: 3/32" = 1'-0"

SHAW CONSTRUCTION
 7685 Corporate Way
 Eden Prairie, MN 55344-2021
 952-957-8214
 952-914-9433 Fax
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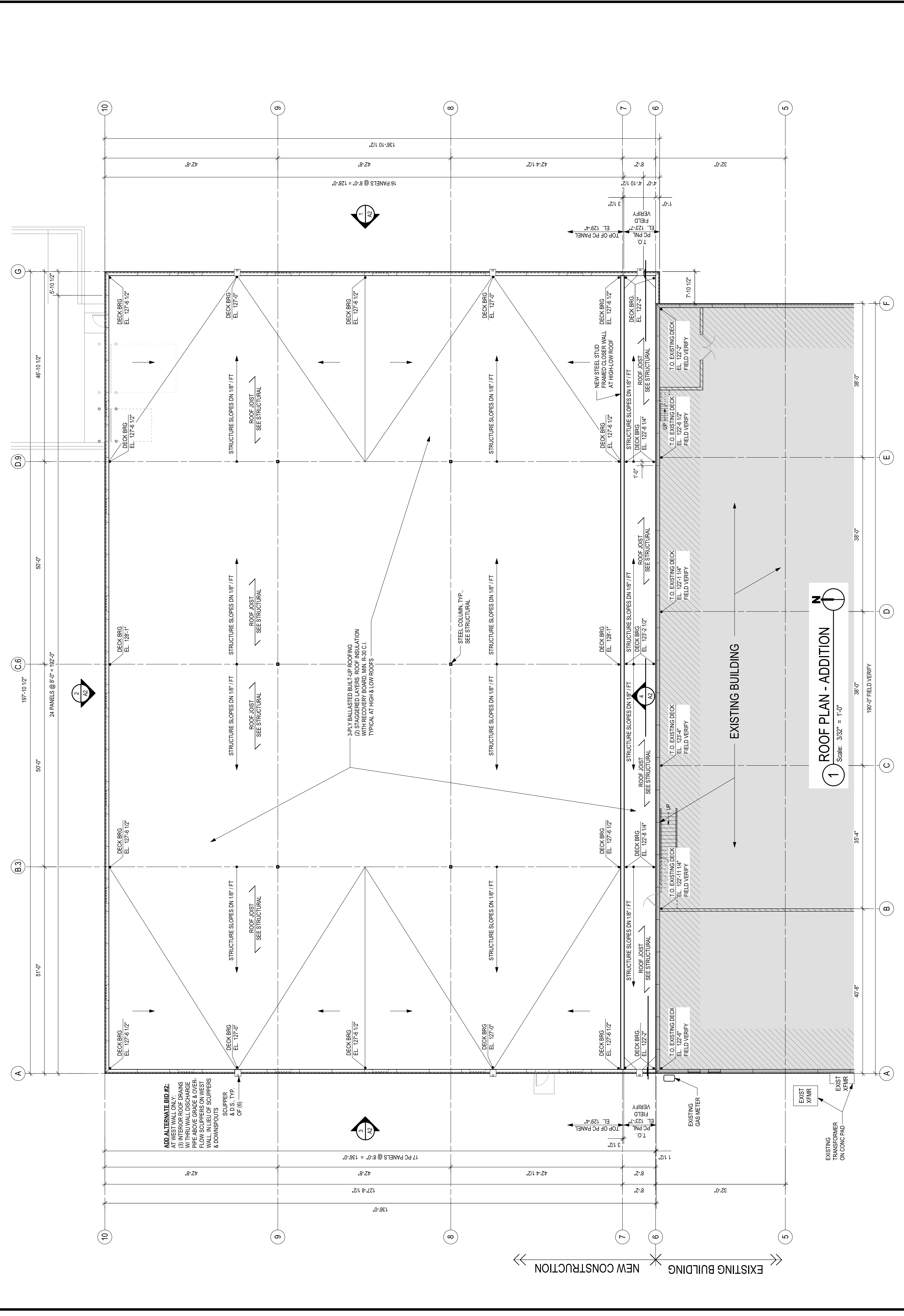
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 EMAIL: linnermorschenarchitects.com

SITE PLAN
SUBMITTAL
 NOT FOR CONSTRUCTION
 2-29-24

ROTATION ENGINEERING
 8800 XYLON AVE N
 BROOKLYN PARK, MN 55445
 ESTABLISHED 1973
 ROTATION ENGINEERING

Drawn	C.A.W.
Checked	L.M.
Date	2-29-24
Job Number	2384
Sheet	A1.2

Revisions



1 ROOF PLAN - ADDITION
 Scale: 3/32" = 1'-0"

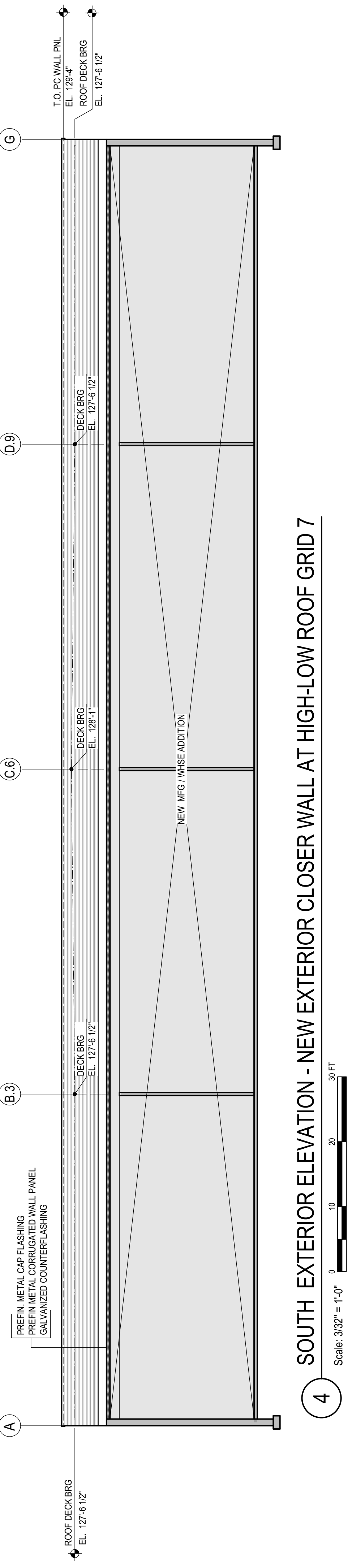
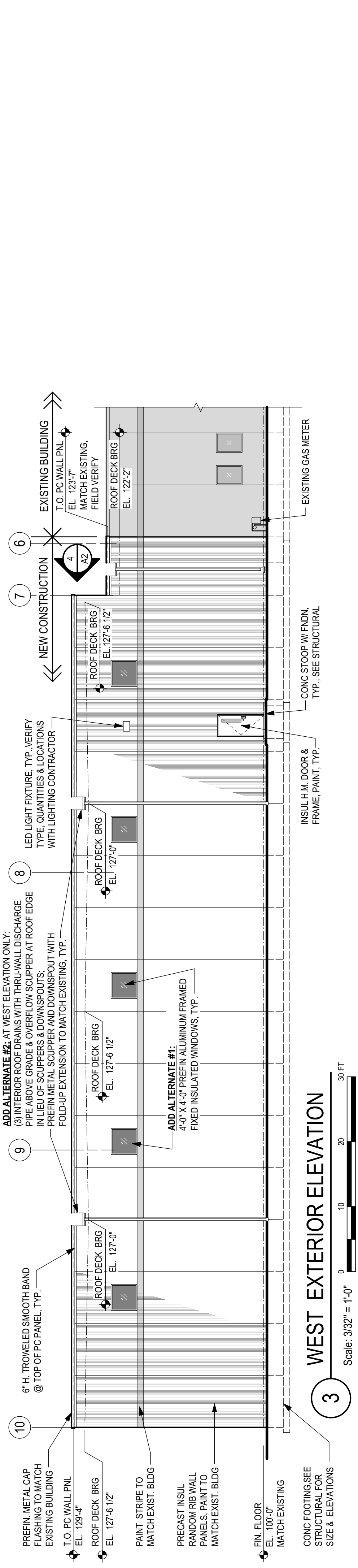
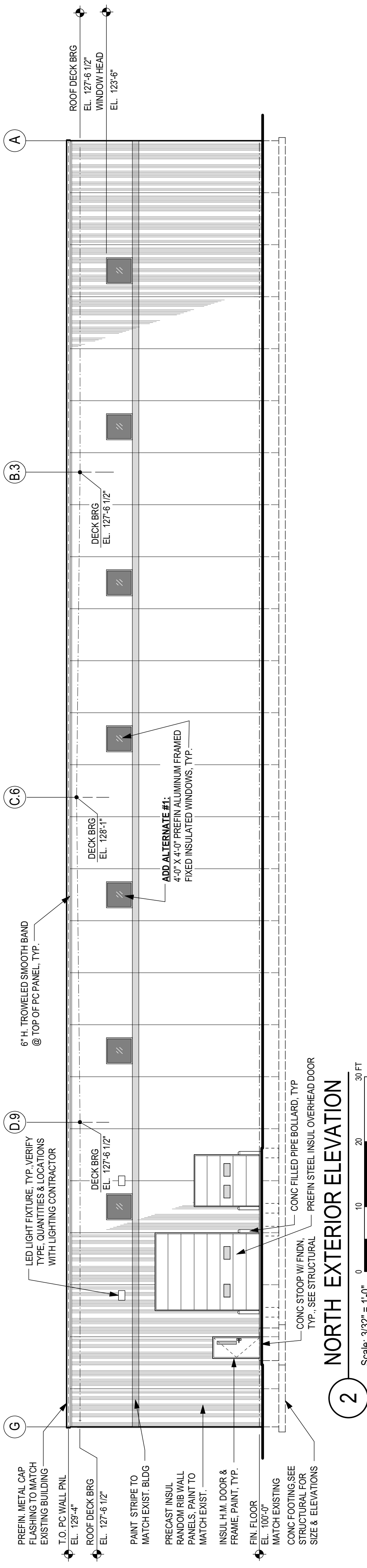
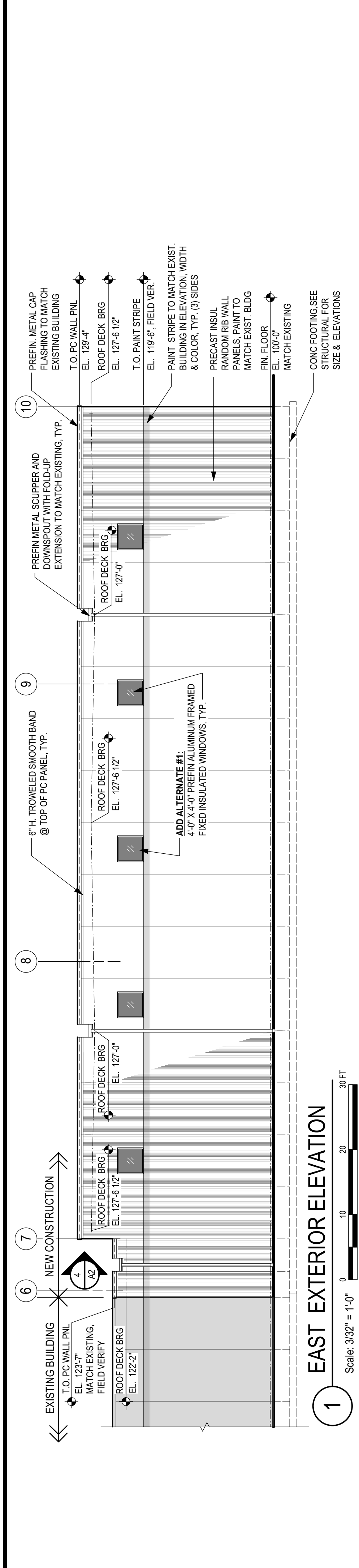
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SITE PLAN SUBMITTAL
 NOT FOR CONSTRUCTION
 2-29-24

ROTATION ENGINEERING
 8800 XYLON AVE N
 BROOKLYN PARK, MN 55445
 A MANUFACTURING / WAREHOUSE ADDITION FOR:

Revisions	Drawn C.A.W.	Checked L.M.	Date 2-29-24	Job Number 2384	Sheet A2
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City of Brooklyn Park Planning Commission Staff Report			
Agenda Item:	6.5	Meeting Date:	April 10, 2024
Agenda Section:	Public Hearing	Originating Department:	Community Development
Resolution:	X	Prepared By:	Erin McDermott, Associate Planner
Ordinance:			
Attachments:	3	Presented By:	Erin McDermott, Associate Planner
Item:	Waterside Market Expansion – Planning Case #24-107 Site Plan Review for an addition to an existing structure on a property zoned VR – Village Redevelopment.		

Proposed Actions:

MOTION _____ SECOND _____ TO RECOMMEND APPROVAL OF SITE PLAN REVIEW FOR THE CONSTRUCTION OF AN ADDITION TO THE EXISTING STRUCTURE AT 7500 BROOKLYN BLVD N, SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.

Summary:

This request is for the construction of an addition to the existing structure located at 7500 Brooklyn Blvd N. This addition will include a 20ft by 100ft dry storage and merchandise addition as well as a 30ft by 100ft freezer addition. Currently the property owner is renting storage space offsite, including freezer space, and this addition is needed to continue business operations.

Land Use Plan	Employment
Current Zoning	VR – Village Redevelopment
Proposed Zoning	No proposed change
Site Area	1.17 acres
Conforms to	
Land Use Plan	Yes
Zoning Code	Yes
Subdivision Ordinance	Yes
Notification	Legal notice was published in the Sun Post, 58 Notices were mailed to properties within 500 feet, Proposed Development Sign was placed on the property, A Neighborhood email was sent to the Shingle Creek neighborhood.
60- and 120- Days (§15.99)	April 30, 2024; June 29, 2024

Previous Approvals:

This property was originally developed in 1966, prior to the adoption of the Brooklyn Park Zoning Code. It has operated as a commercial structure since its construction. In 2013 the City received a CUP application for tire installation and light auto repair, which was withdrawn during the process by the applicant, after which it continued to operate as a commercial location.

Current Conditions:

This site contains a 13,035 square foot commercial building that operates a grocery store and cafe.

Land Use/Zoning (and Overlay):

This property is zoned VR – Village Redevelopment. All uses in this zoning district are conditional, however, this property has been utilized as a commercial space since its construction in 1966.

Proposed Development:

The applicant is requesting an addition to the site that will include a 20ft by 100ft dry storage and merchandise on the east side of the existing structure, as well as a 30ft by 100ft freezer addition to the north side of the existing structure.

Site Plan Review:

Site plans must be reviewed against the evaluation criteria required by the Code (§ 152.033).

Pedestrian Circulation:

The pedestrian circulation existing on site meets the zoning requirements. Section 152.132 states that sidewalks must be provided within all developments except single- or two- family residential in locations that provide convenient, safe pedestrian access as determined by the city between principal uses and must be as direct as possible to minimize distance and other impediments to walking. This site is served by sidewalk on Brooklyn Blvd.

Parking:

The VR zoning district does not articulate parking minimums for this zoning district as the Village Redevelopment Plan indicates the desire for walkability. The property owner has indicated that the current striping is not practical and will be restriping in a manner that makes parking in the rear yard more feasible, while maintaining adequate fire lanes.

Enclosures and Screening:

The site currently stores waste containers indoors. If the business were to move the storage of waste outdoors, a waste enclosure must be constructed to meet the requirements of Zoning Code Section 152.357. The existing structure has a legally non-conforming unscreened rooftop HVAC unit. All rooftop HVAC units that are placed in different locations from the existing, or new rooftop HVAC units are required to meet screening requirements.

Landscaping:

The landscaping requirements of the VR district require all areas not occupied by buildings, parkways, driveways, sidewalks or other hard surface to be sodded or mulched and landscaped with approved ground cover, flowers, shrubbery and trees. There is no impact to greenspace with this request, and there are no proposed changes to the landscaping plan.

Architectural Standards:

The proposed addition matches the existing structure and is composed of materials that meet the requirements outlined in the Village Redevelopment Plan.

Roadways:

The site is located on Brooklyn Boulevard, with two access points to the site.

Grading and Drainage:

There are no proposed changes to grading or drainage on the site.

Utilities:

The existing structure is already serviced by utilities, and the expansion of this restaurant can be supported.

The required findings of § 152.033 have been addressed and Staff recommends approval of the Site Plan Review.

Conditions of Approval:

Staff recommends the adoption of Resolution 2024 - ____ subject to the following conditions as listed in Section 5 of the resolution:

5.01 Bonding and escrow estimates must be provided prior to City Council approvals.

Staff Recommendation:

Staff recommends Planning Commission recommend approval of the resolutions approving the Site Plan Review for the construction of an addition to an existing structure at 7500 Brooklyn Blvd subject to the conditions as written in the attached resolution.

Alternatives to Consider:

1. Recommend approval of the site plan as presented.
2. Recommend approval of the site plan with modifications.
3. Recommend denial of the proposal based on certain findings.

Budgetary/Fiscal Issues:

There are no budgetary or fiscal impacts anticipated by this application.

Attachments:

- A. DRAFT SITE PLAN RESOLUTION
- B. LOCATION MAP
- C. PLAN SET

RESOLUTION #2024-

RESOLUTION APPROVING A SITE PLAN REVIEW FOR THE FOR THE CONSTRUCTION OF AN ADDITION TO THE EXISTING STRUCTURE AT 7500 BROOKLYN BLVD N

Planning Commission File #24-107

WHEREAS, an application has been made by Shaw Construction for a Site Plan Review under the provisions of the City Code on properties legally described as:

UNPLATTED 28 119 21, COM AT A PT ON S LINE OF LOT 1 BLK 6 DONNAYS BROOKDALE ESTATES 5TH DIS 230 FT E FROM SW COR OF BLK 5 SAID ADDN TH CONT E 150 FT TH S AT RIGHT ANGLES TO N LINE OF STATE HWY NO 152 TH NWLY ALONG SAID HWY LINE TO A PT DUE S FROM BEG TH N TO BEG, Hennepin County, Minnesota

WHEREAS, the proposed development is consistent with the purposes of the Zoning District and the Comprehensive Plan; and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission who held the public hearing on April 10, 2024.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park:

The Site Plan Review for the construction of an addition to the existing structure is hereby approved with the following conditions:

1.00 DRAWINGS

- 1.01 Site, landscaping, and grading plans for the property on file in the City Clerk’s office dated February 18, 2024 are approved, subject to conditions listed below.

2.00 BONDS, ESCROWS AND DIRECT PAYMENTS

- 2.01 A Development Contract and bonding shall be required as a development bond or letter of credit in the amount of \$_____.00, a cash bond in the amount of \$_____.00, and a developer’s escrow in the amount of \$_____.00 as required by Chapter 152. The developer’s escrow must be posted with the City to cover engineering, legal and administrative costs incurred by the City. If this account becomes deficient, it shall be the developer’s responsibility to deposit additional funds. This must be done before final bonding obligations are complete.

3.00 REQUIRED DOCUMENTS

- 3.01 All utility construction, drainage, grading and development plans must be approved by the City Engineer prior to receiving a building permit.

4.00 GENERAL CONDITIONS

AGENDA ITEM 6.5A – DRAFT RESOLUTION

- 4.01 It shall be the developer's responsibility to keep active and up to date the developer's contract and financial surety (Letter of Credit, bonds, etc.). These documents must remain active until the developer has been released from any further obligation by City Council motion received in writing from the Engineering Department.
- 4.02 Before final bonding obligations are released, a certificate signed by a registered engineer must be provided. This certificate will state that all final lot and building grades are in conformance to drainage development plan(s) approved by the City Engineer.
- 4.03 No burying of construction debris shall be permitted on the site.
- 4.04 Dust control and erosion measures must be in place to prevent for dust and erosion including, but not limited to, daily watering, silt fences, and seeding. The City Engineer may impose measures to reduce dust and run-off.
- 4.05 Adequate dumpsters must be on site during construction. When full, they must be emptied immediately or replaced with an empty dumpster.
- 4.06 Signs must conform to the requirements of Chapter 150. The sign plans will be approved by staff to verify code compliance at time of building permit.

5.00 CONDITIONS

- 5.01 Bonding and escrow estimates must be provided prior to City Council approvals.



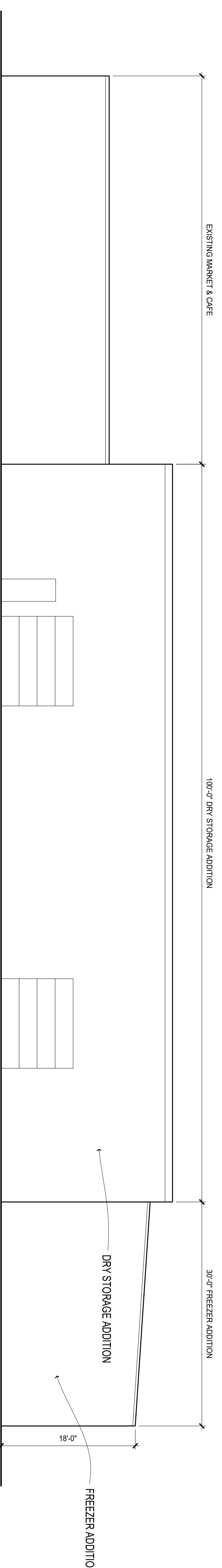
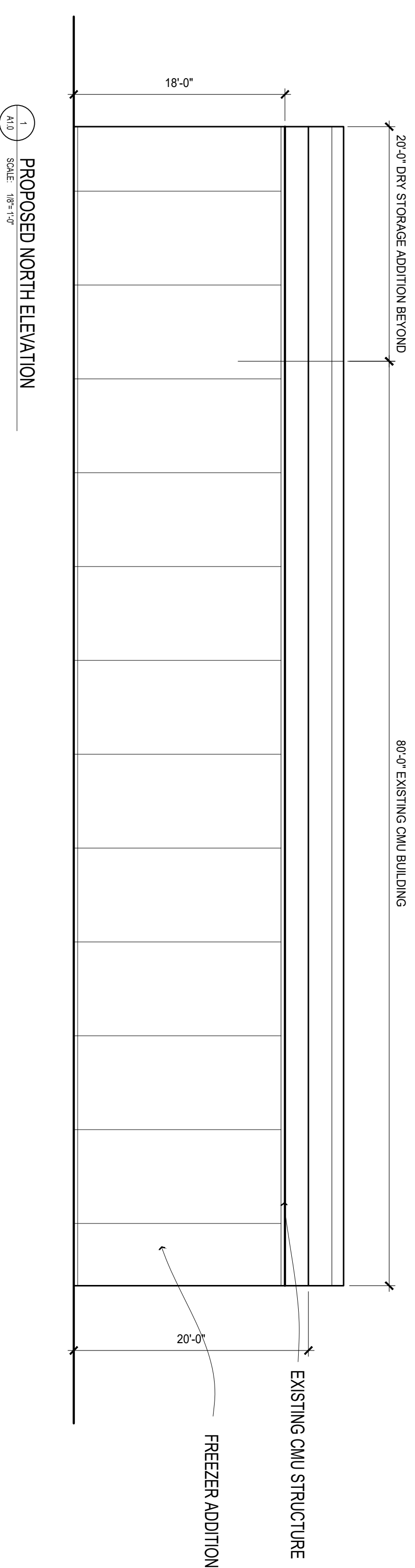
Site Plan Review
Case #24-107 – Waterside Market
Area of Request (August 2023 Air Photo)
7500 Brooklyn Blvd



Brooklyn Park 

CONSULTANTS:

Additions to
 Waterside Market



7500 Brooklyn Park
 Brooklyn Park, Mn

CERTIFICATION:
 I hereby certify that this plan, specification or report was prepared
 by me or under my direct supervision and that I am a duly
 ARCHITECT
 under the laws of the State of Minnesota

signature _____ date _____

name	registration number

REVISION HISTORY:	description	date

ISSUED FOR:
 DESIGN REVIEW

ISSUE DATE:
 February 18 2024

DRAWN BY: MGE / JDA CHECKED BY: JDA

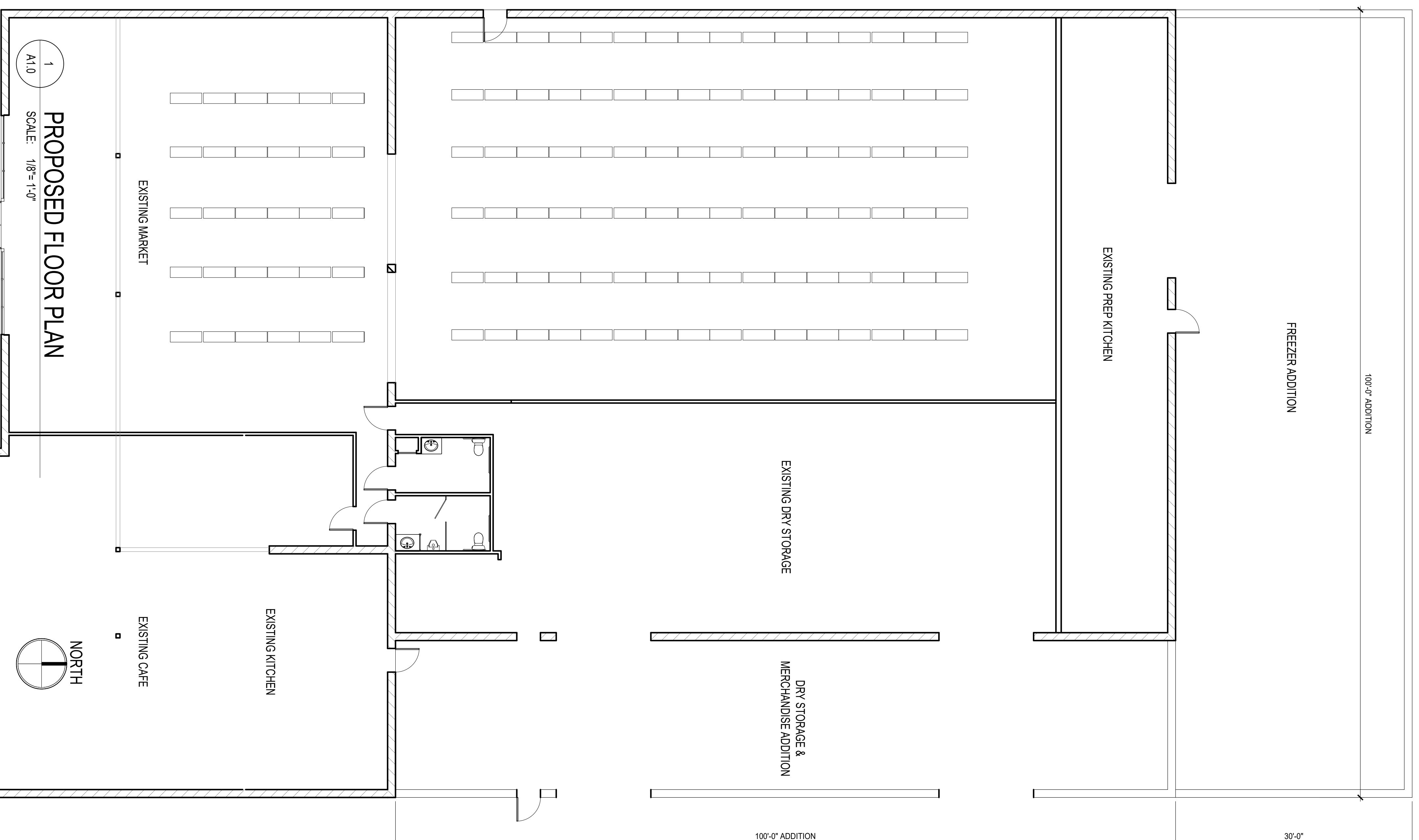
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 ELEVATIONS

SHEET NUMBER:

A2.0

PRELIMINARY DRAWING
 NOT FOR CONSTRUCTION



CONSULTANTS:

Additions to
 Waterside Market

7500 Brooklyn Park
 Brooklyn Park, Mn

CERTIFICATION:
 I hereby certify that this plan, specification or report was prepared
 by me or under my direct supervision and that I am a duly
 ARCHITECT
 under the laws of the State of Minnesota

signature _____ date _____
 name _____ registration number _____

REVISION HISTORY:

description	date

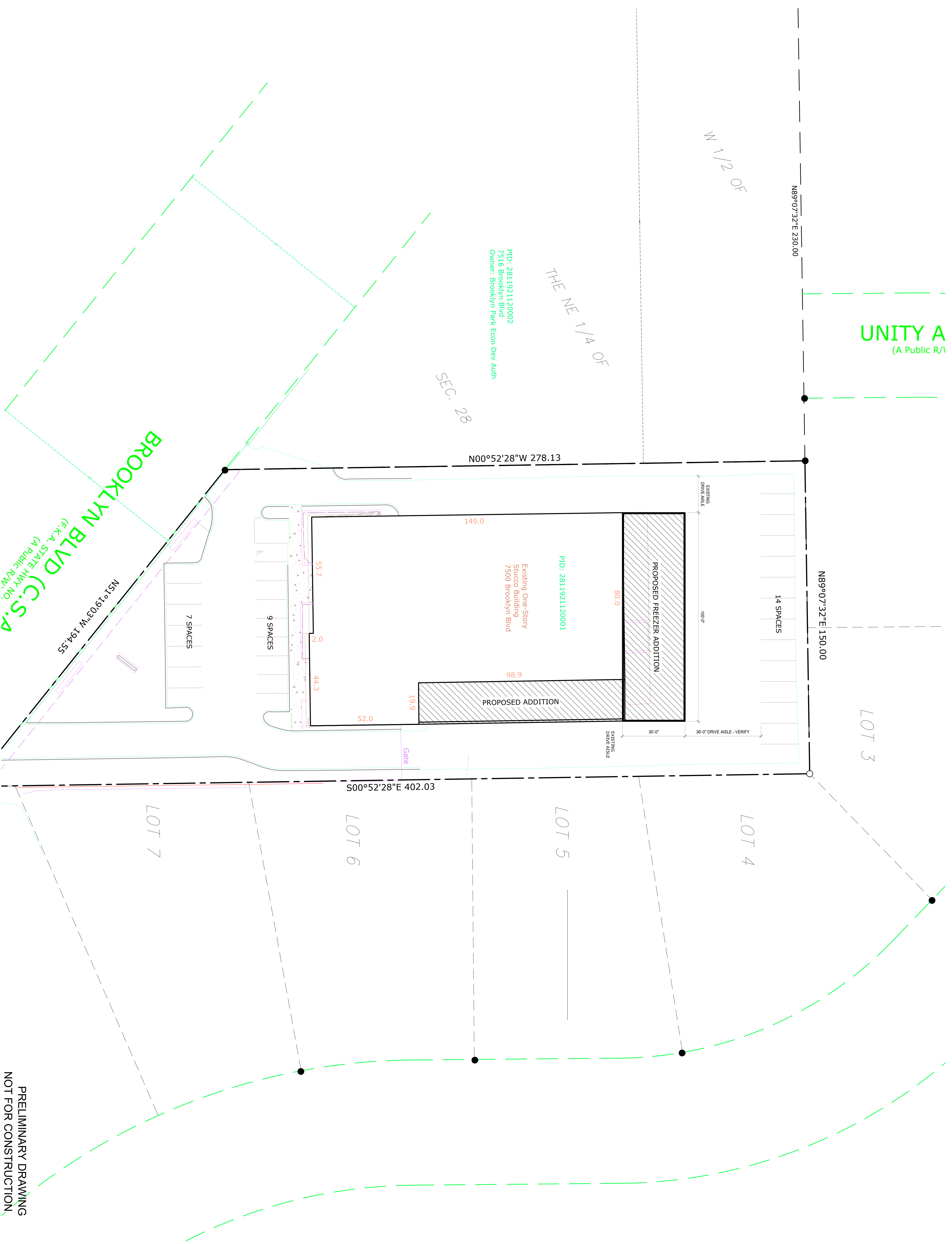
ISSUED FOR:
 DESIGN REVIEW

ISSUE DATE: February 18 2024
 DRAWN BY: MGE / JDA CHECKED BY: JDA
 SHEET TITLE:

**PROPOSED
 FLOOR PLAN**

SHEET NUMBER:

A1.0



PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

JDA
DESIGN ARCHITECTS
Minnetonka, Minnesota 55343
Telephone: 612.817.0050
www.jdadesign.com
johnd@jdadesign.com

Additions to
Waterside Market

7500 Brooklyn Park
Brooklyn Park, Mn

CERTIFICATION:
I hereby certify that this plan, specification or report was prepared
by me or under my direct supervision and that I am a duly
REGISTERED ARCHITECT
under the laws of the State of Minnesota.

Signature _____ date _____
name _____ registration number _____

REVISION HISTORY:	description	date

ISSUED FOR:
DESIGN REVIEW

ISSUE DATE: February 18, 2024
DRAWN BY: MGE/JDA
CHECKED BY: JDA
SHEET TITLE:
**PROPOSED
SITE PLAN**

SHEET NUMBER:
S1.0

City of Brooklyn Park Planning Commission Staff Report			
Agenda Item:	6.6	Meeting Date:	April 10, 2024
Agenda Section:	Public Hearing	Originating Department:	Community Development
Resolution:		Prepared By:	Erin McDermott, Associate Planner Amber Turnquest, Principal Planner
Ordinance:	X		
Attachments:	5	Presented By:	Erin McDermott, Associate Planner Amber Turnquest, Principal Planner
Item:	Code Text Amendment: Revisions for consistency and legal sufficiency to Chapter 152: Zoning Code.		

Proposed Actions:

MOTION _____, SECOND _____, TO RECOMMEND THE ADOPTION OF AN ORDINANCE AMENDING CHAPTER 152 OF THE BROOKLYN PARK CODE FOR CONSISTENCY WITH THE BROOKLYN PARK 2040 COMPREHENSIVE PLAN.

Staff Recommendation:

Staff recommends approval of the proposed ordinance changes.

Overview:

The Brooklyn Park City Council (Council) adopted the Brooklyn Park 2025 community plan in February 2017. Roughly 1,000 participants supported this yearlong effort which captured resident and staff input and documented the City’s goals. That process involved many public engagement sessions to understand the vision that Brooklyn Park residents had for the city as it grows and changes, including a visioning session in 2016, public open house in 2017, mailed notices, door knocking, and surveys sent to residents. Building upon that work, the Brooklyn Park Planning Commission held a public hearing in 2018 over a two month period in March and April on the 2040 Comprehensive Plan (2040 Plan). The Council voted on the final draft on May 29, 2018, with the comment period closing on October 26, 2018. The 2040 Plan was approved for submission to the Metropolitan Council (Met Council) for final review on December 10, 2018.

The 2040 Plan looked at the entire community with an emphasis on special planning areas. The City identified a need to address community-wide issues and desires, redevelopment and reinvestment in the older parts of the community, sustainability of new development, and to create a “community of the whole”.

The City Council adopted the 2040 Comprehensive Plan on March 30th, 2020. State law requires that official controls – the Zoning Code – be updated within 9 months of Plan adoption. The consultant firm, WSB, who worked on the 2040 Plan was retained to work on the Zoning Code Update. The challenges associated with the COVID-19 pandemic, staff turnover in the Planning Division, and the 2023 development moratorium all contributed to a delay in completing this work.

Planning staff is using this opportunity to make minor, technical updates to the entire Land Usage Title of the Brooklyn Park Code of Ordinances. Title XV includes four chapters, which are listed below with a highlight of the changes:

Chapter 150 Signs

Technical changes that clarify regulations in zoning districts and the City’s attorney is reviewing for conformance with statute and current case law.

Chapter 151 Subdivisions

Technical changes to update referenced information.

Chapter 152 Zoning Code

Incorporation of the principles identified with the 2040 Plan that WSB identified and worked closely with City Staff, Planning Commissioners, and City Council to update. The bulk of the work that WSB completed was to bring the Zoning Code into compliance with the 2040 Plan. A limited number of changes are being made outside of those that have already had extensive review and discussion during the 2020 working period.

Chapter 153 Stormwater Management

Technical changes to update referenced information.

Work To Date:

A Public Hearing was held during the March 13, 2024, meeting of the Planning Commission. The Planning Commission voted to transmit recommendation of approval to the City Council of Chapters 150, 151, and 153 of the Code of Ordinances, in their entirety. Articles 1 and 2 of Chapter 152 were also recommended for approval. The Land Use Performance Standards and the Development Standards of Chapter 152, Article 3 are being heard separately. At the March 27, 2024 Work Session, the Planning Commission discussed the proposed changes to the Land Use Performance Standards.

Summary of Changes:

Section	Title	Summary of Changes
152.901	Accessory Residential Performance Standards	Overly restrictive. Technical changes for consistency.
152.903	Nonresidential Performance Standards (Principal Uses)	Removing restrictions on beehives. Technical changes for consistency. Removing landscape restrictions imposed only on places of worship.
152.904	Accessory Nonresidential Performance Standards	Technical changes for consistency.

Alternatives to Consider:

1. Approve the amendments as presented.
2. Approve the amendments with modifications.
3. Decline to approve the amendments.

Budgetary/Fiscal Issues:

Not applicable.

Attachments:

- A. REDLINE CHANGES
- B. TECHNICAL CHANGES DOCUMENT
- C. SUPPORTING DOCUMENTS
- D. RESIDENT COMMENTS
- E. SUMMARY ORDINANCE

CHAPTER 152: ZONING CODE

ARTICLE 3. STANDARDS.....	1
SECTION 1. LAND USE PERFORMANCE STANDARDS.....	1
§152.900 RESIDENTIAL PERFORMANCE STANDARDS (PRINCIPAL USES).....	1
§152.901 ACCESSORY RESIDENTIAL PERFORMANCE STANDARDS	2
§152.902 TEMPORARY RESIDENTIAL PERFORMANCE STANDARDS	34
§152.903 NONRESIDENTIAL PERFORMANCE STANDARDS (PRINCIPAL USES).....	4
§152.904 ACCESSORY NONRESIDENTIAL PERFORMANCE STANDARDS	940
§152.905 TEMPORARY AND SEASONAL NONRESIDENTIAL PERFORMANCE STANDARDS ...	13

ARTICLE 3. STANDARDS

ARTICLE 9SECTION 1. LAND USE PERFORMANCE STANDARDS.

§152.900 RESIDENTIAL PERFORMANCE STANDARDS (PRINCIPAL USES)

All residential principal uses shall comply with the following supplemental regulations, which shall be in addition to all other regulations of this Zoning Code. In the event there is a conflict between these supplemental regulations and other portions of this Zoning Code, the more restrictive regulations shall govern.

- (A) Single family (detached). All new detached single-family dwellings must comply with the following conditions:
 - (1) All dwellings, including manufactured or mobile housing, must include a basement.
 - (2) No single-family dwelling may be constructed less than 25 feet wide, as measured along 50% of its length.
 - (3) Once the front yard has been established and an address determined, the building or yards may not be reversed.
 - (4) The minimum required finished floor area must comply with the following:
 - (a) UR district: 960 square feet.
 - (b) R-1 district: 1,040 square feet.
 - (c) R-2 district: 1,040 square feet.
 - (d) R-3 district: 960 square feet.
 - (5) All residential parking and driveways shall be paved with bituminous or asphalt surface, or permeable pavement with approval by the City Engineer.
- (B) Two-family (attached). The conditions for the construction and zero-lot line subdivision of attached two-family dwellings are as follows.
 - (1) No attached two-family dwellings may be constructed less than 20 feet wide (per unit).
 - (1) For a two-unit building that is split by ownership, the applicant or the property owner(s) must execute and record at their expense a declaration of covenants, conditions and restrictions or the equivalent document shall be submitted for review and approval by the City Attorney.
 - (2) The authority to divide a single structure containing two dwelling units may be subject to Chapter 151 of the City Code and the Council may impose other reasonable conditions as required by the situation.
 - (3) All residential parking and driveways shall be paved with bituminous or asphalt surface, or permeable pavement with approval by the City Engineer.
- (C) Townhouses. All townhouses, attached or detached, must comply with the following conditions.

- (2) All yard requirement areas must be free of encroachments, such as buildings, accessory structures, and interior vehicular circulation systems. Driveways that provide direct access to the garage area are not considered an encroachment.
- (3) All buildings within an attached townhouse development must be a minimum of 15 feet apart, except for adjacent garages, which shall be set back a minimum of 10 feet.
- (4) All residential parking and driveways shall be paved with bituminous or asphalt surface, or permeable pavement with approval by the City Engineer.
- (5) A declaration of covenants, conditions and restrictions or the equivalent document shall be submitted for review and approval by the City Attorney.
- (D) Mobile Home Park. Subject to the approval of a site plan which includes:
 - (1) Internal street system with all-weather hard surfaced roadways, to city standards, not less than 25 feet in width.
 - (2) All units must be connected to city sewer and water systems prior to occupancy.
 - (3) All hydrant locations must be approved by the city prior to occupancy of any units.
 - (4) All mobile homes must be setback a minimum of 25 feet from any internal roadway.
 - (5) Minimum lot size or lot size equivalent per mobile home must not be less than 40 feet wide by 100 feet long or 4,000 square feet.
 - (6) Each mobile home park must provide a recreation area(s) equal to 800 square feet per unit and a development plan shall be submitted and approved. None of the 800 square feet must be included in the minimum lot calculation.

§152.901 ACCESSORY RESIDENTIAL PERFORMANCE STANDARDS

All accessory residential uses shall comply with the following supplemental regulations, which shall be in addition to all other regulations of this Zoning Code. In the event there is a conflict between these supplemental regulations and other portions of this Zoning Code, the more restrictive regulations shall govern.

- (A) Community garden.
 - (1) Shall adhere to the same standards as a principal use community garden.
- (B) Day care (14 or fewer persons).
 - (1) Permitted only within single family structures.
- ~~(C) Garden.~~
 - ~~(0) If a home garden is present, it shall be maintained by one or more individuals who reside in a dwelling unit located on the subject property.~~
 - ~~(0) Food and/or horticulture products grown in the home garden may only be used for personal consumption.~~
- ~~(F)~~(C) Home Occupations.
 - (1) All vocations based in a dwelling unit shall have an administrative permit.
 - (2) All home occupations shall adhere to all applicable city, county, state, and federal regulations. Home occupations that violate or cannot operate in compliance with those regulations are prohibited.
 - (3) Any hazardous materials handling permits must be reported to the City Manager or his/her designated agent.
 - (4) Deliveries are limited to the type that typically service residences.
 - (5) The home occupation may be carried out by the residents of the dwelling unit and no more than one nonresident employee.
 - (6) Repair Services.
 - (a) Repair services are limited to those appliances or other goods small enough to be carried by one person.
 - (b) Motor and recreational vehicles and equipment and small engine repair are not permitted except for minor emergency repairs and minor maintenance to autos, non-commercial trucks, or recreational vehicles and equipment that are licensed to residents of the property, provided they can be completed within a 24-hour period or are conducted inside a garage or accessory structure and are in compliance with the City Code.
 - (c) Vehicle painting ~~will not be permitted~~ is prohibited in residential districts.
 - (7) Parking.

- (a) Parking for clients or customers coming to the property must comply with Section ## and all other applicable sections of the City Code.
- (b) Parking is limited to five vehicles at any one time.
- (8) Sales. No retail sale of merchandise produced off-site is permitted, except those products that are not marketed and sold in wholesale or retail outlets.
- ~~(G)~~(D) Keeping domestic and farm animals on residential properties.
 - (1) Farm animals may be kept on parcels five acres or larger at the rate of one animal unit per acre.
 - (2) Boarding or breeding for commercial purposes may not be permitted in residential districts.
 - (3) The keeping of animals must be in conformance with all other sections of the City Code.
- ~~(H)~~(E) Live/work units.
 - (1) The commercial portion of a live/work use shall not occupy more than 50 percent of the entire square footage of the structure/or unit.
 - (2) The residential portion of the live/work use, if located on the ground floor, shall be completely located behind the commercial portion of the structure or unit such that the ground floor street façade is a commercial use and commercial façade.†
- ~~(I)~~(F) Outdoor Storage.
 - (1) Storage of agricultural equipment may be permitted only on land assessed, used, and zoned as agricultural and must comply with all other applicable sections of the City Code.
 - (2) *Commercial vehicles.* Outdoor storage of commercial vehicles is limited to one vehicle per dwelling unit. Additional parking of commercial vehicles is permitted in a garage. Parking of commercial vehicles must comply with §§ 152.140 through 152.146. Semi trucks, semi trailers, dump trucks, tow trucks, and commercial vehicles with a registered gross weight over 15,000 pounds or in excess of 30 feet in length are not permitted.
 - (3) Firewood storage.
 - (a) Firewood must be stacked on an impervious surface or be elevated at least 3.5 inches off the ground and may not include more than two cords of wood per property.
 - (b) Unrestrained stacks may not exceed 6 feet in height.
 - (c) Firewood stacks located next to structures and supported by restraints, may not exceed 10 feet in height and may be so contained as not to constitute a safety hazard, as determined by a [Zoning Enforcement Officer](#) [City Manager](#).
 - (d) Firewood storage must comply with accessory structure setbacks in Section ##.
 - (4) Personal vehicles.
 - (a) Vehicles stored outside on residential property must be owned by a person who resides on that property.
 - (b) Students who are away at school for periods of time or persons on military leave, but still claim the property as their legal residence, will be considered residents on the property. This does not include vehicles or equipment being used by occasional guests or a commercial vehicle regularly used by a resident of the property.
 - (5) Private outdoor recreational equipment provided the equipment is not for display, storage or sales in connection with any vocation except a daycare.
 - (6) Recreational vehicles, equipment, and trailers. If stored in a front yard, the following standards shall apply:
 - (a) Items stored in the front yard must be located on a continuous impervious surface.
 - (b) Storage is not allowed on landscaped or grass areas in the front yard.
 - (c) Gravel parking areas is not permitted.
 - (d) All front yard storage must not encroach on any sidewalk or obstruct visibility of vehicle or pedestrian traffic.

§152.902 TEMPORARY RESIDENTIAL PERFORMANCE STANDARDS

All temporary residential uses shall comply with the following supplemental regulations, which shall be in addition to all other regulations of this Zoning Code. In the event there is a conflict between these supplemental regulations and other portions of this Zoning Code, the more restrictive regulations shall govern.

- (A) Garage sale.
 - (1) Each property is limited to 4 garage sales per year.

- (2) Each sale is limited to 3 days.
- (B) Model homes.
 - (1) Model home or temporary real estate office lighting must comply with ##.
 - (2) Signs must comply with the sign regulations as contained in ##.
 - (3) The model home or temporary real estate office is permitted only until all the other lots in the subdivision have active building permits.
 - (4) The applicant for a model home may be required to submit a cash bond to guarantee the conversion of the model home to a single-family home in a timely manner if alterations to the site have occurred such as the provision of paved parking, removal of lighting, and similar uses. Such conversion includes, but is not limited to, the provision of landscaping, turf restoration and the removal of parking lots, signage, and lighting.
- (C) Portable storage containers.
 - (1) One temporary portable storage container is allowed per dwelling unit for a maximum of 30 consecutive days in a calendar year.
 - (2) The storage container must be located on the driveway of the dwelling unit it is serving. An alternate location may be approved by the City Manager.
- (D) Temporary family healthcare dwellings.
 - (1) The city opts out of the requirements of M.S. § 462.3593, which defines and regulates temporary family health care dwellings.
- (E) Equipment, materials, and dumpsters may be stored outside if in compliance with the following:
 - (1) All items must be directly related to a current on-site construction or landscaping project.
 - (2) Except as otherwise allowed in division (#) below, no items may be stored outside for more than three months in any calendar year.
 - (3) All items directly related to a project for which a valid building permit has been issued are allowed to be stored outside while the permit is active.
 - (4) All debris must be contained within the dumpster and prevented from becoming airborne.
- (F) All items must be located on private property and must not block sidewalks, trails, hydrants, or emergency access.
 - (1) All items must be immediately removed from the property upon completion of the current on-site project.
 - (3) Sale of motor and recreational vehicles.
 - (a) The vehicle(s) must have current registration plates.
 - (b) The vehicle(s) must be licensed to a resident of the property.
 - (c) The vehicle(s) must comply with the parking requirements in all applicable sections of the City Code and this chapter.
 - (d) No more than two vehicle and equipment sales may be permitted per parcel per calendar year.

§152.903 NONRESIDENTIAL PERFORMANCE STANDARDS (PRINCIPAL USES)

All nonresidential principal uses shall comply with the following supplemental regulations, which shall be in addition to all other regulations of this Zoning Code. In the event there is a conflict between these supplemental regulations and other portions of this Zoning Code, the more restrictive regulations shall govern.

- (A) Automobile sales and showrooms.
 - (1) Impervious surface. All areas on which motor vehicles are stored or displayed must be paved with concrete or a bituminous surface. No display, sale, or storage of automobiles or other vehicles are permitted on landscaped areas.
 - (2) Parking. In addition to the requirements of ##, the parking areas must be:
 - (a) Shown and designated on the site plan.
 - (b) Kept free of display vehicles, on a continual basis.
 - (c) Appropriately designated with signs for use by customers and employees.
 - (3) Damaged and inoperable vehicles. All damaged and inoperable vehicles may be kept in an enclosed building or area completely screened from public streets and adjacent property.

- (4) Display vehicle parking.
 - (a) Each display vehicle parking space must meet the required size of a parking space as defined in ### and must be striped accordingly.
 - (b) No vehicles may be displayed on elevated platforms, jacks, or berms; however, parking will be allowed in approved/designated concrete display areas with a maximum height of 6 inches above the parking lot surface.
 - (c) No rows of display vehicles may be longer than 180 feet. Landscaped areas with overstory deciduous trees are required to separate rows of display vehicles. Required parking lot open space areas may be larger than typically required in the district to accomplish this objective.
 - (d) No display parking of vehicles may be permitted in the drive aisles.
- (5) No outside storage of scrap metal, auto parts, or the like is allowed.
- (6) No vehicles may be unloaded from transport trucks in the public rights-of-way.
- (7) Signs. In addition to the regulations found elsewhere in the City Code, the following may apply:
 - (a) No signs may be permitted in or on any display vehicles except the following, and no signs may be readable from a public right-of-way or adjacent property:
 - (1) Disclosure statements required by state and/or federal law.
 - (2) Identification of the displayed vehicles by make, model, year, and price.
- (8) All outdoor illumination on sales lots may be provided with lenses, reflectors, or shades that concentrate the light upon the premises to prevent glare or direct rays of light from being visible upon any adjacent public right-of-way or any private property occupied for residential purposes. Lighting from any source on the property may not exceed 3 foot candles as measured from the centerline of any adjacent street nor 3 foot candles at any property line which is not also a public right-of-way line.
- (B) Car wash.
 - (1) All car wash operations shall be staffed during operating hours.
 - (2) All drive-through car washes shall contain room for a minimum stacking of six cars and must not extend into drive aisles.
 - (3) All car wash bays shall have a separate entrance and exit.
 - (4) If within 200 feet of a residential district or use, the car wash bays shall be closed when in operation.
- (C) Community garden.
 - (1) Private community garden areas may be divided into separate garden plots for cultivation by one or more individuals or may be farmed collectively by members of the group.
 - (2) A community garden may include common areas (e.g., storage sheds) maintained and used by the groups.
 - (3) The community garden must comply with the lot and building standards for its zoning district.
 - (4) Community garden or private garden may serve as a permitted accessory use in any residential, business, public institution district or city owned park or open space. A community garden may be permitted as an interim use on a vacant lot in any residential district. A community garden area may count towards required open space in any zoning district. The following conditions shall be met for all community gardens:
 - (a) The garden area shall be limited to growth of food crops and/or non-food ornamental crops such as flowers. Maintaining beehives, livestock and poultry shall be prohibited.
 - (b) Community gardens may not be located within any easement without the property owner obtaining written permission from the easement holder.
 - (c) The garden shall be set back a minimum of 5 feet from all property lines to provide a vegetated buffer of grass or other plants to minimize the transfer of sediment and to delineate the edges of the garden.
 - (d) Paths may be installed to access the garden and individual garden plots provided the paths are constructed using natural landscape materials including wood chips, mulch, landscape rock or pea gravel.
 - (e) Fences are allowed as permitted by this chapter and provided they are made of sturdy, rust resistant woven wire and/or rot resistant wood, are well maintained and neat in appearance.
 - (f) The garden area shall be properly maintained throughout the year by:
 - (1) Weekly collecting rotting vegetables/fruits from garden areas and providing off-site disposal of this waste.

- (2) Weekly collecting and removing all trash and debris that is deposited on the site.
 - (3) Providing for season end removal of all dead plant growth/waste no later than October 1.
 - (g) Trash containers may be provided on site provided they have a cover and meet accessory structure setbacks for the underlying zoning district. All trash shall be removed from the site at least once per week.
 - (h) Compost bins are permitted provided they meet the accessory structure standards of the district in which it is located.
 - (i) One non-illuminated sign not exceeding 4 square feet in area and 6 feet in height shall be permitted. The content of the sign shall be limited to identification of the site as a community garden, sponsorship contact information and rules/guidelines for the community garden.
 - (j) Parking for the garden shall be provided on streets where parking is permitted or on an existing parking surface with the written permission of the owner of the parking surface.
 - (k) Seasonal sales stands shall be permitted but must be removed from the premises or stored inside a building on the premises during that time of the year when the garden is not open for public use. All products sold must be grown within the community garden.
 - (l) One portable restroom shall be permitted on the site.
 - (m) One utility shed shall be allowed on the site under the following conditions:
 - (1) Maximum area of 200 square feet.
 - (2) Must be located within the rear yard setback and at least five feet off the side and rear property lines.
 - (3) Maximum height of ten feet.
 - (n) Any power equipment and attachments, hand tools, fertilizer, chemicals and other equipment and materials that is kept on the site shall be stored within a utility shed.
 - (o) The following miscellaneous improvements shall be permitted on the site:
 - (1) Trellises.
 - (2) Raised planting beds.
 - (3) Benches.
 - (4) Covered trash receptacles.
 - (p) Negative impacts. The site shall be designed and maintained to prevent negative impacts to adjacent properties from individual gardeners and gardening activities including, but not limited to, irrigation, fertilizer, soils, stormwater, cultivated areas, trespassing and garden debris.
 - (q) Site restoration. Upon cessation of the community garden, the site shall be fully restored to the pre-garden status. All aboveground remains of the garden shall be promptly removed, and the ground leveled and restored so it can be utilized for uses permitted in the zoning district.
- (D) Currency exchanges.
- (1) All entrances to the business, except for emergency fire exits which are not usable by patrons, must be visible from the public right-of-way. When such businesses are located within an enclosed commercial complex, all patron entrances must open onto the common concourse.
 - (2) Layout of the publicly accessible areas must be designed so that the management of the establishment and any law enforcement personnel inside the business can observe all patrons while they have access to any merchandise offered for sale.
 - (3) The site must be at least 500 feet from the property line of a pawnshop, an adult entertainment/adult service, or any residential district and one-half mile from a site containing another currency exchange business. The site plan must show the location of the proposed currency exchange business and any other currency exchange business if any are located within one mile of the proposed site.
 - (4) All establishments may apply for and obtain a license from the State of Minnesota before a building permit may be issued.
- (E) Fuel and service stations.
- (1) All applications for fuel and service stations must be accompanied by the following:
 - (a) An evaluation of subsurface conditions, soil resistivity and groundwater table conditions prepared by a professional engineer, licensed by the State of Minnesota.

- (b) Information that demonstrates compliance with the installation requirements of §§ 93.30 through 93.41 of the City Code and the requirements of the Minnesota Pollution Control Agency.
- (2) The minimum frontage on any street must be 150 feet for a station with four pump/meter stations or less, and stations with additional pump/meter stations may provide additional frontage and area to provide equivalent and sufficient space for servicing vehicles, off-street parking, safe vehicular approaches into the station, and visibility for pedestrians and drivers.
- (3) Canopies or other weather protection structure (free standing or projecting from a building).
 - (a) Maximum height. 25 feet.
 - (b) Lighting.
 - (1) Except for permitted signs, no lighting on the face of the canopy is allowed. This includes a prohibition on backlit panels on the face of the canopy.
 - (2) All lighting installed must be recessed into the canopy and lights must be directed downward and away from adjacent properties in compliance with **##**.
- (4) Pump/meter islands.
 - (a) Setbacks.
 - (1) From public right-of-way - 50 feet.
 - (2) Interior side or rear - 40 feet.
 - (3) From a Residential district or use- 100 feet.
 - (b) Vehicle stacking.
 - (1) Vehicle stacking for gas pump dispensing must be provided for at least one car beyond the pump island in each direction in which access can be gained to the pump. The required vehicle stacking area for gas dispensing may not interfere with the internal circulation drive aisles or designated parking aisles.
 - (2) Vehicle stacking for gas pump dispensing may not be permitted in any public right-of-way, private access easement, or within the required parking setback area.
- (5) All paved areas must be surfaced with concrete or bituminous surfacing to control dust and provide adequate drainage, designed to meet the requirements of a minimum seven-ton axle load.
- (6) Layout of the publicly accessible areas on the site may be designed so that the employees of the establishment and any law enforcement personnel inside the business can observe all patrons while they have access to any merchandise offered for sale in the building or are at fuel pumping areas.
- (F) Funeral home and mortuary.
 - (1) Loading and unloading areas used by ambulances, hearses or other such service vehicles shall be screened from public off-site views.
 - (2) If a crematorium is included as part of a funeral home, no more than 33% of the gross floor area of a funeral home may be devoted to the crematory, including area for the cremator, cremation observation, crematory access and maintenance areas, and any additional areas used primarily for services related to cremation.
 - (3) An employee residence is permitted.
- (G) Hotel or motel.
 - (1) A lodging license pursuant to Chapter 117, shall be provided.
 - (2) At least two amenities, such as pool, restaurant, lounge, fitness center, office center, or similar ancillary use, shall be provided in conjunction with the hotel or motel.
- (H) Indoor sales of automobiles, trucks, and recreational vehicles and the like.
 - (1) Must meet minimum state guidelines for dealer license under M.S., Chapters 168, 168A, and 325F, pertaining to dealer licensing and motor vehicle titles and registration, as well as Minnesota Rule, sections 7400.0100 through 7400.6000.
 - (2) Storage and display of vehicles must be completely enclosed inside a building if vehicles are located on site.
 - (3) No vehicles may be unloaded from transport trucks in the public rights-of-way.
- (I) Licensed daycare facilities.
 - (1) The pick-up/drop-off area(s) must be near the front of the building and adjacent to a pedestrian area.
- ~~(J) Light food processing. TBC~~

~~(K)~~(J) Pawnshops.

- (1) All entrances to the business, except for emergency fire exits which are not usable by patrons, must be visible from the public right-of-way. When such businesses are located within an enclosed commercial complex, all patron entrances must open onto the common concourse.
- (2) Layout of the publicly accessible areas must be designed so that the management of the establishment and any law enforcement personnel inside the business can observe all patrons while they have access to any merchandise offered for sale.
- (3) The site must be at least 500 feet from the property line of a site containing a place of worship, school, day-care/preschool, another pawnshop, an adult entertainment/adult service business, a currency exchange, or any residential district.
- (4) All establishments must apply for and obtain a license from the City of Brooklyn Park, before a building permit may be issued.

~~(L)~~(K) ~~Public utility~~Essential services. All uses must provide the following evidence:

- (1) The use is in conformance with the surrounding neighborhood and required setbacks and side-yard requirements are met.
- (2) Equipment is completely enclosed in a permanent structure with no outside storage, except for electrical substation structures.
- (3) Adequate screening and landscaping from neighboring residential districts are provided.

~~(M)~~(L) Places of Worship.

- (1) Architectural materials allowed for places of worship shall follow the regulations for **Business Nonresidential** Districts (see §).
- ~~(2) No more than 60% of the site may be covered by impervious surface. The remaining 40% must be landscaped or sodded. Tree and shrub quantities shall be calculated using the B-1 requirements of § for all religious institutions located within a residential zoning district.~~
- ~~(3)~~(2) Residential districts. Places of worship may only be located on sites located directly at the intersections of two collector streets or along an arterial street as designated in the Comprehensive Plan.
- ~~(4) In the B-3 Zoning District, religious institutions are only allowed as one tenant in a multi-tenant building, up to 49% of the building, located on a single tax parcel. All tenants must have separate, independent accesses through a public corridor or directly from outside. All building code requirements must be met.~~
- ~~(5)~~(3) An office for a place of worship is considered an office use provided no worship services, events, or the like are conducted on site.
- ~~(6)~~(4) Places of worship with additional uses operating concurrently with a worship service must be figured into parking requirements.
- ~~(7)~~(5) Places of worship may conduct worship and educational programs as permitted accessory uses in public schools in all zoning districts outside of normal school instructional hours. Formal site plan review as described in § is not required.

~~(N)~~(M) Restaurants.

- (1) If the restaurant has an outdoor seating area, refer to the requirements in § .
- (2) If the restaurant has a drive-through, refer to the requirements in § .

~~(O)~~(N) Sexually oriented businesses.

- (1) All entrances to the business, except for emergency fire exits which are not usable by patrons, must be visible from the public right-of-way. When such businesses are located within an enclosed commercial complex, all patron entrances may open onto the common concourse.
- (2) Layout of the publicly accessible areas must be designed so that the management of the establishment and any law enforcement personnel inside the business can observe all patrons while they have access to any merchandise offered for sale.
- (3) The site must be at least 750 feet from any school, daycare/preschool, library, park, playground, or other public or private recreational facilities in any zone and another adult entertainment/adult service business.
- (4) No establishment may be open to the public from the hours of 11:00 p.m. and 8:00 a.m.
- (5) Signs visible to the public comply with the city's sign ordinance and may not contain graphic descriptions or representations of the adult theme of the operation.
- (6) All establishments may apply for and obtain a license from the City of Brooklyn Park before a building permit may be issued.

~~(P)~~(O) Schools, elementary, secondary, or post-secondary.

- (1) All public and private schools must conform to the minimum guidelines for open space and recreational space of the State of Minnesota.
- (2) ~~Public and private~~ schools must conform to the landscaping requirements for business zoning districts (see § ~~5~~). For sites zoned PI, the B3 landscaping requirements must be used.
- (3) ~~Public and private~~ schools located in business zoning districts must conform to the following performance standards:
 - (a) The city must find that the school use would be compatible with existing or planned adjacent uses.
 - (b) Schools which include grades kindergarten through eight must be adjacent to another public elementary school. Schools which include only grades nine and higher must be within 1,000 feet to public parks.
 - ~~(c) The site must conform to all parking requirements of § ~~5~~.~~
 - ~~(d)~~(c) The city must find that traffic speeds and volumes on adjacent streets do not pose a safety hazard.
 - ~~(e)~~(d) The city must find that the site has adequate space for school bus loading and movement, including turnarounds.
 - ~~(f)~~(e) The site must include sidewalks and/or other pedestrian facilities appropriate to the site for student safety.
- (4) Non-affiliated public and private schools are allowed by conditional use permit when located within a building primarily used for a place of worship.
- (5) Job training programs, ~~including those training programs for people with a physical, mental, or developmental disability,~~ are not considered schools for zoning purposes, but shall be classified by the skill or job being taught.
- (6) Public and private schools in all zoning districts may permit use of their facilities to community, civic, charitable, or religious organizations outside of normal school instructional hours.

~~(Q)~~(P) Self-service storage facility. Drive aisles between and around storage buildings must be 30 feet to accommodate through traffic and parking outside individual storage units.

~~(R)~~(Q) Social clubs.

- (1) The hours of operation available to customers are limited to 10:00 am to midnight daily. Minor patrons must follow curfew ordinances.
- (2) The business owner must provide an up-to-date security plan that is acceptable to the Police Chief. The security plan must be reviewed annually.
- (3) Commercial kitchen facilities must be licensed and maintained on-site for preparation and service of food and non-alcoholic beverages available to patrons.
- (4) Disorderly conduct, as listed in Section 112.003(C), shall be grounds for revocation of a Conditional Use Permit.
- (5) The establishment may impose a cover charge.
- (6) The establishment may have live entertainment (including, but not limited to bands, comedians, and disc jockeys)
- (7) The establishment is not eligible for alcoholic beverages under any license type.

~~(S)~~(R) Wholesale, broker, and auction dealer of automobiles.

- (1) Must meet minimum state guidelines for dealer license under M. S., Chapters 168, 168A, and 325F, pertaining to dealer licensing and motor vehicle titles and registration, as well as Minnesota Rules, sections 7400.0100 through 7400.6000.
- (2) No storage and display of vehicles is allowed.

§152.904 ACCESSORY NONRESIDENTIAL PERFORMANCE STANDARDS

(A) Accessory uses listed in ~~###~~ are permitted/conditional in the individual commercial zoning districts provided that:

~~(1) Such uses are subordinate and incidental to the principal use of the property.~~

~~(2)~~(1) No accessory use is permitted that changes the character, rating or appearance of the property or any structures on the property.

~~(3)~~(2) No accessory use or structure other than a fence or a temporary construction office for a project to be built on the property is permitted in any business district without a principal use occupying the property.

- ~~(4)(3)~~ No exterior storage or display of equipment, materials or products is allowed, except as permitted by this section and Chapter 150 of the City Code.
- (B) Day care.
- (1) All daycares in business districts and as an accessory use within multi-purpose buildings (i.e., places of worship, schools, private businesses) must comply with the following:
 - (a) ~~Dependent on the size and capacity of the structure and the availability of parking~~ Provide parking at in compliance with 152. .
 - (b) The pick-up/drop-off area(s) must be near the front of the building and adjacent to a pedestrian area.
- (C) Car wash.
- (1) The use must be accessory to a vehicle fuel station.
 - (2) The lot must be a minimum of two acres.
 - ~~(3)~~ The building/structure housing the car wash must ~~be no closer than~~ meet the minimum setback of 100 feet to the residential district boundary.
 - ~~(4)(3)~~ Additional regulations may be required through the Conditional Use Permit process to mitigate noise and/or other potential nuisances.
- (D) Crematories/crematoriums.
- (1) Licensure by the Minnesota Commissioner of Health shall be required and compliance with M.S. § 149A.95.
 - (2) Crematoriums shall not be used for the disposal of any waste materials.
 - (3) Crematoriums shall not emit any visible air emissions nor generate odors.
- (E) Drive-throughs.
- (1) Drive-through facilities and lanes must be located behind the principal building.
 - (2) All drive-throughs must contain room for a minimum stacking of six cars from the serving window and stacking must not extend into drive aisles.
 - (3) Queuing lanes must not interfere with pedestrian circulation.
 - (4) Drive-through canopies and other structures, where present, must be constructed from the same materials as the primary building, and with a similar level of architectural quality and detailing.
- (F) Within the MU districts, drive-throughs shall only be accessory to a mixed-use building containing both residential and commercial uses.
- (G) Exterior food and beverage machines, ice machines, and propane tank exchanges.
- (1) Must be in conjunction with approved fuel or vehicle service businesses, convenience, grocery, or variety goods store.
 - (2) Must be adjacent to and project no further than five feet from the primary building.
 - (3) Where sidewalks are present, a minimum access width of four feet must be provided and may not be blocked by the vending machines or containers.
 - (4) Propane tank exchanges must be located within a metal cabinet painted to blend into the building. The cabinet, not to exceed 52 cubic feet, must receive a permit from the Fire Chief.
 - (5) Exterior food and beverage vending machines, ice machines, and propane tank exchanges must be in good repair at all times.
- (H) Farmer's market.
- (1) Location.
 - (a) No portion of the use or event shall take place within 200 feet, as measured in a straight line from the closest point of the property line of the property upon which the farmers' market is located, to the property line of any R-1 zoned property with residential buildings.
 - (b) A farmer's market shall be conducted only within a parking lot that has a minimum of 200 off street parking spaces. It is not required that all 200 spaces be used for the market.
 - (c) Sales merchandise trailers, temporary stands, etc., shall be located on an asphalt or concrete surface.
 - (2) Displays.
 - (a) Parking and display areas associated with the sale shall not distract or interfere with existing business operations or traffic circulation patterns.
 - (b) Display areas and parking spaces shall use those parking lot spaces that are in excess of the minimum required parking for the primary use of that property.
 - (c) No uses or displays shall be permitted in required green areas, parking setback areas, or any right-of-way or other public property.

- (d) Display of items shall be arranged in as compact a manner as reasonably practicable with particular reference to vehicle and pedestrian safety and convenience, traffic flow and control, and access in case of fire or other emergency.
- ~~(3) Duration.~~
 - ~~(a) All products, materials, quantities to be sold or displayed, and the dates, times, and duration of the market must be approved by the City Council.~~
- ~~(4) Permission.~~
- ~~(5)(3) _____ The owner/operator shall have the written permission of the current property owner to locate on a specific site.~~
- ~~(6)(4) _____~~ Signage shall be limited to one sign not to exceed 32 square feet. The sign may be a banner, ~~shall have a professional appearance,~~ and shall be mounted or erected in an appropriate location. The sign may be illuminated but must comply with all requirements of Chapter 30 of this title.
- ~~(7) All lighting shall comply with the lighting standards of Chapter 150 of the City Code.~~
- ~~(8)(5) _____~~ Operation and maintenance.
 - (a) All producer merchandise shall be unloaded prior to the opening of the market and confined to the off-street parking lot area. No on street parking or unloading shall be allowed.
 - (b) No public address system or speakers shall be used.
 - (c) The site shall be kept in a neat and orderly fashion, free from litter, refuse, debris, junk, or other waste, which results in offensive odors or unsightly conditions.
- (I) Gas tanks (above ground) for propane, liquid nitrogen, etc.
 - (1) Such tank shall be fully screened or located out of public view.
 - (2) Motor vehicle fuel is not permitted.
- (J) Mobile food units.
 - (1) The owner/operator shall have written permission of the current property owner to locate at a designated area.
 - (2) The proprietor of the business must keep copy of the mobile food unit license with the unit and demonstrate compliance with the license upon inspection.
 - (3) The area(s) designated for the mobile food unit and accessory outdoor seating may not block sidewalks, impede pedestrian or vehicular traffic, or interfere with public safety.
 - (4) No mobile food unit or accessory outdoor seating area may occupy parking spaces which may be leased to other businesses or used to fulfill its minimum parking requirements or any handicap accessible parking space.
 - (5) Mobile food unit locations are limited to private property in a business district as listed in § .
 - (6) Mobile food units shall be located on an asphalt or concrete surface.
 - (7) The owner/operator must provide trash receptacles for customer use and keep the site in a neat and orderly fashion, free from litter, refuse, debris, junk or other waste which results in offensive odors or unsightly conditions.
 - (8) Temporary signage is permitted in accordance with §150.06(A)(6) pedestrian signs.
 - ~~(9) Mobile food units cannot locate within 100 feet of from the main entrance of an eating establishment or any outdoor dining area.~~
- (K) Outdoor entertainment and the use of sound-amplifying equipment.
 - (1) The volume of sound shall not violate § of this ordinance.
 - (2) The sound amplifying equipment shall not be used between the hours of 10 p.m. and 8 a.m.
- (L) Outdoor sales and display.
 - (1) The designated sales area must be identified on an approved site plan.
 - (2) The designated sales area cannot block sidewalks.
 - (3) The designated sales area must not encroach into setbacks.
- (M) Outdoor dining.
 - (1) Outdoor dining is permitted if depicted on an approved site plan. The following additional standards relate to outdoor dining areas:
 - (a) Outdoor seating is permitted within any setback area and temporary seating may be permitted with rights-of-way, provided the sidewalk remains clear to a width of 5 feet.
 - (b) Service and consumption of alcohol on outdoor patios and decks in conjunction with an intoxicating liquor "on-sale" license or a 3.2 percent malt liquor license may be permitted under the following conditions:

- (1) The patio or deck area must be contiguous to the licensed premises and shall be enclosed with a fence that meets standards set forth in this code that does not allow entrance from outside the fenced area onto the patio or deck area.
- (2) Receptacles for rubbish, garbage, etc., must be provided and adequately screened.
- (3) Lighting must be sufficient to promote public safety, directed downward, and compatible with the surrounding area.
- (4) Smoking may be allowed on the patio or deck area, provided it complies with the Minnesota "Freedom to Breathe Act of 2007."

~~(5) The patio or deck area shall be controlled and monitored continuously during the hours of operation and unruly patrons shall be removed immediately.~~

~~(6) Patrons shall not leave the premises with a drink nor can drinks be taken onto a public sidewalk.~~

~~(7)~~(5) The outdoor patio or deck area must be included in the required liquor liability insurance for the premises.

~~(8)~~(6) These areas may be covered with a canopy or awning but may not be enclosed.

(N) Outdoor display.

- (1) Outdoor displays of inventory, such as automobiles, tires, nursery stock, lumber and other merchandise customarily displayed or stored in the outdoors are permitted, subject to compliance with standard building setback requirements of the respective zones and all other applicable ordinances and standards.
- (2) Outdoor display is limited to no more than 10% of the facade of the structure in which the business is located.
- (3) Outdoor display cannot ~~occur without the permission of the owner of the business,~~ cause a public nuisance, or be located within the required parking areas or ingress or egress aisles of the lot.

(O) Outdoor storage.

- (1) Outdoor storage areas shall be depicted on an approved site plan.
- (2) The items in the area designated for outdoor storage must be completely screened from view from adjacent public rights-of-way or adjacent properties.
- (3) Outdoor storage areas must not be used for the storage of junk vehicles, trash, debris, or other nuisance items as defined elsewhere in the City Code.
- (4) The area designated for outdoor storage must be clearly defined by fencing, striping, paving, or other means. Any storage outside of the designated area shall be a violation of the conditional use permit.

~~(5) Outdoor storage is not permitted in the Highway Overlay (HO) District.~~

~~(6)~~(5) Height of materials, vehicles, or equipment in outdoor storage area shall not exceed the height of the principal structure.

Figure ##. Outdoor storage requirements

		Zoning Districts			
		B3	B4	BP	I
Area limit on storage allowed		50% of site	70% of site	15% of building footprint	80% of site
Setbacks	From ROW	15 feet	15 feet	75 feet	15 feet
	From side and rear	5 feet	5 feet	50 feet	5 feet
	Adjacent to residential districts	35 feet	35 feet	NP	35 feet
Location restriction		Side or rear yard only	Side or rear yard only	Must be located to the rear of the front entrance	Side or rear yard only

- (P) Restaurants, retail, or services.
 - (1) May be located within the principal building or as a single tenant in a multi-tenant building.
 - (2) The area of the building for restaurants, retail, or service businesses are restricted to one-half of the total gross floor area of the ground level floor of a multistory building but may not be restricted to any location in the building, or 10% of the gross floor area of a single story building.
- (Q) *Detached Accessory Structure*
 - (1) *Setback adjacent to rights-of-way.* No detached accessory structures are permitted between a public right-of-way and the principal structure.
 - (2) *Interior side or rear setbacks.* No detached accessory structure are permitted closer than five feet from interior side property lines.
 - (3) *Structure size.* Detached accessory structures may not exceed 2,000 square feet, or 15 percent of the principal structure footprint, whichever is less.
 - (4) *Structure height.* Detached accessory structures may not exceed 16feet in height, or the height of the principal structure, whichever is less.
 - (5) No more than one detached accessory structure is permitted per lot of record.
 - (6) Detached accessory structures shall not be designed or used for human habitation.
 - (7) Detached accessory structures shall have the same or similar exterior finish as the principal building.
- (R) Warehousing, incidental repair, or processing.
 - (1) In the B1 - B-4 Districts, accessory warehousing may only be conducted in up to 30% of the gross floor area of the principal building.
 - (2) Must be necessary and related to the permitted principal use.

§152.905 TEMPORARY AND SEASONAL NONRESIDENTIAL PERFORMANCE STANDARDS

- (A) Christmas tree sales.
 - (1) All temporary buildings or trailers associated with the sales lot, as well as all tree-related debris and materials, are permitted between November 15 and December 31.
 - (2) The sales area shall be separated from vehicular uses by the placement of a fence or barrier to prevent pedestrian and vehicular conflicts.
 - (3) The sales area shall be on a paved surface that does not interfere with the principal use's minimum parking needs, traffic flow, and emergency access.
- (B) Construction buildings.
 - (1) Buildings temporarily located for purposes of construction may be placed for a period not to extend beyond the issuance of a certificate of occupancy or the end of construction
- (C) Firework sales.
 - (1) An annual retail fireworks permit shall be required per Section 93.25.
 - (2) Fireworks sales shall only be permitted between June 15 and July 5.
 - (3) The sales area shall be separated from vehicular uses by the placement of a fence or barrier to prevent pedestrian and vehicular conflicts.
 - (4) Must be on a paved surface that does not interfere with the principal use's minimum parking needs, traffic flow, and emergency access.
 - (5) No fireworks shall be sold or dispensed from a motor vehicle or towed vehicle.
 - (6) Outdoor sales lot for consumer fireworks sales shall meet the specialized requirements laid out in Minnesota statute, section 624.20, and all other applicable ordinances or statutes.
- (D) Gas/fuel tanks (above ground).
 - (1) Above ground gas and fuel tanks shall be screened from view of a public street or adjacent residential property.
- (E) Greenhouse and garden centers.
 - (1) The area(s) designated may not be located in the required parking areas, block sidewalks, or interfere with public safety.
 - (2) The area(s) designated may not be permitted in the required setback from residential districts or public rights-of-way.
 - (3) The proprietor of the business must keep a copy of the Conditional Use Permit on the premises and demonstrate compliance with the permit upon inspection.

- (4) Conditional Use Permits may be revoked by the City Council if the activity is not used on an annual basis or if violations to any of the above regulations have been documented and were not corrected in a timely manner as determined by the City Manager.
- (5) Garden center sales shall only be permitted between April 1 and June 30.
- (6) The sales area shall be separated from vehicular uses by the placement of a fence or barrier to prevent pedestrian and vehicular conflicts.
- (7) Must be on a paved surface that does not interfere with the principal use's minimum parking needs, traffic flow, and emergency access.
- (F) Outdoor storage of snow removal equipment.
 - (1) The area of storage shall not be placed in any established yard abutting a street.
 - (2) The area of outdoor storage shall be screened from view from streets and from all abutting properties by an opaque screen; wherever security fencing is desired, it shall be placed on the interior side of the opaque screen.
 - (3) All areas of storage shall be paved.
- (G) Temporary events. The events include outdoor religious events, tent sales, employment fairs, and other similar outdoor uses and events as determined by the City Manager. Construction activities related to the construction, demolition, or rehabilitation of a dwelling, building, or structure are not regulated by this section.
 - (1) Permits are required for any event with temporary structures or tents, preparation and service of food or beverages for sale, road blockage, or traffic or parking congestion beyond that expected without the event.
 - (2) All events may be conducted by the proprietor of the business conducted within the principal structure on the property.
 - (3) Performance standards for temporary events. Temporary events include, but are not limited to, outdoor religious events and rental or employment fairs, but do not include construction activities related to the construction, demolition, or rehabilitation of a dwelling, building, or structure.
 - (a) Events are limited to ten days per calendar year and all equipment, structures, signs, or other evidence of the use must be removed from the property one week after termination of the event.
 - (b) Disturbed turfed areas must be restored to their pre-event condition within three weeks.
 - (c) Sanitary facilities must be provided as required by the Building Official.
 - (d) Any impairment to traffic flow must be mitigated to the satisfaction of the City Engineer, Fire Chief, and the Police Chief.
 - (e) All other sections of the city code, including but not limited to compliance with residential quiet hours and the creation of nuisances, apply.
- (H) Temporary uses. Temporary uses may include environmental monitoring of a use and structures for hiding the monitoring equipment and other similar outdoor uses as determined by the City Manager. No administrative approval of temporary uses may be given for structures primarily for storage associated with the principal use.
 - (1) Permits are required for temporary uses.
 - (2) The permit must include a specific date, not to exceed one year, during which time the use may exist. By the specified date, the use and any associated structure(s) must be removed from the property and the site returned to a condition that meets or exceeds the pre-use condition.
 - (3) All uses may be conducted by the proprietor of the business conducted within the principal structure on the property.
 - (4) Financial guarantees or a cash escrow may be required at the time of permit application to guarantee the restoration of the site to its pre-use condition.
- (I) Transient sales.
 - (1) Location.
 - (2) The location for the sale must have a minimum 150-foot setback from any intersection.
 - (3) The location for the sale must meet the minimum setbacks for a principal building on the property and may not be permitted on the following: public rights-of-way, landscaped areas, fire lanes, or drive aisles.
 - (4) The location for the sale may not occupy more than 100 square feet.
 - (5) The location for the sale may not occupy the required minimum parking spaces for the principal use(s) on the site.

AGENDA ITEM 6.6A - REDLINE CHANGES

- (6) The location for the sale must be large enough to provide adequate parking.
- (7) Hours and duration.
 - (a) Use of the property for transient sales may not exceed ten days within a maximum period of six months.
 - (b) Transient sales may not take place between the hours of 6:00 p.m. and 10:00 a.m.
 - (c) No overnight storage of transient merchant equipment or merchandise may be allowed.
Transient merchant equipment may be permitted on the premises only between the hours of 8:00 a.m. and 8:00 p.m.
- (8) A license may be issued pursuant to the City Code and may be conspicuously posted in the transient merchant's location.
- (9) Written permission to occupy the property must be filed with the application for conditional use permit.

6.6B – TECHNICAL CHANGES DOCUMENT

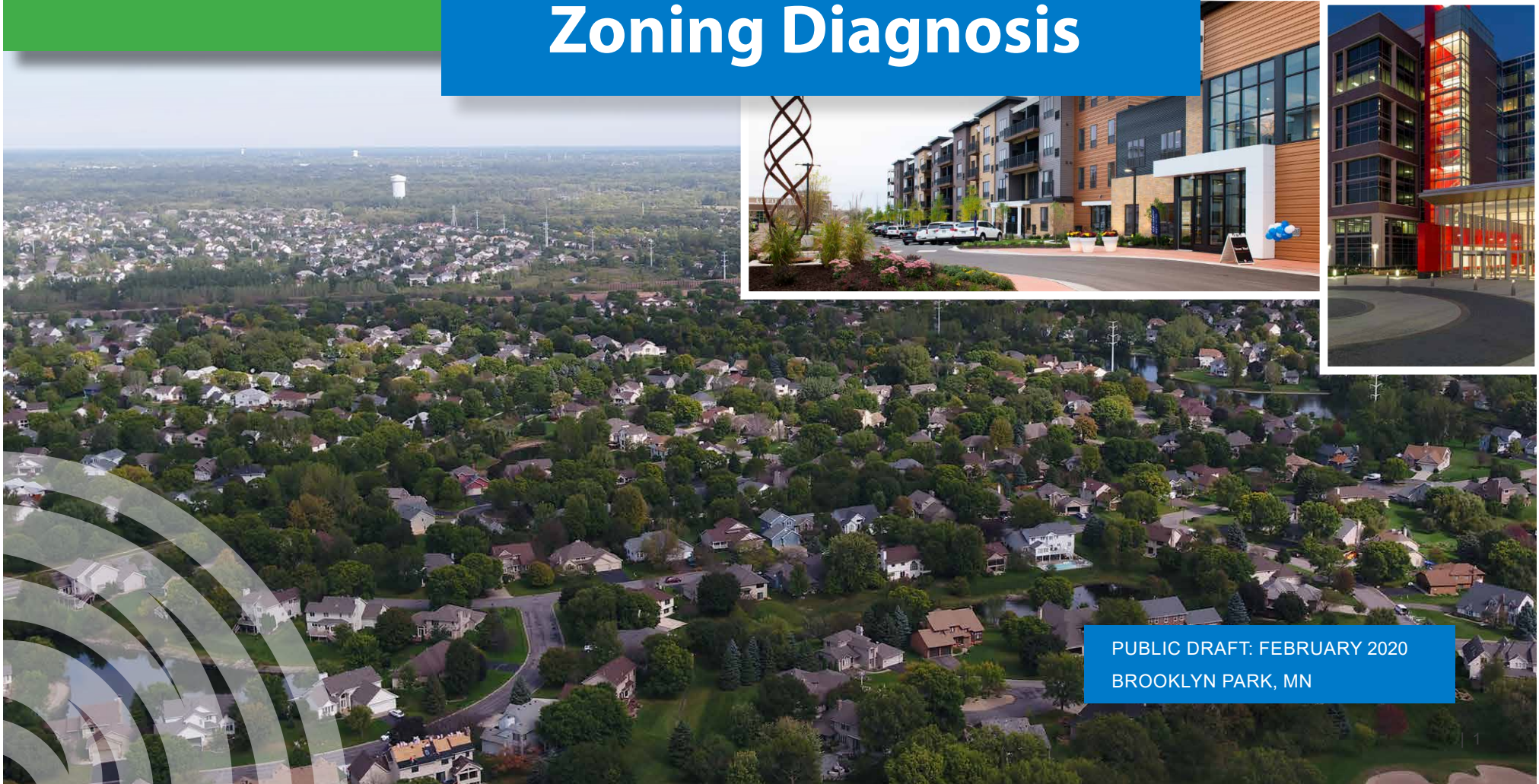
Section	Title	Changes
152.901	Accessory Residential Performance Standards	<ul style="list-style-type: none"> • 152.901(C) removed performance standards for gardens. • 152.901(C) [revised] struck “will not be permitted” replaced with “is prohibited”. • 152.901(F) struck “a Zoning Enforcement Officer” replaced with “City Manager”.
152.903	Nonresidential Performance Standards (Principal Uses)	<ul style="list-style-type: none"> • 152.903(C)(4)(a) removed “beehives”. • 152.903(E)(4)(a)(3) inserted “from a” and “district or use” to clarify language. • 152.903(J) removed “light food processing” to be addressed in the next stage of work. • 152.903(K) struck “Public utility” replaced with “Essential services”. • 152.903(L)(1) struck “Business” replaced with “Nonresidential”. • 152.903(L)(2) language struck. • 152.903(L)(4) language struck. • 152.903(O)(3)(c) struck reference to parking requirements, which already exist. • 152.903(O)(5) struck language for types of training institutions. • 152.903(Q)(4) inserted reference to “Conditional Use Permit”.
152.904	Accessory Nonresidential Performance Standards	<ul style="list-style-type: none"> • 152.904(A)(1) struck “Such uses are subordinate and incidental to the principal use of the property”. • 152.904(B)(1) struck “Dependent on the size and capacity of the structure and the availability of parking” replaced with “Provide parking in compliance with 152. ___”. • 152.904(C) removed “be no closer than” replaced with “meet the minimum setback of”. • 152.904(C)(3) struck language reference Conditional Use Permits as this requirement is articulated elsewhere. • 152.904(H)(3) removed language related to duration and permission. • 152.904(H)(4) removed subjective language. • 152.904(H)(7) removed lighting language as standards exist elsewhere in the code. • 152.904(J)(9) removed restrictions on the location of mobile food units.

6.6B – TECHNICAL CHANGES DOCUMENT

- 152.904(M)(5) and 152.904(M)(6) removed language related to operation covered by other provisions of the code.
- 152.904(N)(3) removed language covered by other provisions of the code.
- 152.904(O)(5) removed reference to obsolete district.

Brooklyn Park

Zoning Diagnosis



PUBLIC DRAFT: FEBRUARY 2020
BROOKLYN PARK, MN



Table of Contents

1. Introduction	3
2. Executive Summary	7
3. Summary of Key Findings	12
4. Work Plan	19



1

Introduction



Introduction

The City of Brooklyn Park is a growing, dynamic, and diverse community. It is unique in the Twin Cities in that it is a majority minority suburb. It has the density of an urban center along with the vacant greenfields of the urban fringe. There is a history of development in “nodes” or places to be, each providing a different mix of services, shopping, dining and entertainment. The City has stated a commitment to racial equity, being age friendly and accessible to all. Light rail transit is coming to five station areas in the City. Each of these characteristics is tied to the zoning ordinance, which regulates all growth, development and redevelopment in the City.

The first and most important job of the zoning ordinance is to protect the health, safety and welfare of the City’s residents, business owners, and visitors. The main way zoning does this is by implementing the goals and policies set forth in the Comprehensive Plan. Brooklyn Park’s 2040 Comprehensive Plan lays out a bold vision for the future of housing, employment, economic development, and transportation. Policies in each of these areas require changes to the zoning ordinance which enable the types of change envisioned.

During this zoning diagnosis, we examine the current ordinance to determine where there are conflicts; where zoning may be an obstacle for the type of development the City wants; and where there is outdated language that needs to be updated.

Cities use zoning to guide development of privately-owned land to ensure the land is used in a way that promotes both the best use of that land and the prosperity, health, and welfare of its residents. Cities derive the authority to zone from Minnesota and United States supreme court cases and from the Municipal Planning Act found in Minnesota Statutes. The Municipal Planning Act establishes a consistent and comprehensive procedure for adopting, amending, and implementing a zoning ordinance.

While zoning is a primary way for communities to impact the built environment, it is important to understand what zoning can and cannot do.

WHAT ZONING CAN DO:

- Allow the type of development envisioned in the Comprehensive Plan
- Describe what uses are permitted and where
- Establish the parameters for development related to:
 - Lot size, width, depth
 - Setbacks or build-to lines
 - Building coverage
 - Building height minimums and maximums
 - Landscaping requirements
 - Parking minimums and maximums
 - Design standards



WHAT ZONING CAN'T DO:

- Guarantee development
- Take away allowed uses
- Preempt state and federal law
- Act as a building code
- Control behavior

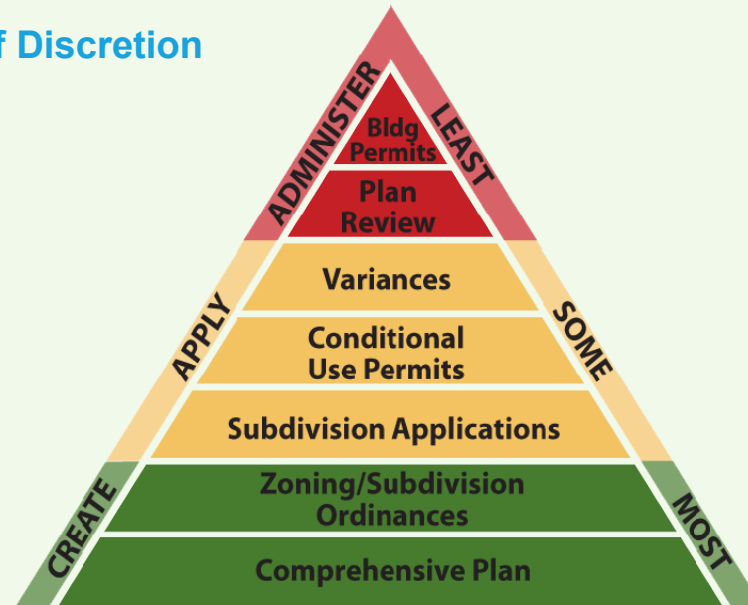


Introduction

The limits to zoning are steeped in history and documented in case law. When creating, adopting and amending land use plans and zoning ordinances, a city is making law by exercising its so-called “legislative” authority. The city council creates new plans and laws (ordinances) for the entire community to advance its health, safety, and welfare. When acting legislatively, the council has broad discretion. In contrast, when applying existing plans and laws, a city council is exercising so-called “quasi-judicial” authority. It is limited to determining the facts of a specific request, and then applying those facts to the relevant law. A city council has less discretion when acting quasi-judicially.

It can be helpful to visualize this as a “**pyramid of discretion**” that shows cities have greater discretion when making land use decisions and policies at the base of the triangle, and less as decision-making moves up the pyramid. Discretion is greatest when officials are creating and drafting the comprehensive plan and writing the zoning code and the least when administering those plans and codes, such as when reviewing a building permit for compliance with the dimensional requirements of the zoning district.

Pyramid of Discretion



Source: League of Minnesota Cities

When acting legislatively, such as with this update to the zoning ordinance, a city can engage in broad policy discussions, and sort through competing views about what plans and laws would be in the best interest of the city. Although not everyone may be on board with the outcome, the more public participation in the planning (comprehensive plan) and law-making (zoning code update) stage, the better the understanding among the public of why the city has put a plan or law in place.

The zoning ordinance begins with a purpose statement which outlines the community’s reasons for adopting the ordinance. The purpose statement links the rules and regulations listed in the ordinance to the community’s values, plans, and goals. What follows is a side-by-side comparison of Brooklyn Park’s current purpose statement and that for the City of Duluth, MN. Duluth’s purpose statement clearly conveys its values and goals. This update is an opportunity for Brooklyn Park to be clear about the type of development it intends to promote with its ordinance.

Introduction

Brooklyn Park

The intent of this chapter is to protect the public health, safety, and general welfare of Brooklyn Park and its people through the establishment of minimum regulations governing the development and use of property within the city. Such regulations are established to:

- a. Implement the Comprehensive Plan;
- b. Promote orderly development and redevelopment;
- c. Provide adequate light, air and convenience of access to property;
- d. Prevent congestion in the public right-of-way;
- e. Prevent overcrowding of land and undue concentration of structures and population by regulating land, building, setbacks, and density of development;
- f. Provide for the compatibility of different land uses, and protect from incompatible uses;
- g. Provide for the administration of this chapter and any amendments;
- h. Prescribe penalties for violation of such regulations;
- i. Define powers and duties of the City Staff, the Planning Commission, and the City Council in relation to this chapter.

Duluth

The purpose of this unified development chapter is to protect public health, safety, and welfare and to implement the goals and objectives of the comprehensive land use plan using those authorities over the development, redevelopment, use, and occupancy of land and structures, and over the protection of the environment, granted to the city by the state. This general purpose includes, but is not limited to, the following:

- a. To provide for more sustainable development within the city by reducing carbon emissions, vehicle miles traveled, energy consumption, and water consumption, and by encouraging production of renewable energy and food production;
- b. To control or eliminate soil erosion and sedimentation within the city;
- c. To protect and enhance the city's attractions to residents, tourists and visitors, and serve as a support and stimulus to business and industry;
- d. To enhance the visual and aesthetic character, diversity and interest of the city;
- e. To promote the use and preservation of historic landmarks and districts for the educational and general welfare of the

people of the city;

- f. To regulate erection and maintenance of signs in the city in order that signs might fulfill their necessary and useful function in such a way to preserve the public welfare and safety;
- g. To preserve the integrity of residential areas and the character and dignity of public structures, parks and other open spaces;
- h. To enhance property values and the general appearance and natural beauty of the city;
- i. To protect the public investment in streets and highways;
- j. To establish a comprehensive system of sign controls governing the display, design, construction, installation and maintenance of signs and to promote the orderly and effective display of outdoor advertising;
- k. To promote, preserve, and enhance the water resources and environment within the city and protect them from adverse effects caused by poorly sited or incompatible development in wetlands, shorelands and floodplains.

2

Executive Summary



Executive Summary

Brooklyn Park's last major zoning update was in 2000. Since then, there have been several minor updates to address changes in state statute and current case law. Meanwhile, the City's development pattern changed considerably. The zoning ordinance has yielded an auto-centric and segregated commercial development pattern. It also limits housing choices and creates lifestyle requirements for single-family housing, such as basements, garages, and storage space. These standards have a direct impact on the cost of every unit built. These commercial and housing prescriptions do not promote or enable the type of community that the City wants to be according to the goals in the Comprehensive Plan. In this diagnosis we discuss updates needed to the ordinance to reflect the desired vision for the City.

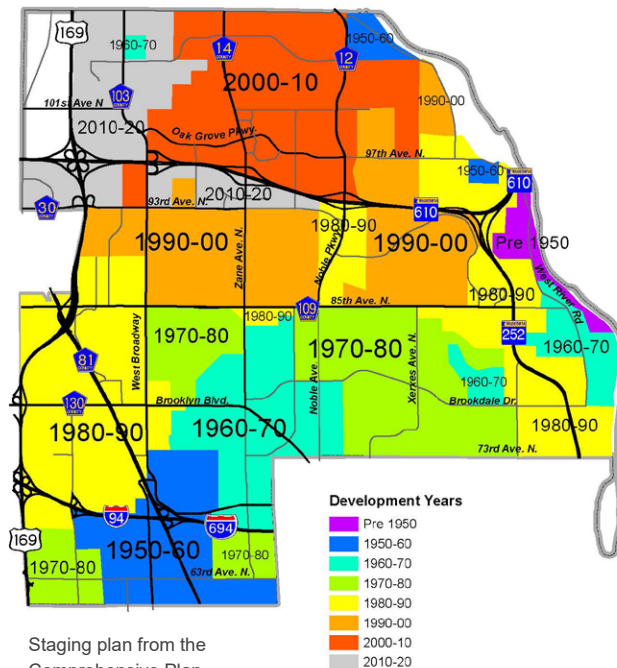
As part of the City's 2040 Comprehensive Plan public engagement effort, the community identified what it wants to be like in the year 2025. This is articulated through goals. These goals have been used to define the project values for this zoning update. How does the current code measure up to the goals? The goals serve as standards against which we judge our work.

Simply put, Brooklyn Park is a thriving community inspiring pride where opportunities exist for all. We have identified important key words from each goal that can be reflected through the City's zoning and subdivision ordinances.

Brooklyn Park is:



1. A united and welcoming community, strengthened by our diversity



Staging plan from the Comprehensive Plan

What it looks like:

- We have **connected neighbors** who understand and celebrate our unique **cultures**.
- Brooklyn Park is unified with a strong positive **identity** and image.
- Our community's activities, events and services are inclusive, multi-cultural, and **accessible**.
- We have places and spaces for diverse communities to **gather**.
- Residents of **every age** contribute to our community.

Executive Summary



2. Beautiful spaces and quality infrastructure make Brooklyn Park a unique destination

What it looks like:

- Modern **transportation options** (drive, ride, walk, bike) connect people to education, jobs, and recreation.
- Quality **recreation** and **park** amenities inspire activity for all ages and interests.
- Our rich **diversity** is showcased through our vibrant music, arts, food, entertainment, and cultural scene.
- **Attractive key corridors, corners, and city centers** create destinations that meet community needs.
- Quality and **well-maintained** housing for all ages and incomes are integrated throughout the community.



3. A balanced economic environment that empowers businesses and people to **thrive**.

What it looks like:

- People of all ages and backgrounds enjoy **financial stability**.
- Residents and visitors support an **abundance** of retail stores, restaurants, and entertainment venues.
- Our **business environment inspires** private investment and job growth for the purpose of increasing the tax base.
- Businesses and organizations of **all types, sizes** and specialties start, stay and grow here. (e.g. local networks and resources support businesses)
- We are a leader in **environmental sustainability**, benefiting our economy and community.

Executive Summary



4. People of all ages have what they need to feel **healthy and safe**

What it looks like:

- Neighborhoods are empowered and supported by strengthened positive **relationships with police**.
- **Youth are engaged** in positive and quality experiences.
- Aging adults have services and amenities to thrive and **age in place**.
- Everyone has access to quality healthy **food options**.
- People have access to quality **medical** and emergency care.



5. Partnerships that **increase** racial and economic **equity** empower residents and neighborhoods to prosper.

What it looks like:

- Each resident has **access** to the **training** and **support** needed to **get** and **keep** a **living wage** job. (e.g. Job skills training, **childcare**)
- Each student graduates high school with a pathway to college or career. (e.g. Pre-k, rec programs, BrookLynk)
- Aging neighborhoods and commercial centers are **revitalized** through continuous investment.
- The community provides necessary **supports** and **services** for community members to overcome life challenges such as hunger, mental illness, and homelessness.

Executive Summary



6. Effective and engaging government recognized as a leader.

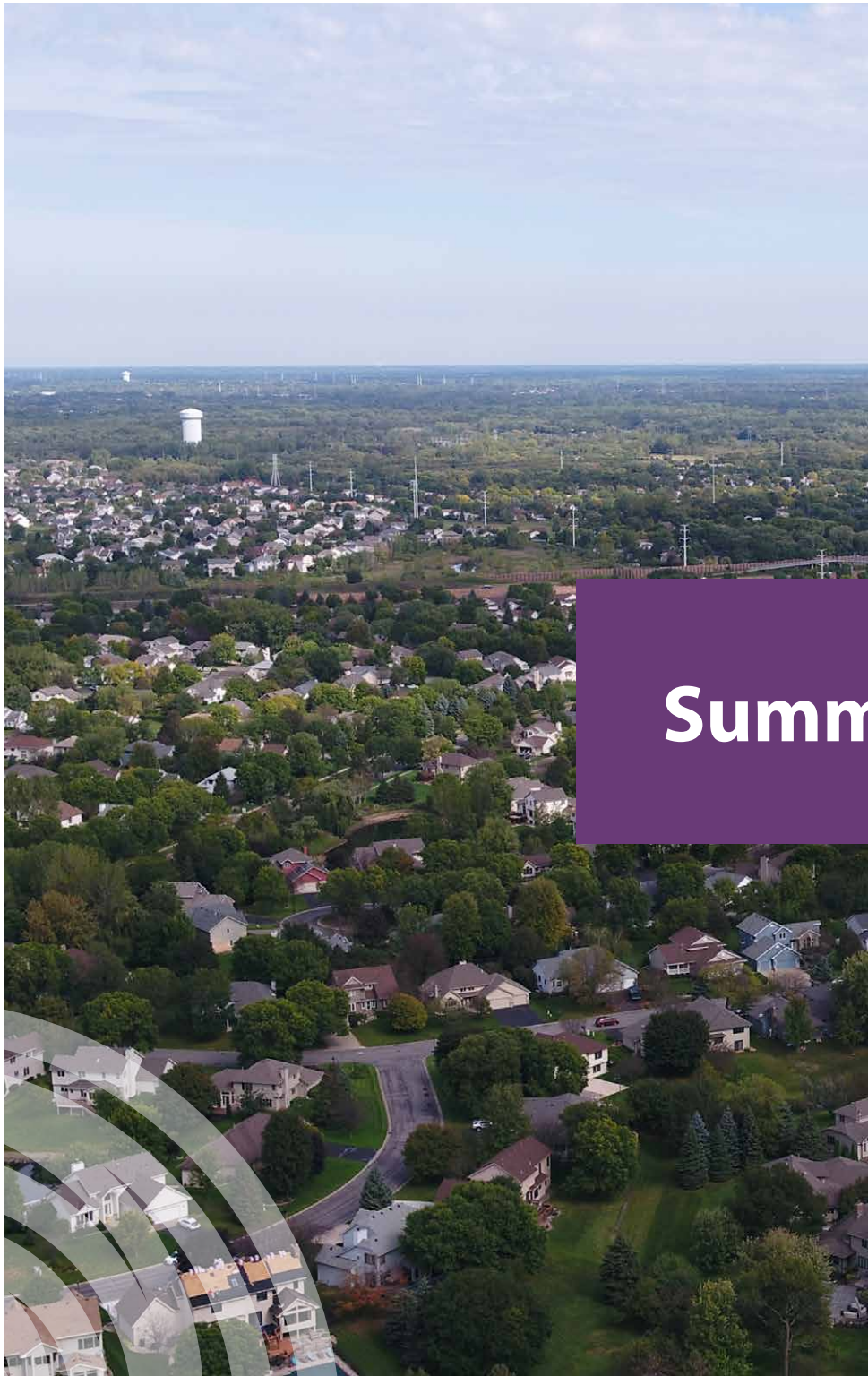
What it looks like:

- The City provides **quality services** at a **reasonable cost**.
- Elected **officials**, commissions, and city staff reflect the **diversity of the community** and are **culturally competent**.
- City information is **clear, accessible**, and delivered in ways that **meet the community's needs**.
- City laws are **understandable, equitably enforced, and relevant** to the community.
- The City is well-managed and recognized as a **great place to work**.



3

Summary of Key Findings



Summary of Key Findings

Brooklyn Park’s current ordinance does not reflect the goal of providing regulations that are responsive to the community’s needs, accessible, and clear. The issues to be addressed with this update fall into four broad categories: **substance; procedures; organization and maintenance; and policies.**

Substance.

The impetus for this update is the Brooklyn Park 2040 Comprehensive Plan. The City has a bold vision that necessitates revisions to its regulatory tools to enable and promote the build out of the City according to this vision. The comprehensive plan and recently adopted mixed-income housing policies advance the City as an equitable, united, and welcoming community. The current code is too

conventional, restrictive, and complex to successfully partner with residents, businesses, and the development community to realize this vision.

The American Planning Association’s Planning for Equity Policy Guide defines equity as “just and fair inclusion into a society in which all can participate, prosper, and reach their full potential.” (APA 2019) Broadly, we suggest the City address equity through zoning by focusing more on neighborhood building and the

supportive function of zoning than the use-separating function of zoning. Land use regulations have direct and measurable impacts on household affordability and choice. There are three broad categories where we identify areas of inequity in the City’s planning and zoning, but a lack of housing choice is perhaps the most critical category to address.

Residential: Brooklyn Park is a thriving community with a diverse population with diverse housing preferences and needs. Minimum lot size and unit size and width become arbitrary in mature communities where new and redevelopment often occur on (what have become) nonconforming lots. The code’s requirements for basements, garages, and storage space impose costly lifestyle requirements on by-right development. Single family housing is the prevailing unit type allowed by the code, with 7 of 10 residential districts being single-family districts. Limiting housing choice is not consistent with the City’s vision. Additional unit types should be considered in single family districts. “Missing Middle” housing is discussed later. What follows are examples of unit types that would blend seamlessly in a single-family zoning district and could be allowed by-right, with performance (design) standards.



Example of Stacked Duplex



This structure could be a duplex (side by side or stacked) or quadplex



This structure is a 5-unit multiplex but could be a single-family home, or anything in between.

Summary of Key Findings

Commercial: The standards for commercial development are auto centric. Commercial uses are segregated from each other and are separated from sidewalks and residential uses. The code promotes isolating commercial uses in some districts and in some, few commercial uses are allowed, or none are allowed by-right. While the purpose statement and design standards are clear and could support by-right development, there are no permitted uses in the Town Center Zoning District. All uses require approval of a Conditional Use Permit. The auto-centric and segregating nature of the commercial standards are inconsistent with the goal of creating vibrant commercial and mixed-use nodes and make it difficult to access jobs and local businesses as well as placing barriers on starting a business in Brooklyn Park.

Public Realm: The Comprehensive Plan and the City's goals talk extensively about welcoming, abundant, and accessible public spaces for all. The transit station area plans do a wonderful job of addressing the public realm. Existing commercial nodes will require retrofit to achieve such public spaces. Retrofitting existing nodes with streetscape amenities, robust crosswalks, context sensitive pocket parks, and achieving parking lot landscaping on private property will require participation by the City, landowners with new or redevelopment, and public-private partnerships.

Procedures.

Procedures are needed to support development of the residential, commercial, and public realm envisioned in the 2040 Comprehensive Plan and outlined in the City's goals. Through its procedures, the City engages private landowners in community building. Procedures should provide a clear and efficient path to enable the type of development the community envisions. The uses and form of development the City wishes to promote should be allowed by-right, by-right with performance

standards, or by approval from the City Council using a process that is transparent, reliable and efficient; where approval criterion are directly related to encouraging the development clearly defined in the ordinance. The more uses allowed by-right or by-right with performance standards the better. The code currently relies on conditional use permits (CUP) and application of the Planned Community Development District (PCDD) zoning designation to regulate uses and enable a desired form of development. Often, the uses

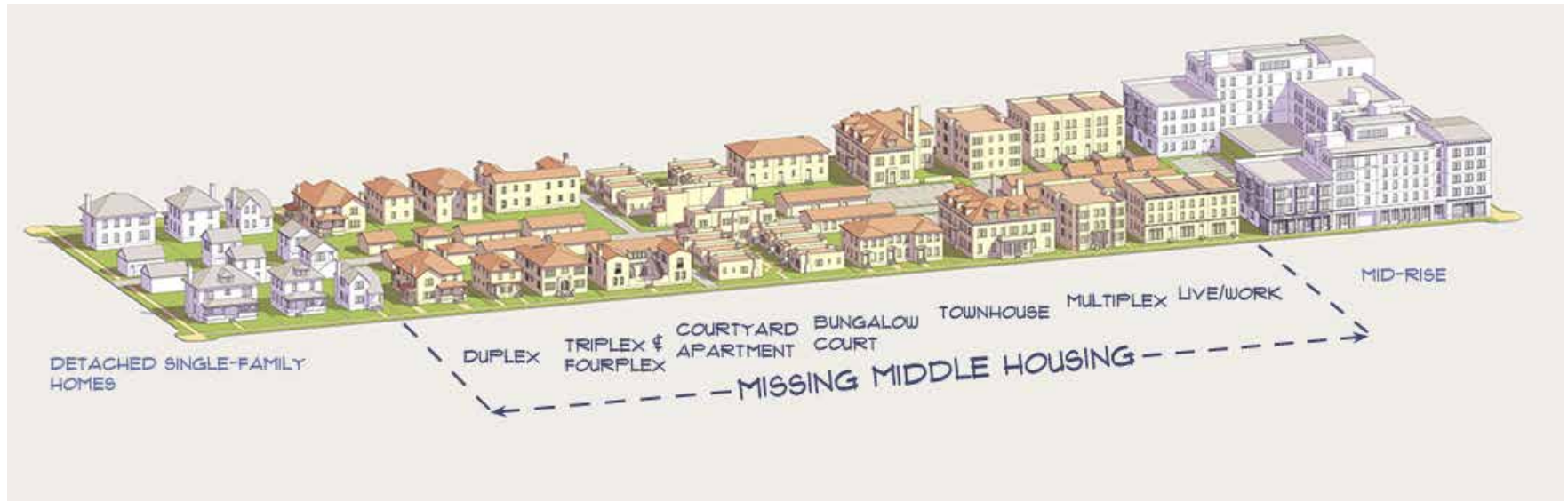
and desired development could be achieved by-right with performance standards or with fewer approvals.

Organization and Maintenance.

The code could be improved through maintenance alone. Consolidation of districts, modernization of uses and use tables, updates to reflect recent court cases, and elimination of unnecessary and repetitive provisions would result in a satisfactory code refresh but would not meet the City's goals. Brooklyn Park has a goal of being an effective

and engaging government that is recognized as a leader in this regard. To that end, city information should be clear, accessible, and delivered in ways that meet the community's needs. City laws should be understandable, equitably enforced, and relevant to the community. We will address sections from the code from which variances are frequently sought. Land use regulations should be consolidated into one document that is made easy to find and easy use on the City's website.

Summary of Key Findings



Policy Considerations.

In addition to changes related to the land use chapter of the comprehensive plans, there are policies in other chapters with zoning implications. Before finalizing the work plan, we are seeking direction on these policy matters. Major examples that would require changes to the zoning ordinance include:

Expanding Housing Choice. With the changes in the post-World War II

development patterns came changes in both the development and financial lending systems. These changes lent themselves to models of development that were narrowly focused and targeted to individual markets, such as single-family homes on large lots, large apartment complexes, commercial strip centers, and indoor malls. Each was developed and placed in isolation in contrast to the older patterns of neighborhoods where single-family, multifamily, and commercial were more

integrated and mixed. The art of both mixing these kinds of development and building smaller lower- and middle-density housing types were lost.

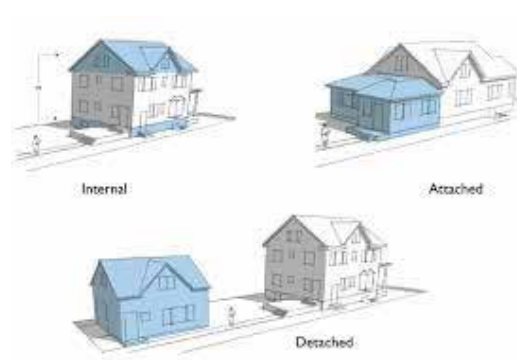
These “Missing Middle” housing types continue to provide a range of housing choices in scale with nearby single-family residential uses and provide a residential intensity that help support neighborhood centers. Existing in between single-family development and higher intensity and mixed-use residential development, the Missing

Middle housing types provide the housing that is needed and desired by a broader range of age groups and the full spectrum of income levels. Providing a full range of housing options is critical to the prosperity of Brooklyn Park’s residents and employers.

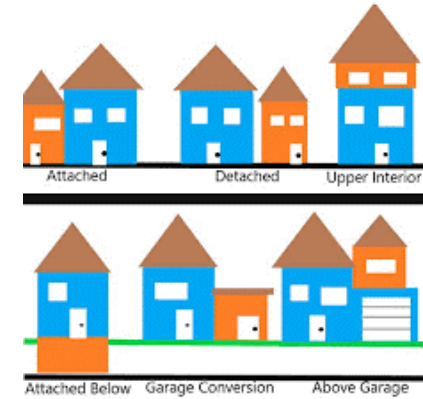
Summary of Key Findings

A place to start to increase housing choice and affordability within the current single-family zoning structure is Accessory Dwelling Units. An accessory dwelling unit (ADU) is a smaller, independent residential dwelling unit located on the same lot as single-family home. ADUs provide an opportunity to house a family member, gain additional income, and provide attainable housing for others. ADUs go by many different names throughout the country, including accessory apartments, secondary suites, mother-in-law suites, and granny flats. ADUs can be converted portions of existing homes, additions to new or existing homes, or new stand-alone accessory structures or converted portions of existing stand-alone accessory structures. ADU ordinances often address lot size, unit placement, parking, and design criteria. The zoning code specifies the allowed ADU types. Examples include:

- an apartment over the garage;
- a small living quarters on a separate foundation in the backyard;
- a space within the primary residence with a separate entrance; or
- a space within the primary residence using the same entrance as the homeowners.



Example of Accessory Dwelling Unit Types



Detached



Attached to Primary Dwelling



Interior to Primary Dwelling



Attached to Accessory Structure

Summary of Key Findings

Mixed-Income Housing Policy. To further the housing goals of the 2040 Comprehensive Plan and Brooklyn Park 2025, the City of Brooklyn Park has adopted a policy to create and preserve affordable housing opportunities. The City recognizes the need to provide affordable housing to households of a broad range of income levels in order to support a diverse population and to provide housing for those who live or work in the City. The requirements are intended to provide a structure for participation by both the public and private sector in the production of mixed-income housing developments across the city. Specifically, affordable rental housing is to be required when 10 or more residential units are developed and receive:

- i. A Comprehensive Plan amendment;
- ii. A zoning code or map amendment;
- iii. Approval of a PUD; or
- iv. Financial assistance from the City or Economic Development Authority (EDA)

Developers may choose from the following:

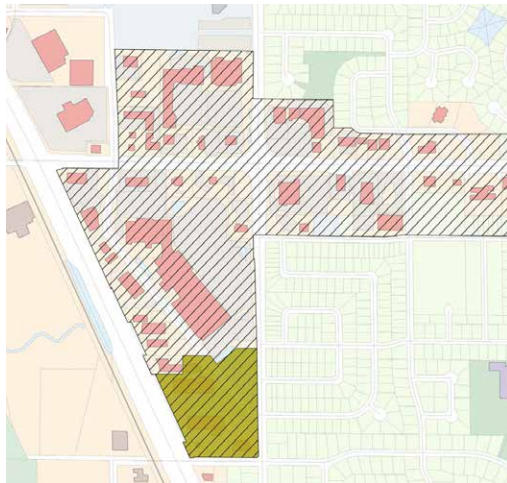
Options	Minimum Number of Affordable Units Required	Minimum Affordability Standard
1	At least 5% of total project units	Affordable for households at 30% Area Median Income (AMI)
2	At least 10% of total project units	Affordable for households at 50% Area Median Income (AMI)
3	At least 15% of total projects units	Affordable for households at 60% Area Median Income (AMI)

Additional terms include, but are not limited to:

- I. An affordability term of at least 20 years.
- II. The ability to provide units or enable the provision of affordable units off-site. The ordinance should include details and options for meeting the requirement off-site
- III. The City may grant incentives to developments providing affordable housing, such as relief from specific zoning provisions. Would these incentives be written into the zoning district or considered as part of a development agreement?
- IV. The City may grant a minimum 10% density bonus for the provision of affordable rental housing units. Would this density bonus be written into the zoning district or considered as part of a development agreement?

Summary of Key Findings

Transit Oriented Development. One major change in the development pattern of the City since the last comprehensive plan is the planned introduction of light rail service at several station areas in the western part of the City. Station Area Plans are included in the Comprehensive Plan and the City has done some work establishing a Transit Oriented Zoning Overlay District. Most of the recommendations in the station area plans have been incorporated into the TOD Overlay, but there are a few outstanding items which are included in the work plan. We seek direction on which components of the station area plans should be built by developers, which will be built by the City, and which would be appropriate for a public-private partnership.



Transit Oriented Development Overlay

Economic Development. The Comprehensive Plan sets a goal of 50,000 jobs by 2040 (25,000 exist as of 2017). It is important to be able to understand how land use translates to jobs. The City should consider establishing an employment density ratio. Currently, the City has an overall employment density of 2.4 employees per thousand sq ft. Generally, the following accepted ratios would assist in monitoring progress toward achieving the goal.

- i. Office – 5 jobs per 1,000 sq ft
- ii. Industrial 2 jobs per 1,000 sq ft
- iii. Institutional – 5 jobs per 1,000 sq ft
- iv. Commercial – 4 jobs per 1,000 sq ft
- v. Medical – 4 jobs per 1,000 sq ft

For example, a 3,000 sq ft commercial space would yield 12 jobs; a 125,000 sq ft office building would yield 625 jobs; and a 20,000 sq ft industrial space would yield 40 jobs. If the goal is simply to increase the number of jobs in the City of Brooklyn Park, institutional and office uses would be best. However, these may have the greatest impacts on traffic and the lowest benefit to the City's tax base. The vibrant mixed-use community envisioned in the Comprehensive Plan and Brooklyn Park 2025 enable all of these uses and so the impact of one use would likely be offset by another use.



Oak Grove Station

4

Work Plan



Work Plan

The work of a zoning code update involves a broad, strategic look at the code, relative to the planning framework in which the update is taking place, as well as a detailed look to address common issues with zoning codes. The planning framework includes the existing conditions in Brooklyn Park as well as the 2040 Comprehensive Plan, Brooklyn Park 2025 and the current land use regulations (the City Code sections to be included with this update). With that in mind, we start with broad recommendations to modernize the code and then move on to necessary and suggested updates to the code and zoning map to realize the vision for the City of Brooklyn Park. Fundamental to realizing the vision for the City will be addressing the policy issues described above and adding them to this work plan. As we draft zoning updates, we will provide a range of options to address the policies through zoning.

Compliance with the Comprehensive Plan. We have identified code changes necessary for compliance with the Comprehensive Plan. The Metropolitan Council requires that all official controls be updated within nine months of the Plan's adoption. The zoning ordinance must incorporate the tools to enable private development to meet the City's vision. Some of the key changes that need to be made include:

- a. Ensure densities in all residential districts meet densities prescribed in the comp plan
- b. Ensure districts reflect the Future Land Use Plan designation
- c. Create a mechanism for tracking the mix of uses (as a percentage of area or floor area) as a whole where allowed/required districtwide.
- d. Enable affordable housing and senior housing near transit
- e. Require pedestrian connection to transit in high density housing and commercial areas.
- f. Modify the zoning near station areas to meet minimum density requirement of 20 units per acre

- g. Create a Mixed-Use district reflecting the Mixed-Use designation on the Future Land Use Plan

Per direction from the Metropolitan Council, cities will not be required to proactively rezone property so that it is in compliance with the Future Land Use map of the comprehensive plan. However, there may be some general changes the City wishes to consider at this time. For example, the City should consider whether changes should be made to the following areas.

- i. Areas North and west of 610/169 to be rezoned for mixed use
- ii. Parcels just north of 94 and east of 169 to be rezoned for mixed use
- iii. B2 parcel to the south of 610, west of 169 to be rezoned for mixed use

Ease of Use. To make administering the ordinance easier, there are several districts that we recommend for consolidation, as they are nearly identical. During the consolidation process, it is important to take inventory of the existing conditions in these areas to make sure that the new districts reflect the existing character and development patterns.

- a. Consider consolidation of single-family residential districts (R-2 through R3A). This would consolidate five zoning designations into one, with no change to the purpose (single-family detached residential) and land use guidance (low density residential).
- b. Consider consolidation of multi-family residential districts (R5-R7). The primary difference between these designations is that R5 does not allow for more than two stories. This form of development can be achieved other ways within the current ordinance. The R6 and R7 designations both call for multi-story development in areas guided for high density residential development.

Work Plan

Existing Zoning Districts

Zoning District		Description
R-1	Urban Reserve	Allows for the orderly phasing and development of land until city services, including sanitary sewer, storm sewer, and water, are extended into the area; Typically requires significant amounts of open land area such as athletic and cultural facilities, country clubs, government buildings, educational uses, and land reclamation; Short-term agriculture uses and very low density residential uses and those accessory uses customarily incidental to them.
R-2	Detached Single-Family Estate	Large lot detached single-family dwellings
R-2B	Detached Single-Family Residential	Detached single-family dwellings
R-3	Detached Single-Family Residential	Detached single-family dwellings
R-3A	Detached Single-Family Residential	Detached single-family dwellings
R-4	Detached Single and Attached Two-Family Residential	Detached single and attached two-family dwellings
R-4A	Townhouse	Low or medium density attached residential dwellings
R-4B	Detached Single Family	Low or medium density single family homes within association-maintained communities
R-5	Multiple Family Residential	Two story multiple family structures
R-6	Multiple Family Residential	Multiple family dwellings over two stories
R-7	Multiple Family Residential	Multiple family dwellings
B-1	Office Park	Office uses, with other accessory retail and service uses offered on site to serve the primary use or their employees
B-2	Neighborhood Retail Business	Commercial or mixed use development centers for retail sales and services that serve the adjacent neighborhoods and to preserve and protect the general character of the adjacent areas.
B-3	General Business	Centralized areas for commercial or mixed use development that have a community or regional customer base in that they generally draw customers from farther away than the adjacent neighborhoods
B-4	Vehicle Sales and Showroom	Vehicle sales businesses that draw from a regional customer base and has outdoor storage, display and/or sales of vehicles and/or recreational equipment

Work Plan

Existing Zoning Districts

Zoning District		Description
BP	Business Park	Office, commercial, industrial, or mixed use that enhance the city’s tax base, have few customers coming to the site, but may have a large employee base, involve manufacturing, warehousing, office uses, and other accessory retail and service uses offered on site to service the primary use or their employees.
I	General Industrial	Warehousing and industrial uses that may present negative off-site impacts to adjacent properties and are potentially environmentally sensitive due to the characteristics of the use of the property, and/or have an extensive amount of outdoor storage requirements.
PCDD	Planned Community Development District	Designed for use where the general areas contain a unique physical or recreational feature or require detailed, coordinated planning efforts to achieve specific goals.
PUB	Planned Unit Development	Development that is in compliance with the land use designation that allows innovation in development standards.
TC	Town Center	High quality, comprehensively designed commercial and residential neighborhoods with developments designed to promote walking, bicycling and transit use.
CD	Conservancy	Valuable environmental qualities which are to be preserved as park or open space amenities and to prevent the over-crowding of land, to avoid undue concentration of population, a specific public purpose, and/or alleviate the burden of development from environmentally sensitive lands.
PI	Public Institution	Public buildings, uses and needs that otherwise may not fit into other zoning districts because of their specialized land use needs and public purpose.
VR	Village Redevelopment	Implement the goals and objectives of the Village Redevelopment Plan and to define strategies and design standards for the implementation of the Plan. The district is intended to promote creative and efficient use of land within the Redevelopment District by providing flexibility in design and to allow mixed land uses while encouraging compact and pedestrian oriented development

Work Plan

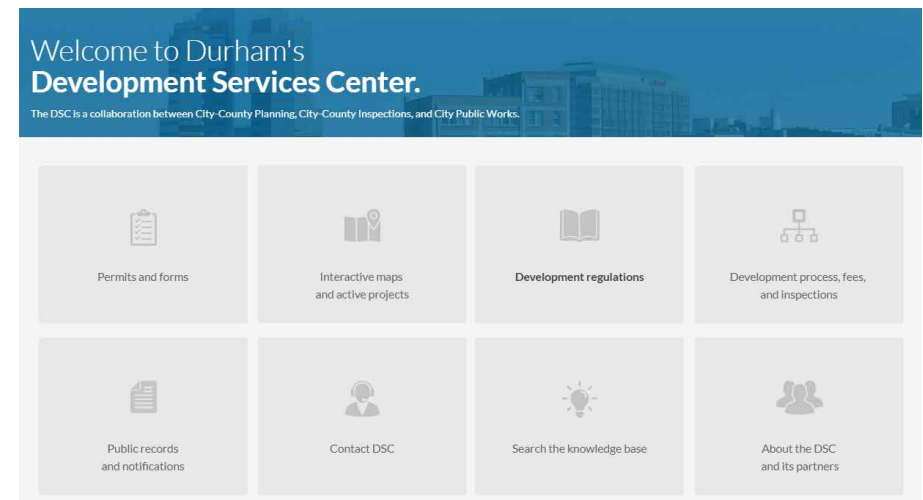
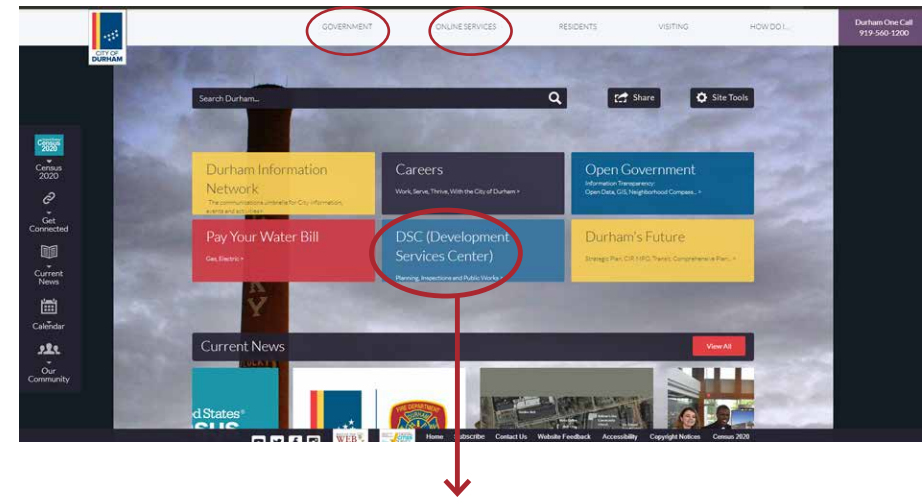
Maintenance. Federal and state law relating to zoning and land use are consistently changing and this update provides an opportunity to ensure compliance with changes to laws such as:

- a. Federal Telecommunications Act
- b. Fair Housing Act Amendments
- c. Americans with Disabilities Act
- d. Religious Land Use and Institutionalized Persons Act
- e. In 2011 MN Statute changed regarding the threshold for obtaining a variance. The threshold had been the requirement to demonstrate that the code represented an undue hardship but that changed to practical difficulty. Both standards are currently referenced in the ordinance.

Accessibility of the Code. Brooklyn Park has a goal of being an effective and engaging government that is recognized as a leader in this regard. City information should be clear, accessible, and delivered in ways that meet the community’s needs. City laws should be understandable, equitably enforced, and relevant to the community.

- a. On-line Presence. Successful engagement with planning and zoning customers outside of City Hall requires an on-line experience that is reflective of the way online searches are conducted today. From the homepage of the City’s website, it should be clear how to find the planning department or find planning and zoning information. Getting from the homepage to the planning department should only take one click. The City’s website should enable developers, potential residents, and prospective businesses to buy into the City’s vision. What follows is an example of this “one click” approach.

Sample Website





Work Plan

- b. Ineffective Digital Code. A digital zoning code should be a tool to improve the usability and clarity of the code. A zoning code update is an opportunity to address outdated and unrefined formatting and user interface that is unclear and does not enable effective engagement with government. There can be a tension between the hosting website for the City Code and the city's goals for their on-line presence. Resolving this tension may require a more comprehensive departmental webpage where the desired information is presented in a context sensitive and user-friendly manner.

Unified Development Code. We recommend consolidating the City regulations governing land use and development into a Unified Development Code (UDC). The UDC is the official body of rules and regulations to guide land use and development. It is a document in which traditional zoning and subdivision regulations are combined with other desired city regulations such as design guidelines and water management. It serves as a local policy instrument in implementing the City's land use plans and goals.

We have created an outline of a UDC for the City of Brooklyn Park which can be viewed on the next page.

Work Plan

Proposed Unified Development Code Structure

Article 1. General Provisions	
Article 2. Zoning Districts	
Article 3. Permitted Uses	
<ul style="list-style-type: none"> A. Permitted Use Table B. Use Specific/ Performance Standards 	
Article 4. Development Standards	
<ul style="list-style-type: none"> A. Dimensional Standards B. Building Form Standards C. Connectivity and Circulation D. Parking and Loading E. Landscaping F. Screening and Fences G. Signs* H. Stormwater Management* I. Sustainability Standards J. Design Standards K. Exterior Lighting L. Housing and Property Maintenance Code* M. Plat Design* N. Maintenance and Operating Standards 	
	Article 5. Administration and Procedures
	<ul style="list-style-type: none"> A. Summary Table (new feature) B. Reviewers and Decision-Makers (new feature) C. Review and Approval Procedures <ul style="list-style-type: none"> a. Comprehensive Plan adoption or amendment b. UDC Text or zoning map amendment c. Subdivision plat approval or amendment* d. Vacation of Street* e. Variance (sign, lot, structure) f. Conditional use g. Interim use h. Temporary use i. Site plan j. Administrative Review k. Zoning permit l. Building permit* m. Certificate of occupancy* n. Accessory home share permit (Airbnb) D. Nonconformities E. Enforcement and Penalties
	Article 6. Definitions
	<ul style="list-style-type: none"> A. Rules of Constructions B. Definitions
	Appendix: Zoning Map

Work Plan

What follows is a typical approach to addressing uses and establishing districts in a Unified Development Code.

1. Analyze and consolidate zoning districts
2. Create a use table based on broad use categories and use-specific performance or design standards for the use whether by-right or conditional use permit.
 - a. Residential Use Categories. For each subcategory, provide its characteristics, accessory uses, examples, and exceptions.
 - i. Group living
 - ii. Household living
 - b. Commercial Use Categories. For each possible subcategory, provide its characteristics, accessory uses, examples, and exceptions.
 - i. Commercial Outdoor Recreation
 - ii. Commercial Parking
 - iii. Quick Vehicle Servicing
 - iv. Major Event Entertainment
 - v. Office
 - vi. Retail Sales and Service
 - vii. Self-Service Storage
 - viii. Vehicle Repair
 - c. Industrial Use Categories. For each possible subcategory, provide its characteristics, accessory uses, examples, and exceptions.
 - i. Bulk Fossil Fuel Terminal
 - ii. Industrial Services
 - iii. Manufacturing and Production
 - iv. Railroad Yards
 - v. Warehouse and Freight Movement
 - vi. Waste Related
 - vii. Wholesale Sales
 - viii. Enable medical device and technologies, biosciences, precision manufacturing, R&D facilities, and professional offices (employment-focused uses)
 - d. Institutional Use Categories. For each possible subcategory, provide its characteristics, accessory uses, examples, and exceptions.
 - i. Basic Utilities
 - ii. Colleges
 - iii. Community Services
 - iv. Daycare
 - v. Medical Centers
 - vi. Parks and Open Areas
 - vii. Religious Institutions
 - viii. Schools
 - e. Mixed Use
 - i. Check Town Center district for appropriate allowable uses and densities to match future land use map in the vicinity of Zane and 610
 - ii. Include allowance for mixed use in the neighborhood retail (B2) district (or rewrite this district as a mixed-use district)
 - f. Transit Oriented Development

Work Plan

- i. Density / activity: right now, there are no minimum density or FAR requirements
 - 1. Recommended 20 units/acre for any residential
 - 2. Target 40-75+ units/acre
 - 3. Min. activity threshold 7,000 residents, jobs or students within station areas (min. FAR?)
- ii. Density / activity: right now, there are no minimum density or FAR requirements
 - 1. Add crosswalk requirements (one mention of mid-block crossings in TOD-G District) – safe crossings
 - 2. Require interior connections / pedestrian improvements on private property (i.e.- through parking lots, to building entrances)
 - 3. Require pedestrian connections to public non-motorized network
 - 4. Include requirements for short- and long-term bicycle storage
 - 5. Consideration/incentives for public art?
 - 6. Consider restrictions on first floor residential in TOD-C?
 - 7. Require vehicular access in rear lanes, alleys or side streets (some of this is in there now)
- iii. Parking
 - 1. Include reduced parking ratios for all uses in the TOD districts (there is currently an allowance for a 10% reduction in required parking within ¼ mile of a transit stop, but this needs to be revised and made more specific)
 - 2. Also, in general, consider allowing for parking reductions in other circumstances outside of the PUD process (such as shared uses, presentation of demand information, provision of car sharing spaces, proximity to on-street public parking or parking structures and others)
 - 3. Incentivize structured parking
- g. Other Possible Use Categories. For each subcategory, provide its characteristics, accessory uses, examples, and exceptions.
 - i. Agriculture
 - ii. Aviation and Surface Passenger Terminals
 - iii. Detention Facilities
 - iv. Mining
 - v. Radio Frequency Transmission Facilities
 - vi. Rail Lines and Utility Corridors
 - vii. Enable solar energy systems



Memorandum

To: Erin Perdu, AICP

From: Molly Just, AICP

Date: 8/25/20

Re: Brooklyn Park Code Update: Review for Consistency with State and Federal Law
WSB Project No. 015207

What follows are my findings on review of the City's ordinance for consistency with certain elements of state and federal law. These findings do not replace those of an attorney. My findings are based on my experience with the subject matter and my knowledge of best practices.

Federal Telecommunications Act

City Code Chapter 102 complies with current laws and the League of Minnesota Cities (LMC) model codes on Right-of-Way Regulations and Undergrounding.

Fair Housing Act Amendments (FHAA)

Under the FHAA, the definition of family shall not be applied to prevent reasonable accommodation for handicapped persons. The Minnesota Department of Human Services licenses such housing which is further regulated by local zoning ordinances. Generally, small facilities (1-6 person(s)) should be a permitted use where detached single-family dwellings are allowed. Medium facilities (7-16 persons) should be allowed by Conditional use Permit (CUP) where multiple family structures are permitted. Some communities also provide for large facilities (17-32 persons) but the City is not obligated to do so. I suggest the following changes to the City's ordinance

152.008 Definitions:

FAMILY. An individual or two or more persons each related by blood, marriage, or adoptions, including foster children, living together as a single housekeeping unit; or no more than four unrelated persons maintaining a common household and using and maintaining common cooking and kitchen facilities as distinguished from a group occupying a boarding or rooming house, or licensed ~~day care~~ residential facility.

LICENSED RESIDENTIAL FACILITY (~~GROUP HOME~~). A facility required to be licensed by the state or county that provides one or more persons with 24 hour per day substitute care, food, lodging, training, education, supervision, habilitation, rehabilitation or treatment that cannot be furnished in the person's own home. Licensed residential facilities (~~Group Homes~~) are limited to those facilities licensed and/or regulated by the Department of Human Services and the Department of Health. This does not include licensed facilities whose primary purpose is to treat juveniles who have violated criminal statutes relating to sex offenses or facilities licensed by the Department of Corrections.

Or adopt this simpler definition

LICENSED RESIDENTIAL FACILITY. A facility where one (1) or more persons reside on a twenty-four-hour per day basis under the care and supervision of a program licensed by the Minnesota Department of Human Services (DHS). Community residential facilities shall not include facilities that are also eligible for licensure by the Minnesota Department of Corrections (DOC).

While detached single-family dwellings are not permitted in the R-5 – R-7 districts, consider permitting small facilities in these zones.

As multiple family dwellings are allowed by CUP in the B-2 and B-3 business districts, I suggest allowing medium facilities by CUP in these districts.

While I am hesitant to suggest adding regulations for this type of use, it is common and reasonable to apply spacing and compatibility standards to prevent clustering of facilities and promote neighborhood fit. To that end, the following may be reasonable:

(1) The use shall be located at least one-fourth (¼) mile from all existing community residential facilities.

(2) To the extent practical, all new construction or additions to existing buildings shall be compatible with the scale and character of the surroundings, and exterior building materials shall be harmonious with other buildings in the neighborhood. and

(3) An appropriate transition area between the use and adjacent property shall be provided by landscaping, screening, and/ or other site improvements consistent with the character of the neighborhood.

Americans with Disabilities Act (ADA)

The ADA provides that a person with a disability, or an organization serving people with disabilities, is entitled to a reasonable accommodation, meaning an exception to the requirements of a comprehensive plan or zoning code. Accessibility is most frequently addressed in zoning by allowing modifications to setbacks to allow for ramps. Currently only the front and rear setbacks may be modified and only in Residential zones. This modification is not allowed in Business districts. I suggest enabling modifications to all setbacks in all zones. The adjustments are depicted below.

Religious Land Use and Institutionalized Persons Act (RLUIPA)

The law mandates that land-use regulations grant "equal treatment" to a religious assembly or institution as compared with secular assemblies or institutions; not discriminate against any assembly or institution based on religion or religious denomination; and not impose or implement a land-use regulation that totally excludes religious assemblies from a jurisdiction or unreasonably limits religious institutions within a jurisdiction. RLUIPA does not exempt religious uses from land-use regulations.

Currently, the City's ordinance allows churches as a permitted use in all Residential districts and all Business districts except Business Park (BP) and General Industrial (I) districts where they are not permitted. While the use is allowed "by-right" Site Plan approval is required, and the use is further regulated in Section 152.181 (attached as Exhibit LLL).

I suggest that the Site Plan process is not the right tool for considering this use and that the additional use standards in 152.181 are somewhat arbitrary.

I suggest the City allow the use by Conditional Use Permit (CUP) in all districts. This is a commonly used way to review the use on a case-by-case basis and apply conditions as may be appropriate. This is also a way to enable the City to review the use as it may change. Contemporary religious institutions change and adapt to serve their communities. The approval procedure for a Conditional Use Permit is generally the same as for a Site Plan. Site Plan approval would still be required if triggered by Section 152.033.

Where the use would collocate within an established primary use, I suggest the use be allowed on an interim basis, though an Interim Use Permit (IUP), pursuant to Section 152.193-196

Lastly, I find the parking requirement is high at 1 space per 2.5 seats or 1 space per 22 inches of pew space. I suggest 1 space per 3 persons at the maximum occupancy load of the main assembly hall. Furthermore, where the use is part of a large retail center complex, consider allowing 1 space for every 4 persons. Shared parking arrangements should also be considered.

Variance

Minnesota statutes delegate to local governments the authority to approve a variance. In 2011, statute was revised to reduce the threshold for approval of a variance. The threshold was reduced from undue hardship to practical difficulty. The City's variance provisions are clear and succinct but there are some inconsistencies. I suggest adoption of the model variance language provided by the LMC which is provided below and deleting the definition for undue hardship.

~~**UNDUE HARDSHIP.** Undue hardship, as used in connection with the granting of a variance, means that the property in question cannot be put to a reasonable use if used under conditions allowed by the controls defined in this chapter, the plight of the landowner is due to circumstances unique to the property not created by the landowner, and the variance, if granted, will not alter the essential character of the locality. Economic considerations alone may not constitute an undue hardship if reasonable use for the property exists under the terms of the chapter. Undue hardship also includes, but is not limited to, inadequate access to direct sunlight for solar energy systems and ability to construct earth sheltered homes when in harmony with this chapter.~~

Conditional Use Permit (CUP)

Minnesota statutes delegate to local governments the authority to approve a CUP. Conditional uses are generally allowed but they must be reviewed on a case-by-case basis for impacts inherent in the use itself or impacts that its proposed location may present. State statute provides that a CUP is in effect as long as the conditions of approval are met. City code Section 152.035 provides the process for CUPs in Brooklyn Park. I suggest staff consider making the following changes as statute does not clearly provide for revocation other than for noncompliance. Staff may want to confer with the City Attorney on this matter.

(F) *Duration.* The Conditional Use Permit remains with the property as long as the property and use are in compliance with the conditions attached to the permit by the City Council. ~~A Conditional Use Permit expires if the use has been discontinued for more than 364 consecutive days from the date that the use ceased or the business owner fails to meet the certification requirement of the Conditional Use Permit. The revocation of the Conditional Use Permit may be recorded with the county by the city.~~

Nonconformities

Minnesota statutes provide for the continuation of use or occupation of land or premises in a manner no longer allowed by local ordinance. In 2004, statute changed to prohibit amortization of nonconformities, except for adult uses. While nonconformities may continue, including through repair, replacement, restoration, maintenance, and improvement, they may not be expanded.

I suggest that the City revise its provisions for nonconformities (Section 152.050 – 152.055) to refer to statute, which may change from time to time. The suggested approach is simple, concise, and less likely to be misinterpreted. The suggested language is included below.

Suggested changes for compliance with the Americans with Disabilities Act (ADA)

REQUIRED LOT AREA AND DIMENSIONAL REQUIREMENTS FOR RESIDENTIAL DISTRICTS

152.222.02 (B) *Front setbacks* (measured in feet, from the property line):

~~—(5) Handicap access ramps may encroach into the front setback in order to meet the running slopes required by the Minnesota Accessibility Code.~~

152.222.04 (D) *Rear setbacks* (measured in feet, from the property line):

~~—(2) Handicap access ramps may encroach into the rear setback in order to meet the running slopes required by the Minnesota Accessibility Code.~~

(G). Accessible building entrance components may encroach into the setback in order to meet the running slopes required by the Minnesota Accessibility Code.

REQUIRED LOT AREA AND DIMENSIONAL REQUIREMENTS FOR BUSINESS DISTRICTS

152.322 Principal buildings and accessory structures must comply with the following setback restrictions from property lines within the business districts:

(F). Accessible building entrance components may encroach into the setback in order to meet the running slopes required by the Minnesota Accessibility Code.

Suggested changes for compliance with statutes for variances

152.034 VARIANCE

(A) Purpose. Pursuant to Minn. Stat. Sec. 462.357, subd. 6, as it may be amended from time to time, the City Council, acting as a Board of Appeals and Adjustments, may issue variances from the provisions of this zoning code. A variance is a modification or variation of the provisions of this zoning code as applied to a specific piece of property.

(B) Review Standards.

(1) Variances shall only be permitted

- i. when they are in harmony with the general purposes and intent of the ordinance and
- ii. when the variances are consistent with the comprehensive plan.

(2) Variances may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the zoning ordinance.

"Practical difficulties," as used in connection with the granting of a variance, means that

- i. the property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance;
- ii. the plight of the landowner is due to circumstances unique to the property not created by the landowner; and
- iii. the variance, if granted, will not alter the essential character of the locality.
- iv. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.

(C) Procedure. The procedures for application and public hearing of a variance request is described in Sec.152.031

(D) Conditions. Variances shall be granted for earth sheltered construction when in harmony with the ordinance. The board of appeals and adjustments may not permit as a variance any use that is not allowed under the zoning ordinance for property in the zone where the affected person's land is located. The board may permit as a variance the temporary use of a one family dwelling as a two-family dwelling. The board may impose conditions in the granting of variances. A

condition must be directly related to and must bear a rough proportionality to the impact created by the variance.

Suggested changes for compliance with statutes for nonconformities

152.050 Purpose.

It is the purpose of this subchapter to provide for the regulation of non-conforming buildings, structures, uses, and lots, and to specify those requirements, circumstances, and conditions under which non-conforming buildings, structures, uses, and lots will be operated, maintained, and regulated. It is necessary and consistent with the establishment of this chapter that non-conforming buildings, structures, uses, and lots not be allowed to continue in compliance with Minnesota Statutes §462.357, Subd. 1e. Nonconforming uses at the time of the adoption of this Chapter shall be allowed to remain so long as the use is not expanded or expired.

152.051 Conditional Uses

Any established use, building or lot legally existing prior to adoption of this ordinance and which is herein classified by this Chapter as requiring a CUP may be continued in like fashion and activity and shall automatically be considered as having received CUP approval. Any change to such a use or building shall however require a new CUP be processed according to 152.035.

152.052 Interim Uses

Any established use, building or lot legally existing prior to adoption of this ordinance and which is herein classified by this Chapter as requiring an IUP may be continued in like fashion and activity and shall automatically be considered as having received IUP approval. Any change to such a use or building shall, however, require a new IUP be processed according to 152.035.



Memorandum

To: Brooklyn Park Planning Commission Members
 CC: Cindy Sherman, Planning Director

From: Erin Perdu, Planning Consultant

Date: 08/20/2020

Re: Zoning Update
 WSB Project No. 015207

Project Update/Overview

Since our last meeting (just before COVID-19), we have been working to implement the zoning changes discussed as part of the Zoning Diagnosis. Those have focused on changes required by the comprehensive plan, including updating density requirements in some districts and creating a transit station-area overlay. Other work has been done on modifying/creating mixed use districts to meet the intent of the Comprehensive Plan as well as adding some additional standards to the TOD district.

We have had much help from planning staff, and we have met with both planning and housing and economic development staff for feedback. We are now bringing forth the work done to date for confirmation, feedback and direction from the Planning Commission.

Residential Densities

First, we revised minimum lot sizes in the existing zoning districts to match with the future land use categories in the Comprehensive Plan (shown in Attachment A). Note that these minimum lot sizes/maximum densities are carried over into the proposed district consolidations discussed in the next section. These changes mean that the maximum allowable densities in the comprehensive plan would be allowed in the associated zoning districts.

Also, to conform to the Comprehensive Plan's requirement that density within ½ mile radius of the new light rail station areas must be at least 25 units per acre, we have created a Light Rail Station Overlay District (Attachment B).

Residential Consolidations (Attachment C)

Districts R-2, R-2A, R-2B, R-3, and R-3A were consolidated into one district, R-2. Those districts essentially shared the same purpose: accommodating detached single-family structures. Aside from minor location standards, the most significant difference between them was the minimum lot area. And among those districts, there are already lots that do not meet their respective district's minimum lot area requirement. So, to avoid a significant number of nonconforming lot sizes after consolidation, the minimum lot area for the new R-2 District is 9,750 square feet.

The current R-4B District has been maintained and renamed R-3. Consolidation was not warranted as lots within this district are approximately 5,000 square feet and exclusively feature detached, single-family residential structures.

Districts R-4 and R-4A were consolidated into one R-4 District. This new district now has both detached and attached single-family residential structures. It is set up with a minimum lot area standard that differs based on residential type. If a lot in the new R-4 District holds one townhome

unit as part of multiple townhome development, the minimum for that single unit is 3,600 square feet. If there is detached residential structure on a lot in the R-4 District, the minimum area of that lot is twice that of a townhome lot, or 7,200 square feet. This consolidation recognizes that some lots accommodating townhomes are mixed among lots with detached single-family structures, or are immediately adjacent to detached, single-family residential developments.

The proposed consolidation now shows only two multifamily districts as opposed to the current three. R-5 and R-6 are now R-5; R-7 has been renamed R-6. A significant difference between the new R-5 and R-6 is the density range for each, R-6 having a higher range than R-5. In addition to consolidation, some standards were altered, such as the removal of height restrictions, a lower minimum lot width, and smaller setbacks.

As part of this consolidation, we have also posed some questions that will help us address equity issues as we move forward with zoning updates. These are on the last page of the attachment and restated below.

Mixed Use District (Attachment D)

The Comprehensive Plan includes a new mixed-use district designation. The designation is located mostly in the City's northwest corner and so is written with that area in mind. Consistent with the Comprehensive Plan guidance for the new designation, highlights of the Northwest Mixed-Use District (NWMUD) district include the following:

- Residential density between 12 and 50 units per acre
- Medium to large scale development consisting of medium to high intensity office, residential, retail, restaurant, and service uses in a suburban setting
- At least 30% of the land area is to be developed with residential uses
- Outside the highway 610 and 169 corridors, a mix of residential densities and unit types may be considered mixed use
- Compliance with the Mixed-Income Housing Policy is required and bonus residential density up to 10% may be considered by the City Council

Removal of Town Center District (Attachment E)

As part of the strategy for changing how the City regulates Mixed Use, we discussed several options for changing the Town Center District to better reflect the aspirations of the Comprehensive Plan. In the end, the consensus from the team was to work toward eliminating the Town Center district and reverting to other existing districts. We came to this conclusion largely based on the fact that the Town Center district has not produced the type of development that was envisioned. Town Center also requires a Conditional Use Permit for all uses established in the district, something Planning Commission and staff want to move away from.

The proposed rezoning of lots within the Town Center District was informed by conversations with staff, alignment with the underlying land use described in the 2040 Comprehensive Plan, and observation of existing development patterns within the area.

A map showing the proposed rezonings is in Attachment E.

Questions and Considerations for Discussion

As you read through the attached materials in preparation for the work session, please consider the following questions that we will discuss at the meeting:

- Do you have any concerns with the proposed district consolidations? Are there any development rights that you see are being lost? Does any of the additional flexibility or density concern you?
- Are you in favor of eliminating any/all of the items mentioned in Attachment C to help address equity concerns?

- The Northwest Mixed-Use District (NWMUD) would be the only reference in the zoning ordinance to the City's Mixed-Income Housing Policy. Do you have any concerns that the policy is not established formally elsewhere in the ordinance?
- Based on the anticipated market for residential development in the northwest corner of the City, it is likely that the higher end of the guided residential density (50 u/ac) will be the exception and that most residential land area may consist of single-family units. While it is possible to achieve an overall average density of 12 u/ac (the minimum guided density) this should be monitored and understood that to reduce the guided density in the NWMUD would require a comprehensive plan amendment.

Next Steps

Once we complete the sections, we are reviewing with you at this meeting, we will be tackling the following:

- Revisions to B2 District to include mixed use as is contemplated in the district's intent
- Additions to the Transit Oriented Development District to include minimums for density and activity in non-residential areas as well as some additional design standards
- Revisions to Use Tables to de-emphasize the use of Conditional Use Permits and simplify the lists of uses
- Review for statutory and case law compliance
- Reorganization into UDC
 - Review of performance standards

Comp Plan District	Zoning Districts
<u>Low Density Residential</u>	<u>R-1, R-2, R-2A, R-3, R-3A</u>
<u>Medium Density Residential</u>	<u>R-4, R-4A, R-4B</u>
<u>Medium-High Density Residential</u>	<u>R-5, R-6</u>
<u>High Density Residential</u>	<u>R-7, Convalescent Centers</u>

REQUIRED LOT AREA AND DIMENSIONAL REQUIREMENTS FOR RESIDENTIAL DISTRICTS

§ 152.220 PURPOSE.

The purpose of this section is to establish minimum area and dimensional requirements for residential properties to allow conformance with the residential densities and policies of the Comprehensive Plan, promote open space around structures, provide green area and space for enjoyment by residents, and protect public easements.

(Ord. 2000-936)

§ 152.221 STANDARDS.

The following standards are established for all lots in the residential zoning districts (R-1, R-2, R-2A, R-2B, R-3, R-3A, R-4, R-4A, R-5, R-6, and R-7) and lots in the residential portions of the PCDD and PUD. Lots in residential portions of the PCDD and PUD may be further governed as defined elsewhere in City Code.

(A) No required lot area, yard or open space allocated to a structure or lot in compliance with this chapter may be used to satisfy the minimum lot area, yard, or open space requirement for any other structure or lot, unless modified by this chapter.

(B) The maximum total building footprint, including principal and accessory buildings, may not exceed 25% of the lot area. The maximum amount of impervious surface in front yards, as measured from the public right-of-way to the front facade of the principal building, may not exceed 40%.

(C) Minimum lot area and width for each residential zone are defined in the following table:

Figure 152.221.01 Required Minimum Lot Width and Area <i>in Residential Districts</i>		
Zoning District	Minimum lot area in square feet (unless otherwise specified)	Lot width in lineal feet as measured at the front setback
R-1	20 Acres	330 feet*
R-2 <u>(LDR)</u>	13,500	100*
R-2A <u>(LDR)</u>	12,825	95*
R-2B <u>(LDR)</u>	11,475	85*
R-3 <u>(LDR)</u>	10,800	80*
R-3A <u>(LDR)</u>	9,750	75*
R-4 (lots for single-family dwellings) <u>(MDR)</u>	8,500	70*
R-4 <u>(MDR)</u> lots for two-family dwellings (for lots of record prior to	10,800	80

AGENDA 6.6C - SUPPORTING DOCUMENTS

<p>2/1/80 and on which two-family dwellings were existing on the effective date of this chapter) Each half of two-family dwelling to be subdivided (for lots of record prior to 2/1/80 and on which two-family dwellings were existing on the effective date of this chapter)</p>	<p>5,400</p>	<p>40</p>
<p>R-4 <u>MDR</u> lots for two-family dwellings (for lots of record after 2/1/80 and on which two-family dwellings were not existing on the effective date of this chapter) Each half of two-family dwelling to be subdivided (for lots of record after 2/1/80 and on which two-family dwellings were not existing on the effective date of this chapter)</p>	<p>16,200</p> <p>8,100<u>3,630 or 12 units per acre maximum</u></p>	<p>120</p> <p>60</p>
<p>R-4A for townhouse (<u>MDR</u>)</p>	<p>8,700<u>3,630 or 12 units per acre maximum with basements, 10,890 without basements</u> (buildable land only, excludes wetlands, surface waters, flood plains)</p>	<p>NA</p>
<p>R-4B (<u>MDR</u>)</p>	<p>5,000<u>3,630 square feet or 12 units per acre maximum</u></p>	<p>45</p>
<p>R-5 for multiple family dwellings (<u>MHDR</u>)</p>	<p>22,000 or 3,400 square feet for each 1 bdrm unit, 4,500 square feet for each 2 bdrm unit, and 6,300 square feet for each three bdrm unit plus 500 square feet for each bdrm over 3; whichever is greater<u>1,742 sf. per dwelling unit or 25 units per acre maximum</u></p>	<p>120</p>
<p>R-6 for multiple family dwellings (<u>MHDR</u>)</p>	<p>160,000 or 2,400 square feet for each 1 bdrm. unit, 3,000 square feet for each 2 bdrm unit, and 3,500 square feet plus 500 square feet for each bdrm over 3; whichever is greater<u>1,742 sf per dwelling unit or 25 units per acre maximum</u></p>	<p>400</p>

AGENDA 6.6C - SUPPORTING DOCUMENTS

<p>R-7 for multiple family dwellings <u>HDR</u></p>	<p>5 acres or 3,400 square feet for each 1 bdrm unit, 4,500 square feet for each 2 bdrm unit, and 6,800 square feet for each three bdrm unit plus 500 square feet for each bdrm over 3; whichever is greater<u>871 sf. per dwelling unit or 50 units per acre maximum</u></p>	<p>500</p>
<p>R-5, R-6, and R-7 for Care centers and convalescent homes <u>HDR</u></p>	<p>750 square feet of lot area for each person cared for (design capacity)</p>	<p>See District Requirements Above</p>
<p>*See § 152.275.04 for additional lot width requirements on corner lots</p>		

(D) In order to promote individual ownership of two-family dwellings the minimum lot areas and lot widths contained in this section do not apply to lot splits along the common wall where an existing two-family dwelling is being converted into two separate, attached single-family dwellings.
(Ord. 2000-936; Am. Ord. 2001-961, passed 11-26-01; Am. Ord. 2004-28, passed 12-13-04; Am. Ord. 2006-1055, passed 2-6-06)

ATTACHMENT B

Overlay district or modification of existing districts to meet minimum 20-acre density requirement within the station area overlay districts shown on the 2040 FLU Map.

Title XV: Land Usage

Chapter 152: Zoning Code

Section 152.037: Zoning Overlays

152.495 Light Rail Station Area Overlay

The intent of this designation is to ensure that development within the designated overlay occurs at appropriate densities as a result of proximity to a light rail transit station. The boundary of the overlay extends 0.5 miles outward from each transit station. The overlay area is established and shown on the City's official Zoning map.

(Ord. _____)

Light Rail Station Area (LRSA) Overlay

152.575 Purpose.

The purpose of the Lightrail Station Area (LSA) Overlay is to ensure that development within the designated overlay occurs at appropriate densities as a result of proximity to a light rail transit station.

152.576 Uses.

Within the LSA overlay, permitted, conditional, and accessory uses are determined by the underlying zoning district and in harmony with the Comprehensive Plan. Section 152.342 provides the use tables allowed within business districts.

152.577 Applicability

(A) All provisions of the Zoning Code shall apply to the properties in the overlay, however, in any instance where the provisions of the overlay zoning conflict with the provisions of a primary zoning district, the more restrictive provisions take precedence and govern.

152.578 General Requirements

(A) Density

(1) Residential Development

(a) Residential development projects located within the LSA Overlay shall achieve a minimum density of 20 units per acre.

(2) Mixed-Use Development

AGENDA 6.6C - SUPPORTING DOCUMENTS

(a) That portion of the development dedicated to residential use shall achieve a minimum density of 20 units per acre.

(1) In this case density shall be measured based on the land area dedicated to residential use.

(B) Design Guidelines

(1) Development shall be designed in accordance with the Brooklyn Park Station Area Plan to ensure a focus is placed on connectivity, land use, and placemaking.

ATTACHMENT C

Existing District	Purpose	Guided	Uses	Lot Area	Lot Width	Front Setback	Side Setback ¹	Rear Setback ²	Height	Proposed District	Purpose	Density (units/acre)	Lot Area	Lot Width	Front Setback	Side Setback ³	Rear Setback	Height	
R-2	Det SF estate	Low	Same R2-R3	13,500	100	50 or 30	I - 10 C1 - *	S1 - 50 S2 - 30 S3 - **	3 St or 40	R-2	Det SF	Min 1.5 Max 3	9,750	75	25	I - 7.5 C - 20	30	3 St or 40	
R-2A	Det SF	Low	Same R2-R3	12,825	95	75, 30 or 40	I - 7.5 C1 - *	S1 - 75 S2 - 30 S3 - **	3 St or 40										
R-2B	Det SF	Low	Same R2-R3	11,475	85	75, 40 or 40	I - 7.5 C1 - *	S1 - 75 S2 - 30 S3 - **	3 St or 40										
R-3	Det SF	Low	Same R2-R3	10,800	80	50 or 30	I - 10 C1 - *	S1 - 50 S2 - 30 S3 - **	3 St or 40										
R-3A	Det SF	Low	Same R2-R3	9,750	75	50, 30 or 25	I - 10 C1 - *	S1 - 50 S2 - 30 S3 - **	3 St or 40										
R-4B	SF	Low-Med		5,000	45	50 or 30			3 St or 40	R-3	Det SF	Min 3 Max 8	5,000	50	25	I - 7.5 C - 20	30	3 St or 40	
R-4	Det/Att SF	Med	Same as R3, plus Att SF & TH <7/1/1980	8,500	70	50 or 30	I - 10 C1 - *	S1 - 50 S2 - 30 S3 - **	3 St or 40	R-4	Det/Att SF	Min 3 Max 12	Det - 7,200 Att - 3,600	60	25	I - 7.5 C - 20	30	3 St or 40	
R-4 <2/1/1980	Det/Att SF	Med	Same as R3, plus Att SF & TH <7/1/1985	10,800	80	50 or 30	I - 10 C1 - *	S1 - 50 S2 - 30 S3 - **	3 St or 40										
R-4 >2/1/1980	Det/Att SF	Med	Same as R3, plus Att SF & TH <7/1/1985	16,200	120	50 or 30	I - 10 C1 - *	S1 - 50 S2 - 30 S3 - **	3 St or 40										
R-4A w/ BSMT	TH	Med	Same as R3, plus Att SF & TH	8,700	NA	75 or 30	75 or 30	75 or 30	3 St or 40										
R-4A w/o BSMT	TH	Med	Same as R3, plus Att SF & TH	10,890	NA	75 or 30	75 or 30	75 or 30	3 St or 40										
R-5	2 St MF	Med-Hi	MF, TH	22,000	120	50	I - 15 C1 - 25	S1 & S2 - 40 S3 - 50	3 St or 40	R-5	≥2 St MF	Min 12 Max 25	22,000	120	25	I - 15 C - 25	40		
R-6	>2 St MF	Med-Hi	MF, TH	160,000	400	50	I - 15 C1 - 25	S1 & S2 - 40 S3 - 50	3 St or 40										
R-7	MF	High	MF, TH	5 acres	500	50	50	S1 & S2 - 40 S3 - 50	3 St or 40	R-6	≥2 St MF	Min 25 Max 50	22,000	120	25	I - 15 C - 25	40		

1 I = Interior lot
 C1 = Corner Lots - Principal, "A" or "B" Minor Arterials, or Class I Collector streets or any other public streets when the adjacent lot fronts the side street
 C2 = Corner Lots - All other public streets when the adjacent lot does not front the side street

2 S1 = Rear setback from Principal, "A" and "B" Minor Arterial and Class I Collectors
 S2 = All other public streets and interior property lines
 S3 = Double frontage lots

3 I = Interior lot
 C = Corner lot

* Front setback of the adjacent property

** Same as front setback of any adjacent residential zoned properties

Residential Standards – Equity Considerations

Consider Eliminating These to Address Equity

- (A) Basement requirement
- (B) Unit and bedroom minimum size requirement
- (C) Interior storage requirement
- (D) SF Attached - Two units side by side only and each unit with an exterior front door
- (E) Consider eliminating garage requirement
- (F) Front yard garden

DRAFT

Northwest Mixed-Use District

§ XX PURPOSE. Mixed-Use districts promote and allow the emergence of complete neighborhoods with a mix of residential, commercial, and office activities. These districts de-emphasize use restrictions. Instead, design standards are used to promote and maintain the desired scale, connectivity, and character of the area. The Northwest Mixed-Use District (NWMUD) is guided Mixed-Use on the 2040 Future Lane Use Plan. The intent of the Northwest Mixed-Use District is to promote an integrated development pattern in a generally suburban setting that accomplishes the following objectives:

- (A) Establish a mixed-use land use pattern and neighborhood design that is consistent with the vision, goals, and policies of the Brooklyn Park comprehensive plan.
- (B) Medium to large scale development consisting of medium to high intensity office, residential, retail restaurant, and service uses in a suburban setting.
- (C) An overall mix of uses occurring both horizontally and vertically, on a common site, development area, or within the same building. In individual developments the mix of uses shall be complimentary and compatible.
- (D) Residential uses shall make up at least 30% of the land area in the district. The district shall consist of a range of housing options that respond to the needs of residents in each stage of their life.
- (E) Compliance with the Mixed-Income Housing Policy to meet the city's goal of preserving and promoting economically diverse housing options.

§ XX PROCEDURES. To ensure that the desired mix and connection of uses occur in the NWMUD, approval of a Master Plan is required to guide individual developments within the district. Master Plans require Site Plan approval pursuant to Section 152.033. Individual development consistent with an approved Master Plan may be approved administratively pursuant to the Administrative Site Plan Review procedures.

§ XX USES. All land uses within the district shall conform to the type and location of uses described in an approved Master Plan, and:

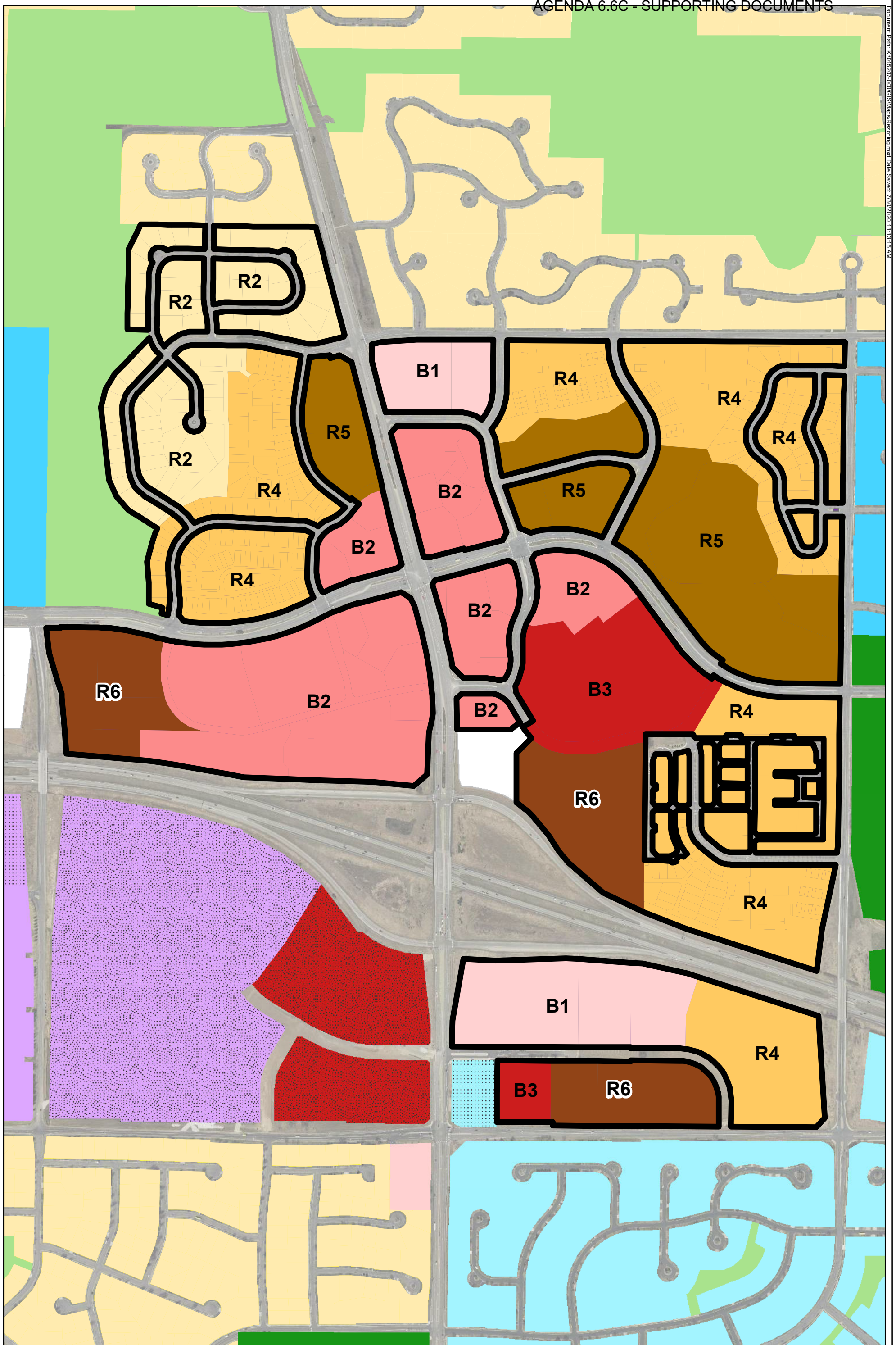
- (A) Along highways 169 and 610 there shall be a mix of land uses
- (B) Elsewhere in the district, a mix of residential unit types and densities may be considered mixed use
- (C) Mixed use shall be measured by acreage in the district

§ XX PERFORMANCE STANDARDS. The design of all sites and buildings within the district shall conform to the design guidelines established in the Master Plan. Variations from the Master Plan may be approved by Administrative Site Plan Review if the approval criteria are met and the variation is generally consistent with the Master Plan. The General Performance Standards of this chapter shall be considered the minimum standards. In addition, the following shall apply in the NWMUD:

- (A) Lot area, lot width and yard requirements
 - (1) There is no minimum lot size or width
 - (2) The Master Plan shall establish the build-to line
 - (3) Maximum block size
- (B) Residential use. The district shall consist of a minimum residential density of 12 units per acre and a maximum of 50 units per acre. Residential development shall address the City of Brooklyn Park Mixed-Income Housing Policy. Bonus residential density up to 10% may be considered by the City Council.

- (C) Building and site design. The Master Plan shall address:
- (1) Building height
 - (2) Minimum frontage build-out
 - (3) Parking and loading setbacks
 - (4) Façade types
 - (5) Minimum glazing

DRAFT





Memorandum

To: Brooklyn Park Planning Commission Members
 CC: Cindy Sherman, Planning Director

From: Erin Perdu, Planning Consultant

Date: 09/16/2020

Re: Zoning Update
 WSB Project No. 015207

Project Update

Since our last meeting in August we have been working on the additional information you requested on the district consolidations and equity considerations. We have also moved ahead with revisions to the use tables and TOD districts, which we will discuss at the September meeting.

Residential Consolidations (Attachment A)

Following up on our discussion at the last meeting, we have done some analysis of the R-2 and R-4 districts. Concern was expressed that the proposed reductions in lot area and lot width from current R-2 to proposed R-2 (and similarly for R-4 after 2/1/80 to new R-4) could result in infill development that would negatively impact the character of existing neighborhoods.

A map showing parcels that could potentially be split under the proposed R-2 consolidation based on lot size is included in Attachment A. The lots shown in red are currently zoned R-2 and are at least twice (19,500 sf) the minimum lot size in the proposed R-2 district (9,750 sf). So based on lot size, they could theoretically be split. These lots account for approximately 13% of proposed R-2 parcels. *However*, we estimate that about 3% (384 out of 11,293) of all proposed R-2 lots have the required lot area and width to be split.

A similar map in Attachment A shows the number and spatial distribution of parcels that have an area at least twice (14,400 sf) the minimum lot size in the R-4 district (7,200 sf for detached single-family structures). The amount of lots with an area of at least 14,400 sf is about 17%. We estimate about 2% (114 out of 6,276) of all proposed R-4 lots have the required lot area and width to be split.

We have also consolidated the changes to residential densities and the district consolidation table presented at the last meeting. This is also included in Attachment A.

Residential Standards - Modifications for Equity

At the August meeting we discussed several areas of the ordinance that do not advance equity or allow for evolution in the residential real estate market. Our experience and research tell us that the ordinance is too specific and goes beyond the basic dimensional standards that are typical and necessary for residential zoning districts.

While our research of Plymouth, Maple Grove, Robbinsdale, Bloomington, and Burnsville reveal that not all require parking garages in order to meet the parking requirement most do, and we understand that this is important in Brooklyn Park. None have requirements for interior storage space or basements. We suggest elimination of the basement and interior storage requirement.

Here are two options to consider:

- A. For residential dwelling units, the parking requirements of this ordinance must be met within an attached or detached parking garage.

Option A does not set a size requirement but requires that the parking required for the use be met within a structure. Option A does not set a requirement for storage space.

- B. For residential dwelling units, the parking requirements of this ordinance must be met within an attached or detached parking garage.

In the R-2 district dwelling units are required to have either a basement or 120 square feet of contiguous interior storage area.

Option B addresses parking the same way and requires interior storage space in either a basement or other storage in the newly consolidated R-2 district.

Use Tables

To help simplify the ordinance, we are proposing changes to the use tables as shown in Attachment B. There are notes included with some of the uses that we will review with you at the meeting. The idea is to consolidate uses where possible and put them into larger, more general use groups.

We have included references to other standards or state statute as applicable. Highlighted areas are districts where we feel those uses should be considered to be permitted

TOD District Modifications

For this round of zoning amendments, we have made some additions to the Transit Oriented Development (TOD) districts that reflect the adopted station area plans. Edits made to the district are shown in excerpts in Attachment C, and generally include:

- Addition of site design features and “public art” to the purpose statement
- Minimum “activity levels” and dwelling unit densities
- Restrictions on first floor residential along certain roads
- Bicycle parking requirements
- Crosswalk and Interior Connections standards

Next Steps

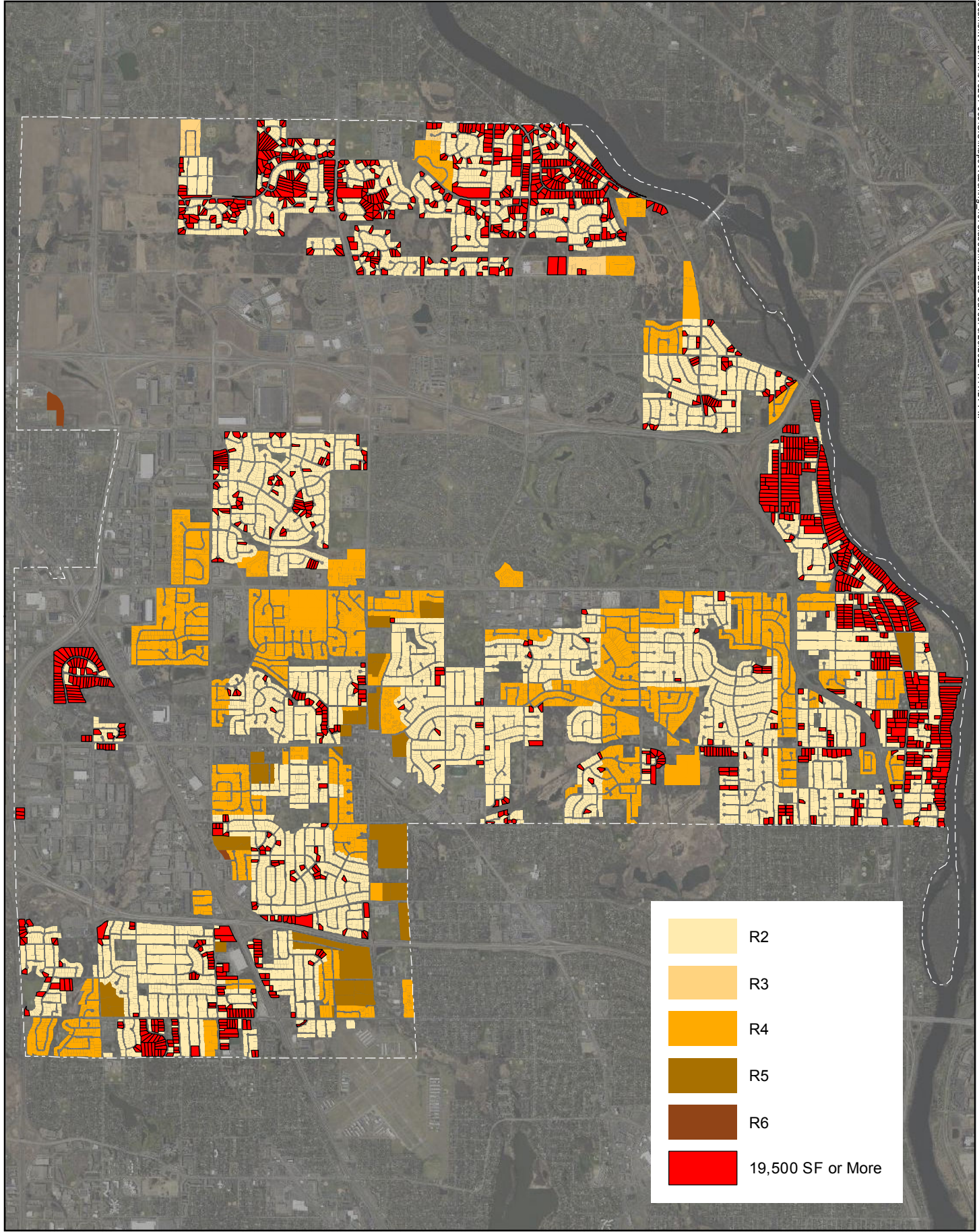
Once we complete the sections we are reviewing with you at this meeting, we will be tackling the following:

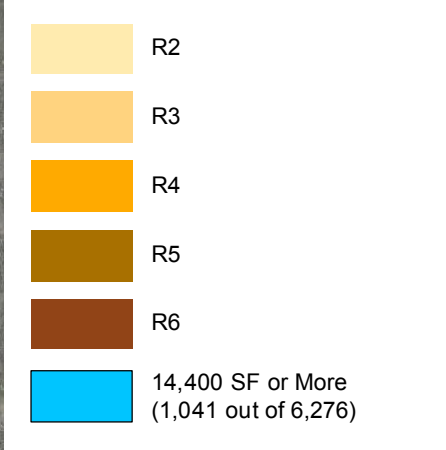
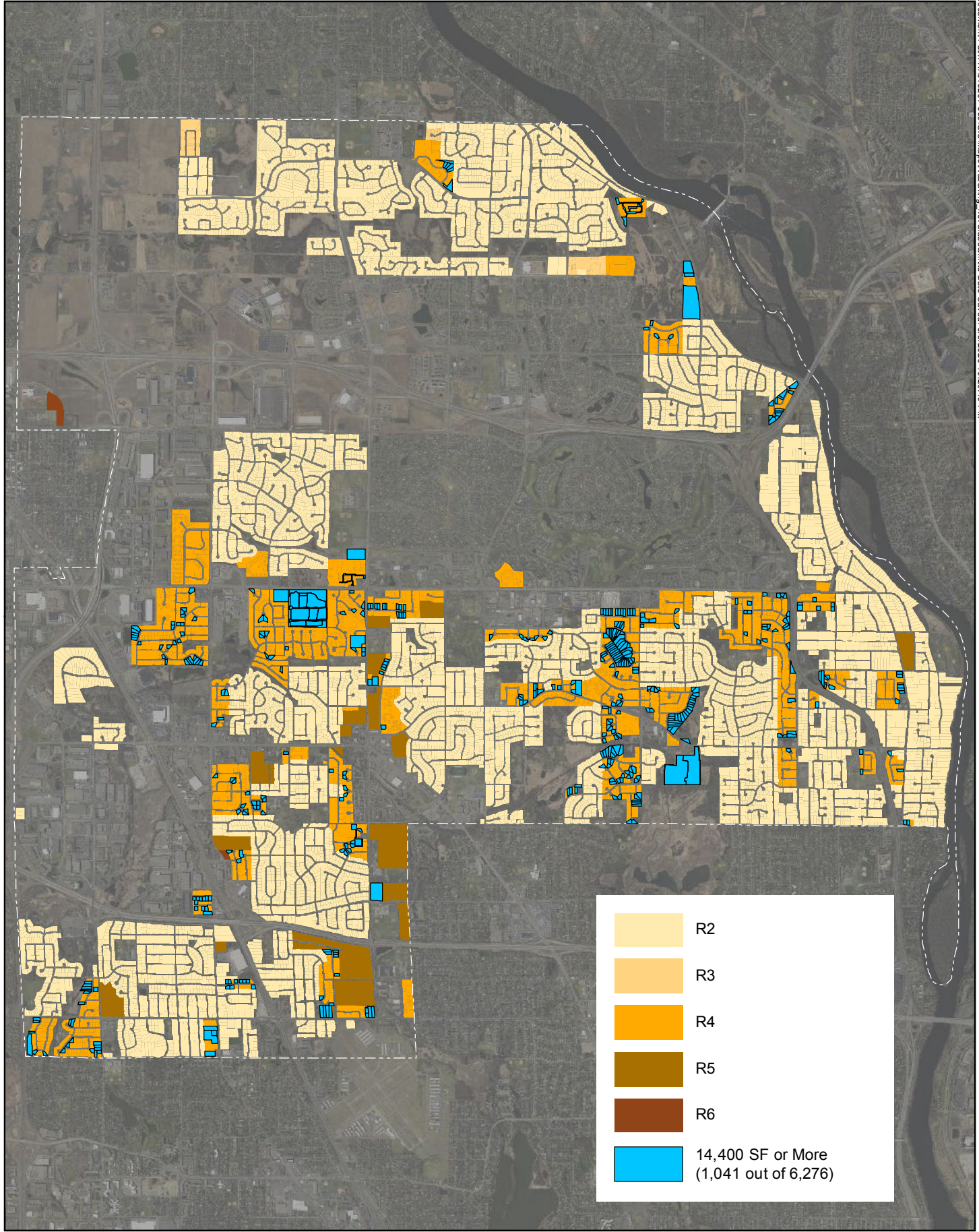
- Revisions to B2 District to include mixed use as is contemplated in the district's intent
- Review for statutory and case law compliance (in progress with City staff and the City Attorney)
- Reorganization into a Unified Development Code
 - Review of performance standards

ATTACHMENT A

Existing District	Purpose	Guided	Uses	Lot Area	Lot Width	Front Setback	Side Setback ¹	Rear Setback ²	Height	Proposed District	Purpose	Density (units/acre)	Lot Area ⁴	Lot Width	Front Setback	Side Setback ³	Rear Setback	Height
R-2	Det SF estate	Low	Same R2-R3	13,500	100	50 or 30	I - 10 C1 - *	S1 - 50 S2 - 30 S3 - **	3 St or 40	R-2	Det SF	Min 1.5 Max 3	9,750	75	25	I - 7.5 C - 20	30	3 St or 40
R-2A	Det SF	Low	Same R2-R3	12,825	95	75, 30 or 40	I - 7.5 C1 - *	S1 - 75 S2 - 30 S3 - **	3 St or 40									
R-2B	Det SF	Low	Same R2-R3	11,475	85	75, 40 or 40	I - 7.5 C1 - *	S1 - 75 S2 - 30 S3 - **	3 St or 40									
R-3	Det SF	Low	Same R2-R3	10,800	80	50 or 30	I - 10 C1 - *	S1 - 50 S2 - 30 S3 - **	3 St or 40									
R-3A	Det SF	Low	Same R2-R3	9,750	75	50, 30 or 25	I - 10 C1 - *	S1 - 50 S2 - 30 S3 - **	3 St or 40									
R-4B	SF	Low-Med		5,000	45	50 or 30			3 St or 40	R-3	Det SF	Min 3 Max 8	5,000	50	25	I - 7.5 C - 20	30	3 St or 40
R-4	Det/Att SF	Med	Same as R3, plus Att SF & TH <7/1/1980	8,500	70	50 or 30	I - 10 C1 - *	S1 - 50 S2 - 30 S3 - **	3 St or 40	R-4	Det/Att SF	Min 3 Max 12	Det - 7,200 Att - 3,600	60	25	I - 7.5 C - 20	30	3 St or 40
R-4 <2/1/1980	Det/Att SF	Med	Same as R3, plus Att SF & TH <7/1/1985	10,800	80	50 or 30	I - 10 C1 - *	S1 - 50 S2 - 30 S3 - **	3 St or 40									
R-4 >2/1/1980	Det/Att SF	Med	Same as R3, plus Att SF & TH <7/1/1985	16,200	120	50 or 30	I - 10 C1 - *	S1 - 50 S2 - 30 S3 - **	3 St or 40									
R-4A w/ BSMT	TH	Med	Same as R3, plus Att SF & TH	8,700	NA	75 or 30	75 or 30	75 or 30	3 St or 40									
R-4A w/o BSMT	TH	Med	Same as R3, plus Att SF & TH	10,890	NA	75 or 30	75 or 30	75 or 30	3 St or 40									
R-5	2 St MF	Med-Hi	MF, TH	22,000	120	50	I - 15 C1 - 25	S1 & S2 - 40 S3 - 50	3 St or 40	R-5	≥2 St MF	Min 12 Max 25	22,000	120	25	I - 15 C - 25	40	
R-6	>2 St MF	Med-Hi	MF, TH	160,000	400	50	I - 15 C1 - 25	S1 & S2 - 40 S3 - 50	3 St or 40									
R-7	MF	High	MF, TH	5 acres	500	50	50	S1 & S2 - 40 S3 - 50	3 St or 40	R-6	≥2 St MF	Min 25 Max 50	22,000	120	25	I - 15 C - 25	40	

- 1 I = Interior lot
C1 = Corner Lots - Principal, "A" or "B" Minor Arterials, or Class I Collector streets or any other public streets when the adjacent lot fronts the side street
C2 = Corner Lots - All other public streets when the adjacent lot does not front the side street
- 2 S1 = Rear setback from Principal, "A" and "B" Minor Arterial and Class I Collectors
S2 = All other public streets and interior property lines
S3 = Double frontage lots
- 3 I = Interior lot
C = Corner lot
- 4 Lot area refers to the minimum total lot area for the project, not lot area per unit. Density requirements are shown in the adjacent column
- * Front setback of the adjacent property
- ** Same as front setback of any adjacent residential zoned properties





ATTACHMENT B

Bold = additions
Strikethrough = removals or consolidations
Pink fill = consider adding uses in this district
Blue = moved or consolidated
P=Permitted C=Conditional Blank=Not Permitted

	RES						BUS-IND						PUB	CON	TOD						NWMUD	Standards	Notes
	R-1	R-2	R-3	R-4	R-5	R-6	B-1	B-2	B-3	B-4	BP	I			C	CT	E	ET	GHI	GMD			
RESIDENTIAL																							
Household Living																							
Single-family dwelling	P	P		P	NP	NP													R	P			
Dwellings, detached single-family	P	P		P	NP	NP																	
Single-family, two-family																				R			
Two-family dwelling	NP	NP		P	P	NP													R	P			
Dwellings, attached two-family	NP	NP		P	P	NP																	
Townhouse dwelling	NP	NP		P	P	P								R				R	R	P			
Dwellings, townhouses	NP	NP		P	P	P																	
Multiple family dwelling	NP	NP		NP	P	P	NP	C	C	NP	NP	NP	R	R			R	R	R	P			
Dwellings, multiple family structures	NP	NP		NP	P	P																	
Multiple dwelling													R	R			R	R	R				
Multiple family dwelling and cluster housing in compliance with § 152.344	NP	NP		NP	P	P	NP	C	C	NP	NP	NP	R	R			R	R	R	P			
Mobile home park	NP	NP		NP	C	NP																	
Model home	P	P		P	P	P																	
Group Living																							
Care center, convalescent home, and assisted Living	NP	NP		NP	C	C	C	C	C	NP	NP			P	P			P	P	P			
Care centers, convalescent homes, hospitals, and assisted living facilities	NP	NP		NP	C	C	C	C	C	NP	NP			P	P			P	P	P			
Care facility, convalescent home	NP	NP		NP	C	C				NP	NP			P	P			P	P	P			
Residential facility, licensed (6 or fewer persons)	P	P		P	NP	NP																	
Residential facility, licensed (7-15 persons)	NP	NP		NP	C	C																	
CIVIC & INSTITUTIONAL																							
Cemetery	C	C		C	NP	NP							P										
Public and quasi-public facilities							C	C	C	C	NP	C	P										
Government buildings													P										
Library														R			P	R	R				
Museums														R			P	R	R				
Schools, elementary, or secondary							C	NP	NP	NP	NP	NP	P										
Public schools, including charter schools in compliance with § 152.182							C	NP	NP	NP	NP	NP	P										
Schools and Daycares							C	NP	NP	NP	NP	NP	P										
Day care facility, licensed							P	P	P	P	P	P	P	P	P	P	C	P	P	P			
Daycare facilities, licensed							P	P	P	P	P	P	P	P	P	P	C	P	P	P			
Day care facility, licensed (13 to 16 persons)	NP	NP		NP	P	P																	
Group day care facility, licensed (13 to 16 persons)	NP	NP		NP	P	P																	
Daycare, licensed or group daycare facilities (13 to 16 persons)	NP	NP		NP	P	P																	
Day care facility, licensed (12 or fewer persons)	P	P	P	P	NP	NP																	
Group family day care facility, licensed (14 or fewer children)	P	P	P	P	NP	NP																	
Daycare facilities, licensed (12 or fewer children) or group family daycare facilities (14 or fewer children)	P	P	P	P	NP	NP																	
Child Care														P	P	P	C	P	P	P			
Adult Day Care														P	P	C	C	P	P	C			
Child and adult day care														P	P	C	C	P	P	C			
Religious assembly	P	P		P	P	P	P	P	P	NP	NP	P											
Religious institutions	P	P		P	P	P	P	P	P	NP	NP	P											
Religious institutions subject to §§ 152.180 through 152.182	P	P		P	P	P	P	P	P	NP	NP	P											
Religious institutions, in compliance with §§ 152.180 through 152.182	P	P		P	P	P	P	P	P	NP	NP	P											
Non-profit community agencies, recreation centers, or youth centers																							
Clubs							NP	C	C	C	NP	NP	P										
Social clubs							NP	NP	C	C	NP	NP	P										
Assembly, banquet, convention halls, or conference centers							NP	C	C	C	NP	NP	P										
Outdoor storage of equipment, landscaping materials, etc. when accessory to a government building or maintenance facility																				C			
Business, trade, or non-academic colleges operated for profit							P	P	P	P	P	NP											
Adult training facilities							P	P	P	P	P	NP											
MEDICAL																							
Hospital													P										
Medical clinic							P	P	P	P	P	P		P	P	P	P	P	P				
Dental clinic														P	P	P	P	P	P				
Medical and dental clinics							P	P	P	P	P	P		P	P	P	P	P	P				
Medical clinic, not to exceed 5,000 sq. ft.																				C			
UTILITY																							
Public and utility facilities	P	P	P	P	P	P																	
Public and utility facilities	P	P	P	P	P	P																	
Wireless Communication Facility																							
Telecommunication tower													C										

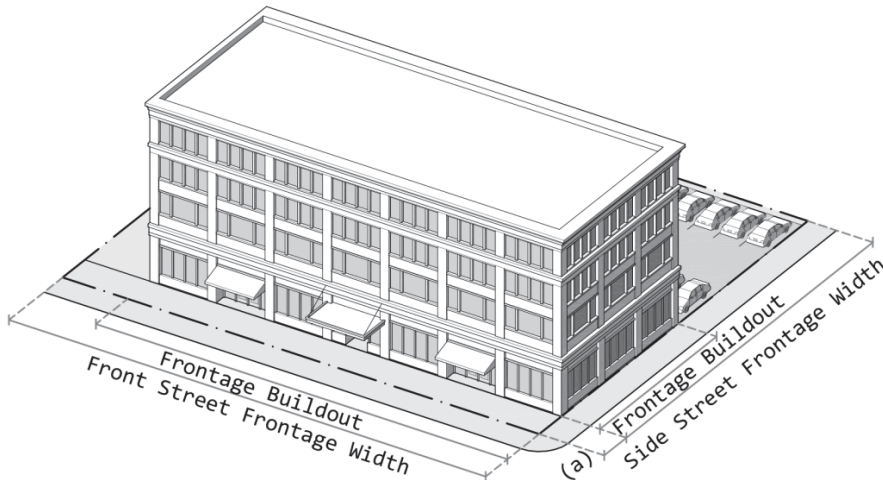
	RES						BUS-IND						PUB	CON	TOD						NWMUD	Standards	Notes
	R-1	R-2	R-3	R-4	R-5	R-6	B-1	B-2	B-3	B-4	BP	I			C	CT	E	ET	GHI	GMD			
Showrooms and sales of automobiles, trucks and recreational vehicles and equipment and the like							NP	NP	NP	C	NP	NP										§ 152.344	
Wholesale, broker and auction dealer of automobiles, trucks and recreational vehicles and the like							P	P	P	P	P	P										§ 152.343	
Automobile rental containing more than six cars on site							NP	C	C	C	NP	NP											
Bus or truck storage or service shops, including fuel stations							NP	NP	NP	NP	NP	C											
Fabrication or assembly of heavy equipment or vehicles							NP	NP	NP	NP	NP	C											
Truck or motor freight terminal							NP	NP	NP	NP	NP	C											
Vehicle impound yard							NP	NP	NP	NP	NP	C											Ensure definition excludes salvage activities.
LIMITED PRODUCTION, PROCESSING, STORAGE																							
Self-service storage facility							NP	NP	C	C	NP	C			NP	NP	NP	NP	NP	NP			
Warehousing							NP	NP	NP	NP	P	P											
Distribution center							NP	NP	NP	NP	P	P											
Distribution as a primary use																	NP	NP					
Distribution or products produced on site																	P	P					
Soil processing and mining	C	NP		NP	NP	NP																	
Concrete or asphalt mixing plants, concrete block fabrication, or builders' or contractors' yards, brick yards, and accessory sale of dirt, sand, gravel, rock, concrete blocks, bricks, etc.							NP	NP	NP	NP	NP	C											
Stone, marble or granite grinding and cutting							NP	NP	NP	NP	NP	C											
Manufacturing, assembly, processing, fabricating, brewing, distilling, and accessory sale of the product produced on site, except those uses further restricted in this ordinance							NP	NP	NP	NP	P	P					P	P					
Manufacturing, assembly, processing, fabricating, brewing, distilling and accessory sale of the product produced on site																	P	P					
Agricultural uses																							
Farming and cultivation of agricultural products	P	P		P	P	P									P								
Seasonal (temporary) greenhouse and garden center	C	NP		NP	NP	NP																§ 152.362(D)	Does a temporary use belong in a principal use table?
Domesticated and farm animals	P	NP		NP	NP	NP																	
Open space area connected with residential, institutional, or business development															P								
Nature study area and arboretum															P								
Multiple principal structures on a single lot																							
							€	€	€	€	€	€											Should be considered a development standard and removed from the use table.

- | | | | | | | | |
|---|---|--------------------------------------|---------------|--|--------------------|---|---|
| <p>C Allowed with approval of a conditional use permit</p> <p>(A) Multiple uses within a single parcel or building are permitted in TOD districts.</p> <p>(B) Uses permitted in sections §152.606 – §152.610 are limited for size or intensity as follows:</p> <p>(1) Restrictions per use:</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 30%;">Service and retail</td> <td>50,000 sq. ft. max. gross floor area</td> </tr> <tr> <td>Institutional</td> <td>On-site parking may not exceed 50 surface lot spaces</td> </tr> <tr> <td><u>Residential</u></td> <td><u>Residential uses not permitted on the ground floor of buildings whose primary façade is along Bottineau Boulevard, Brooklyn Boulevard, West Broadway</u></td> </tr> </table> | Service and retail | 50,000 sq. ft. max. gross floor area | Institutional | On-site parking may not exceed 50 surface lot spaces | <u>Residential</u> | <u>Residential uses not permitted on the ground floor of buildings whose primary façade is along Bottineau Boulevard, Brooklyn Boulevard, West Broadway</u> | <p>R Permitted with compliance to the conditions of subsection (B)(1) below</p> |
| Service and retail | 50,000 sq. ft. max. gross floor area | | | | | | |
| Institutional | On-site parking may not exceed 50 surface lot spaces | | | | | | |
| <u>Residential</u> | <u>Residential uses not permitted on the ground floor of buildings whose primary façade is along Bottineau Boulevard, Brooklyn Boulevard, West Broadway</u> | | | | | | |

§152.604 BUILDING AND SITE STANDARDS.

- (A) *Purpose.* This section regulates the development and modification of buildings and other elements of the built environment within the private lot, based on the following premises:
- (1) Building regulations should equitably balance the rights of the individual and the interests of the community as a whole.
 - (2) Building form individually and collectively defines and supports the public realm.
 - (3) Building placement should support walkability, safe streets, and safe public spaces, to create pedestrian-friendly neighborhoods.
- (B) Minimum frontage buildout indicates that lots must contain buildings along the prescribed length of property line.
- (1) At front streets the minimum frontage buildout is a percentage of the length of the abutting property line.
 - (2) At side streets the minimum frontage buildout is a specified distance along the property line from the corner.
 - (3) Facades must be within the minimum and maximum setback.
 - (4) At corner lots the width of the property, for frontage buildout calculation, may be reduced by the setback of the perpendicular lot line as indicated by (a) in the illustration below.
- (C) Front setback requirements of Table 6 through Table 9, and Table 16 through Table 18 will be maintained as City easement for right of way maintenance.
- (D) Building width must meet the requirements of Table 6 through Table 9, and Table 16 through Table 18 measured at front setback. The maximum building width does not apply to buildings with a forecourt frontage type where the forecourt is wider than 40 feet.
- (E) In order to create activity levels that support and take advantage of existing and future transit proposed within the City, the density of dwelling units (DU) per acre must meet requirements of Table 6 through Table 9, and Table 16 through Table 18. These requirements apply to the residential component of any residential or mixed-use project proposed in the district.

Figure 1. Minimum Frontage Buildout Illustration



- (F) Building height is limited in above ground stories according to Table 6 through Table 9, and Table 16 through Table 18.
 - (1) Stories are measured as follows:
 - (a) Stories are measured from finished floor to finished ceiling.
 - (b) Stories above the ground floor are limited to 14 feet in height.
 - (c) Ground floor height is subject to the following requirements:
 - 1. Ground floor height must be no less than 12 feet except in TOD-G low intensity.
 - 2. Ground floor height is limited to 20 feet, above which it counts as an additional story.
 - (2) Parking structure height is subject to the following requirements:
 - (a) Structure height may not exceed the finished ceiling height of the top floor of the tallest primary use building.
 - (3) Projections not used for human habitation are exempt from building height restrictions, including the following:
 - (a) Chimneys, spires, domes, elevator shaft and stair housings, antennae, vents, and flag poles.
- (G) [For those TOD Districts that permit residential use, the ground floor of buildings along certain roads within those Districts may not be used for residential. Residential use standards for those applicable Districts are located in Table 6 through Table 9, and Table 16 through Table 18.](#)
- ~~(G)~~(H) Facade types must be assigned along all streets according to the standards of Table 1 and the following requirements:
 - (1) Buildings may include multiple facade types along their length, each type no less than 30 feet in width.
 - (2) Functioning building entries must be provided along street frontages as follows:
 - (a) The primary building entry must be located along a street frontage.
 - (b) One functional entry must be provided for every 80 feet of facade, leading to habitable space.
 - 1. Where a building fronts onto two or more streets, a side street facade under 50 feet in length is exempt from the entry requirement.
 - (3) Loading docks and service areas are restricted according to the parking and storage setbacks of Table 6 through Table 9 and Table 16 through Table 18.
 - (4) Encroachments into the front street and side street setbacks are permitted as follows:

§152.605 DEVELOPMENT STANDARDS

- (A) *Parking.* Off-street parking must be set back from frontages according to Table 6 through Table 9 and Table 16 through Table 18, except where parking is located underground.
 - (1) *Location.* Required vehicular parking may be fulfilled in the following locations:
 - (a) Parking spaces provided on-site, or between multiple connected sites with a recorded shared use parking agreement.
 - (b) Parking spaces provided along a parking lane on-street corresponding to the site frontages.
 - (2) *Access.* Parking access must meet the following requirements:
 - (a) Driveways are limited to 20 feet in width.
 - (b) Access to off-street surface and structured parking facilities, including driveways accessing internal structured parking within a development, shall be designed in accordance with the following:
 - 1. Sites with alley access must use the alley for ingress and egress.
 - 2. Access shall be located at the side or to the rear of a structure.
 - 3. Access shall be from the secondary frontage when available.
 - 4. No access shall be allowed from street frontages located across from single-family residential zoning districts. If all frontages are located across from single-family residential districts, the **Planning Director** will determine how access can be achieved with minimal intrusion into a single-family neighborhood.
 - ~~(b) Sites with alley access must use the alley for ingress and egress.~~
 - (c) Pedestrian access to off-street parking must be provided from frontages with walkways a minimum of six feet in width.
 - (3) *Screening.* Parking areas must be screened from public streets, sidewalks and paths by a masonry wall or evergreen hedge. The height of the screen must be a minimum of 36 inches and a maximum of 48 inches in height.
 - (4) *Structured parking.* The ground floor of any parking structure abutting a public street must have habitable space for a depth of 30 feet facing the street. METRO parking structures may be eligible for a waiver from this requirement if a façade that limits vehicle visibility is provided.
 - (a) Upper floors must be designed and detailed in a manner consistent with adjacent buildings.
 - (b) Entrances must minimize conflict with pedestrian movement.
 - (5) Required parking. Parking minimums and maximums do not apply to TOD zones.
- (B) *Bicycle Parking.* Bicycle parking shall be provided for all uses within all TOD Districts. The following bicycle facilities shall be required:
 - (1) Each land use shall provide the number of bicycle parking spaces required by Table 2. A minimum of two short-term bicycle parking spaces and one long-term parking space shall be provided for new non-residential development. When the bicycle parking required for a nonresidential use is based on square footage, at least twenty-five (25) percent of the bicycle parking spaces shall be provided in long-term parking facilities and at least (fifty) 50 percent shall be provided in short-term bicycle parking facilities .

When part or all bicycle parking spaces required for non-residential land use is based on the number of employees, that portion shall be provided in long-term bicycle parking facilities.

Table 2. Bicycle Parking Requirements

<u>PRINCIPAL USE</u>	<u># OF BICYCLE SPACES REQUIRED</u>
<u>Shopping</u>	<u>1 space per 5,000 sq. ft.</u>
<u>Dining</u>	<u>1 space per 4,000 sq. ft.</u>
<u>Services</u>	<u>1 space per 5,000 sq. ft.</u>
<u>Employment</u>	<u>1 space per 5,000 sq. ft.</u>
<u>Residential</u>	<u>1 space per 4 dwelling units</u>
<u>Institution</u>	<u>1 space per 5,000 sq. ft.</u>
<u>Lodging</u>	<u>1 space per 10 guest rooms</u>
<u>Recreation/Events</u>	<u>1 space per 5,000 sq. ft.</u>

(2) For changes in use or tenant, bicycle parking will be analyzed.

(3) Types of bicycle parking. There are two types of bicycle parking.

(a) Short-term bicycle parking. Short term bicycle parking is typically in the form of bicycle racks. Bicycle racks must meet the following criteria:

1. Supports the bicycle upright by its frame in two places;
2. Prevents the wheel of the bicycle from tipping over;
3. Enables the bicycle frame and at least one wheel to be secured to the rack with a U-lock;
4. Rack is constructed of materials that resist cutting by manual tools such as bolt cutters, hand saws, abrasive cutting cables, and pipe cutters;
5. Rack is securely anchored to the ground.

(b) Long-term bicycle parking. Long-term bicycle parking protects the entire bicycle and its components from theft, vandalism, and inclement weather. Long-term bicycle parking is required when at least 50 bicycle spaces are required on a site. Long-term bicycle parking may include:

- a. Bicycle lockers. A bicycle locker is a fully enclosed space for one bicycle, accessible only to the owner of the bicycle. A bicycle locker must be equipped with an internally mounted key-actuated or electronic locking mechanism, and not lockable with a user-provided lock. Groups of internal-lock bicycle lockers may share a common electronic access mechanism provided that each locker is accessible only to its assigned user. Bicycle lockers shall be constructed of molded plastic/fiberglass, solid metal or perforated metal. Lockers shall be screened per the requirements of § 152.275.
- b. Restricted-access bicycle enclosure. A restricted-access bicycle enclosure is a covered or indoor locked area containing within it one (1) bicycle rack space for each bicycle to be accommodated and accessible only to the owners of the bicycles parked within it.

(4) Layout and design

(a) General guidelines

AGENDA 6.6C - SUPPORTING DOCUMENTS

1. All spaces provided shall be on a hard and stable surface.
2. All bicycle parking facilities shall be securely anchored to the surface so they cannot be easily removed and shall be of sufficient strength to resist vandalism and theft.
3. All bicycle parking facilities within vehicle parking areas shall be separated by a curb or other physical barrier to protect bicycles from damage by automobiles and other moving vehicles.
4. Short-term bicycle facilities shall meet all of the following requirements:
 - a. The facilities shall be installed in a clear space at least two (2) feet in width by six (6) feet in length to allow sufficient space between parked bicycles.
 - b. When multiple short-term bicycle parking facilities are installed together in sequence, they shall be installed at least three feet apart and located in a configuration that provides space for parked bicycles to be aligned parallel to each other.

(5) Location

- (a) Short-term bicycle parking facilities shall be located in a convenient, highly visible, and well-lit area within fifty (50) feet of a building entrance and within view of pedestrian traffic.
- (b) Long-term bicycle parking facilities for tenant and occupant use shall be conveniently accessible by pedestrians from the street, and at least as close as the closest non-accessible automobile parking.

~~(B)~~(C) *Streetscape Improvements.* The provisions of this section apply to all streetscape improvements in TOD-C, TOD-T, and TOD-E.

- (1) Streetscape improvements including sidewalks, boulevards, furniture zones, lights and trees must meet the requirements of Table 3.
- (2) Improvements must transition to existing conditions at adjacent properties to preserve pedestrian access and safety.

AGENDA 6.6C - SUPPORTING DOCUMENTS

~~(E)~~(F) *Landscaping Requirements.* All open areas of any site, except for that portion used for parking, driveways, and storage, must be landscaped and incorporated in a landscape plan, per the following requirements:

- (1) The required landscaped area must be planted with trees, ground cover, low shrubs or flowering plants.

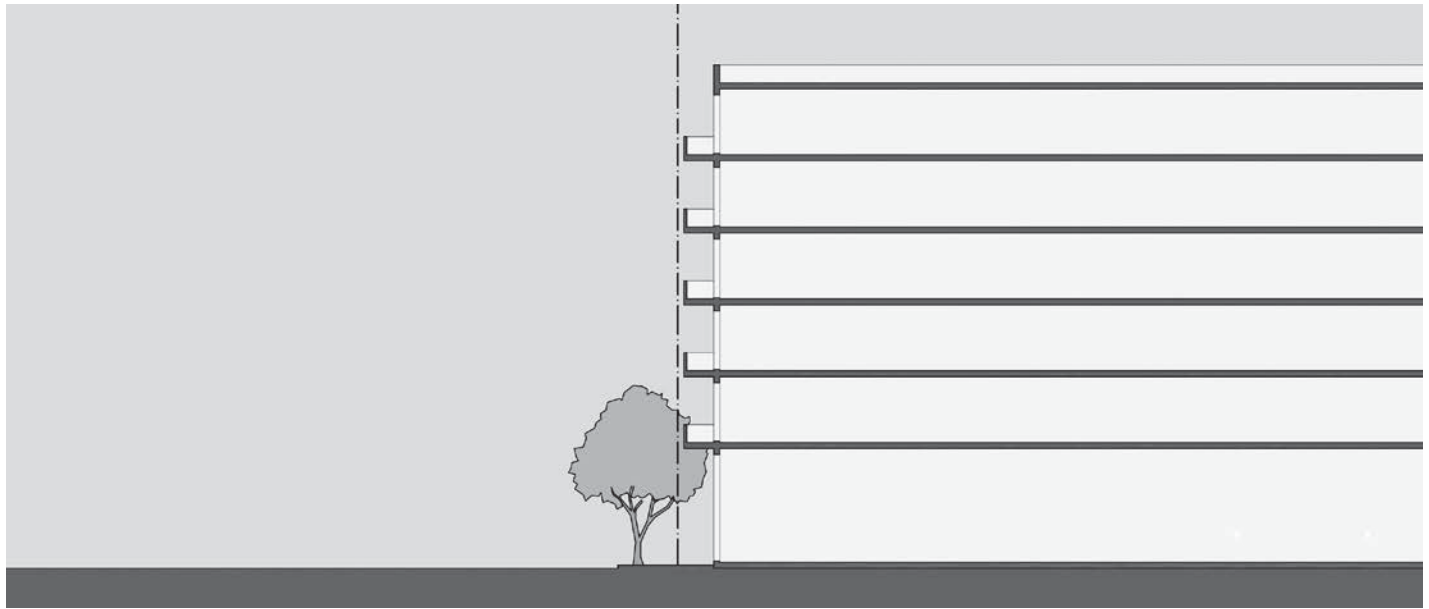
(G) *Crosswalk and Interior Connections.*

- (1) Crosswalks at private street intersections or within parking lots shall be distinguished from driving surfaces to enhance pedestrian safety by using either different pavement materials, pavement color, or pavement textures in conjunction with signage.
- (2) Internal sidewalk connections are required between buildings and from buildings to all onsite facilities (parking areas, bicycle facilities, plazas and open space, etc.).
- (3) External sidewalk connections are required to provide direct connections from all buildings on-site to the existing and/or required sidewalk system and to abutting multi-use trails, parks, and greenways.
- (4) The on-site pedestrian circulation system shall be well-lit to ensure safe use of the system at night. All lighting shall be shielded with full cut-off or semi cut-off fixtures.

~~(F)~~(H) *Signs.* Signs in TOD-G Medium and High Intensity must comply with the following:

- (1) *Type.*
 - (a) An establishment may erect wall signs or projecting signs, or a combination thereof as regulated by subsections (2) and (3).
 - (b) Roof signs are prohibited.
 - (c) Freestanding or pylon signs, permanent or temporary, are prohibited, except for joint or shared parking uses and public transit message center signs and monument signs. Monument signs may not exceed five feet in height.
 - (d) Mural scenes or designs painted directly on an exterior building wall that are intended as decorative or ornamental features are permitted with the prior approval of the City Manager. Murals that include text, numbers, trademarks, logos or other forms of business advertisement are considered painted wall signs and must comply with the regulations of this code. Murals that are not painted wall signs are not regulated by subsections (2) and (3).
 - (e) Sandwich board signs, one per business establishment, are permitted provided that they are located on the sidewalk in front of the business establishment and do not block pedestrian use of the sidewalk. Each side of the sandwich board sign must not exceed nine square feet. Sandwich board signs are not regulated by subsections (2) and (3).
- (2) *Number.* An establishment may erect any number of wall signs provided that the total area does not exceed the total permitted area established in (3).
- (3) *Size and materials.*
 - (a) The maximum total area of all wall signs must not exceed three square feet per one lineal foot of business establishment frontage. Window signs are not included in the above calculation and may not exceed one-third of the glazed area of the window. Signs may be illuminated. Signs must be placed on the building so as not to obscure architectural features and detail.
 - (b) The maximum area of any individual wall sign must not exceed two square feet per one lineal foot of business establishment frontage. The maximum area of any projecting sign must not exceed six square feet.

Table 6. TOD-C Building and Site Standards, continued



BUILDING HEIGHT

6 stories max.	Parking structure height	1 story less than building
----------------	--------------------------	----------------------------

Building height of 8 stories is available with a Conditional Use Permit upon initiation of construction of the METRO station. Building height may not exceed one story more than an adjacent single-family district within 50 ft. of residential parcels.

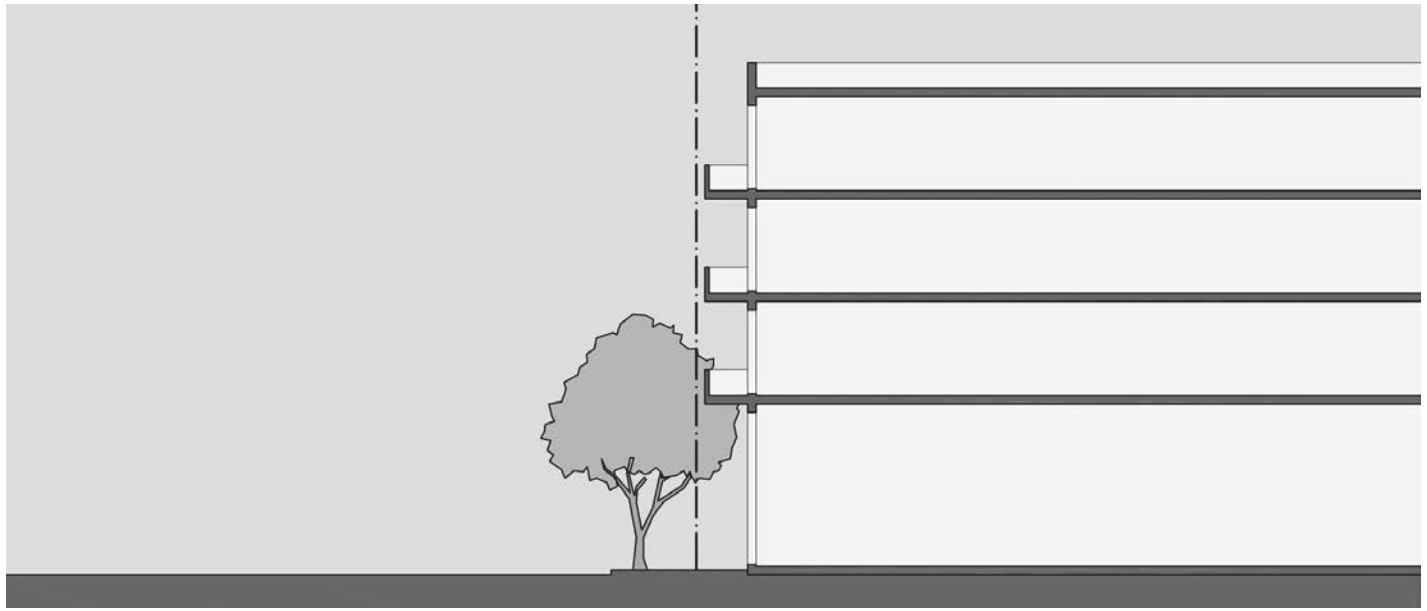
USES

RESIDENTIAL		COMMERCIAL	
R	Multiple dwelling	P	Retail and service
P	Care facility, convalescent home	P	Office
		P	Medical and dental clinics
INSTITUTIONAL		P	Veterinary and animal services
NP	Religious assembly	P	Child and adult day care
NP	Schools	P	Restaurants and brewpubs, theatres and entertainment
OTHER		C	Parking as a principle use
P	Wireless communication facilities as accessory uses located on a building	NP	Gasoline sales
		NP	Drive-through facilities
		NP	Self-storage facilities, sexually-oriented businesses, impound lots, vehicle sales

DWELLING UNIT DENSITY

Minimum	60 dwelling units per acre
Maximum	80+ dwelling units per acre

Table 7. TOD-C.T Building and Site Standards, continued



BUILDING HEIGHT

4 stories max.	Parking structure height	1 story less than building
----------------	--------------------------	----------------------------

Building height of 6 stories is available with a Conditional Use Permit upon initiation of construction of a METRO station. Building height must match height of adjacent single-family within 50 ft. of residential parcels.

USES

RESIDENTIAL		COMMERCIAL	
R	Townhouse	R	Retail and service
R	Multiple dwelling	P	Restaurants and brewpubs
P	Care facility, convalescent home	P	Office
		P	Lodging
		P	Medical clinic
INSTITUTIONAL		P	Child care
NP	Religious assembly	P	Adult day care
NP	Schools	P	Parking
R	Libraries	C	Gasoline sales
R	Museums	C	Breweries and micro-distilleries
OTHER		C	Taprooms and cocktail rooms
C	Wireless communication facilities	NP	Self-storage facilities, adult entertainment and retail, impound lots, vehicle sales
P	Drive throughs as an accessory use		

DWELLING UNIT DENSITY

Minimum	40 dwelling units per acre
Maximum	60 dwelling units per acre

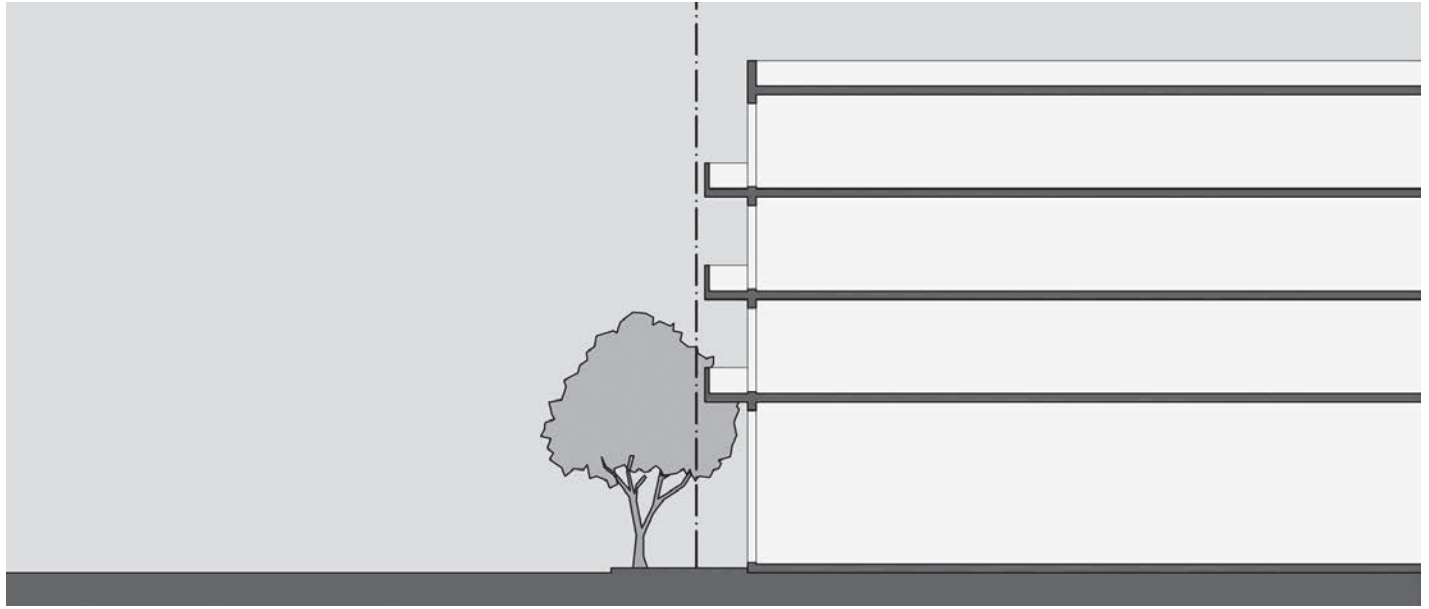
§152.610 “TOD-G” TRANSIT-ORIENTED GREENFIELD DISTRICT – HIGH, MEDIUM, AND LOW INTENSITIES AND GREENFIELD NEIGHBORHOOD STRUCTURE AND PUBLIC REALM STANDARDS

- (A) *Purpose and Applicability.* The structure of the TOD-G district provides the City and future development groups with the regulations and guidelines needed to develop a comprehensive, resilient and pedestrian-oriented TOD. The subdivision regulations in subsection (D) provide the following:
 - (1) A network of connected streets and blocks that reflect an approved station area plan.
 - (2) General block sizes and configurations that support zoning and land use goals.
 - (3) Maximum block perimeters that foster attractive, safe and walkable environments, while enhancing circulation through the site.
 - (4) Guidance on meeting regional stormwater requirements as detailed in the Brooklyn Park Subarea Stormwater Master Plan.
- (B) *Regulating Plan.* The TOD-G district is implemented through a regulating plan, approved with the rezoning to TOD-G, which includes a combination of at least two of the three intensities described below and regulated by Table 10 and §152.601. TOD-G areas must be divided into neighborhoods by the introduction of a primary thoroughfare network, and then into blocks by the completion of the streets and open spaces. As the area is subdivided to generate blocks, parcels and individual building sites, the regulating plan assigns intensities that may be refined with approval by the City Manager according to §152.021. Regulating plans, consisting of one or more maps, must show the following:
 - (1) District boundaries
 - (2) Existing infrastructure including streets, parks and open space
 - (3) Thoroughfare network according to subsection (D) with thoroughfare assignments according to Table 12 or Table 13.
 - (4) Civic area according to Table 10, with types and boundaries according to Table 14.
- (C) *Intensities.* At least two of the three intensities described below must be used in the TOD-G district and must achieve a minimum density of 20 dwelling units (DU) per acre. TOD-G intensities are comprised of:
 - (1) Low intensity: Consists of medium density residential areas, with a mix of uses, home occupations, and accessory buildings. It contains a wide range of building types — houses, courtyard housing, townhouses, duplexes, triplexes, small apartment buildings, and neighborhood commercial uses. This area must be more than 1,500 feet from a high frequency transit service station.
 - (2) Medium intensity: Consists of a mix of uses but is primarily medium to high density residential and neighborhood commercial uses.
 - (3) High intensity: Consists of high density mixed-use buildings that accommodate retail, offices, institutions, and multi-family housing.

Table 9-Table 10. Regulating Plan Requirements

AREA IN ACRES	CIVIC SPACE PERCENT OF AREA	DENSITY	INTENSITY % OF AREA		
			LOW	MEDIUM	HIGH
40 min.	5 – 10%	<u>20 - 80+ DU/acre</u>	20% max.	50 – 70%	10 – 30%

Table 16. TOD-G Medium Intensity Building and Site Standards, continued



BUILDING HEIGHT

4 stories max.	Parking structure height	1 story less than building
Building height of 6 stories is available with a Conditional Use Permit upon initiation of construction of the Oak Grove METRO station. Building height must match height of adjacent single-family within 50 ft. of residential parcels.		

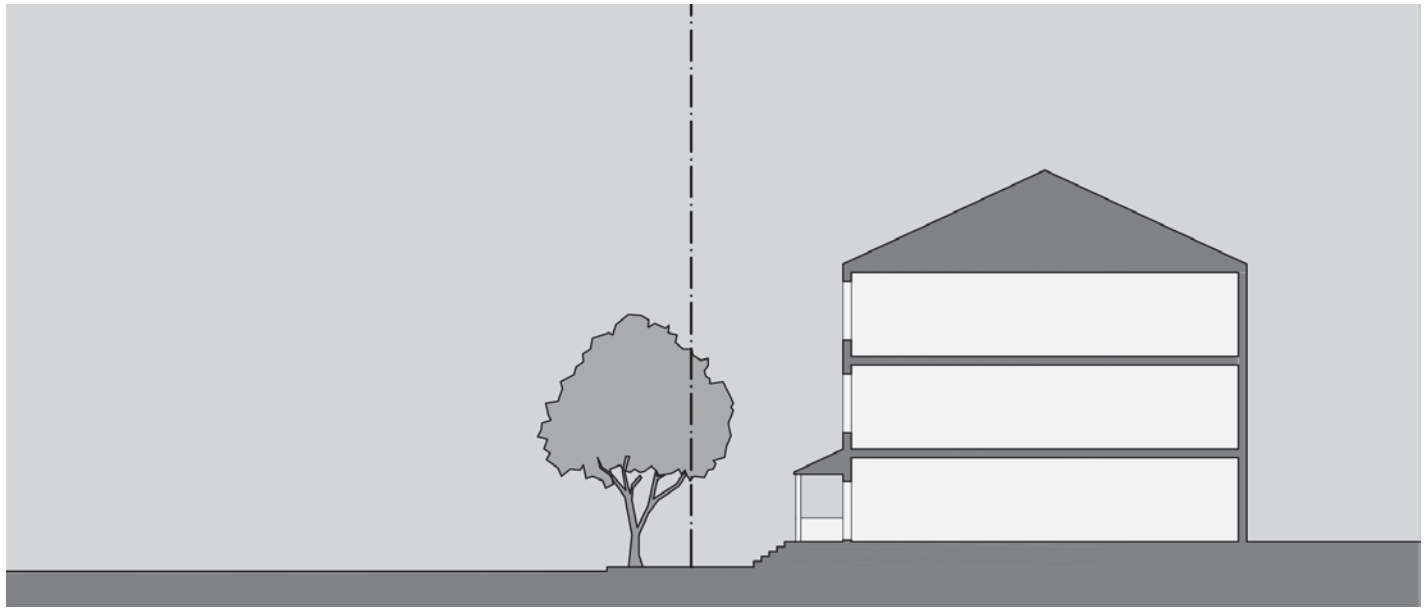
USES

RESIDENTIAL		COMMERCIAL	
R	Townhouse	R	Retail and service
R	Multiple dwelling	P	Restaurants and brewpubs
P	Care facility, convalescent home	P	Office
		P	Lodging, not to exceed 50 rooms
INSTITUTIONAL		P	Medical clinic
NP	Religious assembly	P	Child care
NP	Schools	P	Adult day care
R	Libraries	C	Taprooms and cocktail rooms
R	Museums	C	Breweries and micro-distilleries
OTHER		NP	Parking as primary use
C	Wireless communication facilities	NP	Gasoline sales
		NP	Self-storage facilities, adult entertainment and retail, impound lots, vehicle sales

DWELLING UNIT DENSITY

Minimum	20 dwelling units per acre
Maximum	80+ dwelling units per acre

Table 17. TOD-G Low Intensity Building and Site Standards, continued



BUILDING HEIGHT

3 stories or 40 feet max.

USES

RESIDENTIAL		COMMERCIAL	
R	Single-family, two-family	R	Retail and service
R	Townhouse	P	Restaurants, not to exceed 40 seats
R	Multiple dwelling	P	Brewpubs, not to exceed 40 seats
P	Care facility, convalescent home	P	Office, not to exceed 5,000 sq. ft.
		P	Lodging, not to exceed 12 rooms
		P	Child care
INSTITUTIONAL		C	Medical clinic, not to exceed 5,000 sq. ft.
NP	Religious assembly	C	Adult day care
NP	Schools	NP	Parking as primary use
R	Libraries	NP	Gasoline sales
R	Museums	NP	Breweries and micro-distilleries
OTHER		NP	Taprooms and cocktail rooms
C	Wireless communication facilities	NP	Self-storage facilities, adult entertainment and retail, impound lots, vehicle sales

DWELLING UNIT DENSITY

Minimum	20 dwelling units per acre
Maximum	40 dwelling units per acre



Memorandum

To: Brooklyn Park Planning Commission Members
 CC: Cindy Sherman, Planning Director

From: Erin Perdu, AICP Planning Consultant
 Molly Just, AICP, Planning Consultant

Date: 10/20/2020

Re: Zoning Update
 WSB Project No. 015207

From Last Work Session (Attachment A)

1. Equity in Zoning - Storage Requirements. Draft language is provided.
2. Use Table – Draft language is provided which includes the edits suggested at the September work session. Note that there are a few terms that require some additional definitions; these will be included in the Reorganization/UDC work described below.
3. TOD Districts – Draft language is provided which includes revisions to ground-floor residential uses as discussed in September. Note that we are also checking on the bicycle parking requirements against recently approved developments to make sure that the standards are consistent with those recent approvals.

Unified Development Code (Attachment B)

Purpose. We recommend consolidating the City regulations governing land use and development into a Unified Development Code (UDC). The UDC is the official body of rules and regulations to guide land use and development. It is a document in which traditional zoning and subdivisions regulations are combined with other desired city regulations such as signage and subdivisions. It serves as a local policy instrument in implementing the City's land use plans and goals.

Reorganization principles. The new code will advance the goals established by the community in Brooklyn Park 2025 and more broadly in the 2040 Comprehensive Plan. The City has a bold vision that necessitates revisions to its regulatory tools to enable and promote build out of the City according to this vision. The current code is too conventional, restrictive, and complex to successfully partner with residents, businesses, and the development community to realize this vision.

Overview of Brooklyn Park UDC

<p>Article 1. General Provisions Purpose. To provide an overview of the purpose and authority of the UDC Overview of Changes</p> <ul style="list-style-type: none"> • Move definitions to the end, new Article 6 Definitions • Administration and Procedures and nonconformities move to new Article 5 Administration and Procedures 	<p>Article 4. Development Standards Purpose. To establish standards for development of land and how it should relate to the public realm and surrounding private property. Ex. Parking, building form, design, screening, landscaping, lighting. Overview of Changes</p> <ul style="list-style-type: none"> • Standards will be found in one section of the code instead of multiple sections (Secs 152.200 and 152.300) • Fences 152.292 – review “approved materials” <p>Considerations:</p> <ul style="list-style-type: none"> • Should sections currently outside of Chapter 152 be incorporated here. Ex. Signs, stormwater management, and plat design • Signs and Temporary Signs. Review for compliance with case law.
<p>Article 2. Zoning Districts Purpose. To state the purpose of and differentiate each district. Overview of Changes</p> <ul style="list-style-type: none"> • Information will be streamlined and consolidated in an intuitive manner. 	<p>Article 5. Administration and Procedures Purpose Overview of Changes</p> <ul style="list-style-type: none"> • Addition of a summary table for applicable procedures (ex. CUP, PUD, Site Plan) • Addition of a summary of who does what in the approval processes • Moved from Sec. 152.030 (Administration, Procedures) to stand-alone chapter to increase usability.
<p>Article 3. Permitted Uses & Use Standards Purpose. In table form, state what is allowed how and where Overview of Changes</p> <ul style="list-style-type: none"> • Addition of a use table. • Much focus will be given to establishing use standards to enable more uses to be allowed by-right, without a CUP or RZ. • Outdoor Sales/Display (152.0362) revisit for convenience stores and gas stations • Accessory Dwelling Units (ADU) – allow and regulate. 	<p>Article 6. Definitions Purpose – define and empower all relevant and governing terms in the UDC, in one place Overview of Changes</p> <ul style="list-style-type: none"> • Eliminate duplicates and dated terms and add missing terms

AGENDA 6.6C - SUPPORTING DOCUMENTS

Next Steps

Pending your input on the reorganization and UDC principals, we will prepare the first set of amendments for your consideration at the next work session in November.

AGENDA 6.6C - SUPPORTING DOCUMENTS
ATTACHMENT A

SECTION 152.243 ADDITIONAL REGULATIONS FOR PERMITTED USES

(C) Detached single-family dwellings. All new detached single-family dwelling must comply with the following conditions:

(1) ~~All dwellings built after July 31, 1982, including manufactured or mobile housing, must include a basement as defined in Sec. 152.008.~~ The lowest floor elevation of any residential basement may not be lower than the regulatory flood protection elevation.

Bold = additions
~~Strikethrough = removals or consolidations~~
 Pink fill = consider adding uses in this district
 Blue = moved or consolidated
 P = Permitted C = Conditional Blank = Not Permitted
Bold Red = Condition to Permitted

	RES						BUS-IND						PUB	CON	TOD						NWMUD	Standards
	R-1	R-2	R-3	R-4	R-5	R-6	B-1	B-2	B-3	B-4	BP	I			C	CT	E	ET	GHI	GMD		
RESIDENTIAL																						
Household Living																						
Single-family dwelling	P	P		P	NP	NP														R	P	
Dwellings, detached single-family	P	P		P	NP	NP																
Single-family, two-family																				R		
Two-family dwelling	NP	NP		P	P	NP														R	P	
Dwellings, attached two-family	NP	NP		P	P	NP																
Townhouse dwelling	NP	NP		P	P	P														R	R	
Dwellings, townhouses	NP	NP		P	P	P																
Multiple family dwelling	NP	NP		NP	P	P	NP	C	C	NP	NP	NP			R	R			R	R	R	
Dwellings, multiple family structures	NP	NP		NP	P	P																
Multiple dwelling													R	R					R	R	R	
Multiple family dwelling and cluster housing in compliance with § 152.344							NP	C	C	NP	NP	NP										
Mobile home park	NP	NP		NP	C	NP																
Model home	P	P		P	P	P																
Group Living																						
Care center, convalescent home, and assisted living	NP	NP		NP	C	C	C	C	C	C	NP	NP			P	P	P	P	P	P	P	
Care centers, convalescent homes, hospitals, and assisted living facilities							C	C	C	C	NP	NP										
Care facility, convalescent home							C	C	C	C	NP	NP			P	P			P	P	P	
Residential facility, licensed (6 or fewer persons)	P	P		P	NP	NP																
Residential facility, licensed (7-15 persons)	NP	NP		NP	C	C																
CIVIC & INSTITUTIONAL																						
Cemetery																						
Public and quasi-public facilities	C	C		C	NP	NP	C	C	C	C	NP	C	P									
Government buildings													P									
Library																				P	R	
Museums																				P	R	
Schools, elementary, or secondary							C	NP	NP	NP	NP	NP	P									
Public schools, including charter schools in compliance with § 152.182							C	NP	NP	NP	NP	NP	P									
Schools and Daycares													P									
Day care facility, licensed							P	P	P	P	P	P	P		P	P	P	C	P	P	P	
Daycare facilities, licensed							P	P	P	P	P	P	P									
Day care facility, licensed (13 to 16 persons)	NP	NP		NP	P	P																
Group day care facility, licensed (13 to 16 persons)	NP	NP		NP	P	P																
Daycare, licensed or group daycare facilities (13 to 16 persons)	NP	NP		NP	P	P																
Day care facility, licensed (12 or fewer persons)	P	P	P	P	NP	NP																
Group family day care facility, licensed (14 or fewer children)	P	P	P	P	NP	NP																
Daycare facilities, licensed (12 or fewer children) or group family daycare facilities (14 or fewer children)	P	P	P	P	NP	NP																
Child-Care																						
Adult Day-Care																						
Child and adult day care															P	P	C	C	P	P	P	
Religious assembly	P	P		P	P	P	P	P	P	NP	NP	NP	P									
Religious institutions													P									
Religious institutions subject to §§ 152.180 through 152.182													P									
Religious institutions, in compliance with §§ 152.180 through 152.182							P	P	P	P	NP	NP	P									
Non-profit community agencies, recreation centers, or youth centers							NP	C	C	C	NP	NP	P									
Clubs							NP	NP	NP	NP	NP	NP	P									
Social clubs							NP	C	C	C	NP	NP	P									
Assembly, banquet, convention halls, or conference centers							NP	C	C	C	NP	NP	P									
Outdoor storage of equipment, landscaping materials, etc. when accessory to a government building or maintenance facility													C									
Business, trade, or non-academic colleges operated for profit							P	P	P	P	P	NP			P	P	P	P	P	P	P	
Adult training facilities																						
MEDICAL																						
Hospital													P									
Medical clinic							P	P	P	P	P	P			P	P	P	P	P	P	P	
Dental clinic															P	P	P	P	P	P	P	
Medical and dental clinics															P	P	P	P	P	P	P	

	RES						BUS-IND						PUB	CON	TOD						NWMUD	Standards			
	R-1	R-2	R-3	R-4	R-5	R-6	B-1	B-2	B-3	B-4	BP	I			C	CT	E	ET	GHI	GMD			GLI		
Body Art							NP	P	P	NP	NP	NP											M.S. Chapter 146B and Chapter 123 of this code		
Funeral home and mortuaries							P	P	P	NP	P	NP													
Funeral home							P	P	P	NP	NP	NP													
Crematories/Crematoriums							P	NP	NP	NP	NP	NP													
Currency exchange and pawnshop							P																§ 152.344		
Heavy equipment, machinery and farm vehicle sales, contractors yards, bulk firewood sales, and gravel and rock sales							NP	NP	NP	NP	NP	P													
Automobile, Parking, Transportation																									
Auto oriented repair services							NP	NP	C	C	C	C													
Carwash							NP	NP	P	P	P	P													
Gasoline sales							NP	C	C	C	C	C					C	C	C						
Fuel stations							NP	C	C	C	C	C													
Drive-through facility																	C								
Parking as a principal use																	C								
Parking																	C								
Indoor sales of automobiles, trucks and recreational vehicles and the like							NP	NP	NP	C	C	C					C	P	C	C	P			§ 152.344	
Showrooms and sales of automobiles, trucks and recreational vehicles and equipment and the like							NP	NP	NP	C	NP	NP											§ 152.344		
Wholesale, broker and auction dealer of automobiles, trucks and recreational vehicles and the like							P	P	P	P	P	P											§ 152.343		
Automobile rental containing more than six cars on site							NP	C	C	C	NP	NP													
Automobile rental containing more than six cars on site							NP	C	C	C	NP	NP													
Bus or truck storage or service shops, including fuel stations							NP	NP	NP	NP	NP	C													
Fabrication or assembly of heavy equipment or vehicles							NP	NP	NP	NP	NP	C													
Truck or motor freight terminal							NP	NP	NP	NP	NP	C													
Vehicle impound yard							NP	NP	NP	NP	NP	C													
LIMITED PRODUCTION, PROCESSING, STORAGE																									
Self-service storage facility							NP	NP	C	C	NP	C					NP	NP	NP	NP	NP	NP			
Warehousing							NP	NP	NP	NP	P	P													
Distribution center							NP	NP	NP	NP	P	P													
Distribution as a primary use																			NP	NP					
Distribution or products produced on site																			P	P					
Soil processing and mining	C	NP		NP	NP	NP	NP	NP	NP	NP	NP	C													
Concrete or asphalt mixing plants, concrete block fabrication, or builders' or contractors' yards, brick yards, and accessory sale of dirt, sand, gravel, rock, concrete blocks, bricks, etc.; stone, marble or granite grinding and cutting							NP	NP	NP	NP	NP	C													
Stone, marble or granite grinding and cutting							NP	NP	NP	NP	NP	C													
Manufacturing, assembly, processing, fabricating, brewing, distilling, and accessory sale of the product produced on site, except those uses further restricted in this ordinance							NP	NP	NP	NP	P	P							P	P					
Manufacturing, assembly, processing, fabricating, brewing, distilling and accessory sale of the product produced on site																			P	P					
Agricultural uses																									
Farming and cultivation of agricultural products	P	P		P	P	P																			
Seasonal (temporary) greenhouse and garden center	C	NP		NP	NP	NP																			§ 152.362(D)
Domesticated and farm animals	P	NP		NP	NP	NP																			
Open space area connected with residential, institutional, or business development																									
Nature study area and arboretum																									
Multiple principal structures on a single lot							C	C	C	C	C	C													

AGENDA 6.6C - SUPPORTING DOCUMENTS

- C Allowed with approval of a conditional use permit R Permitted with compliance to the conditions of subsection (B)(1) below
- (A) Multiple uses within a single parcel or building are permitted in TOD districts.
- (B) Uses permitted in sections §152.606 – §152.610 are limited for size or intensity as follows:
- (1) Restrictions per use:
- | | |
|--------------------|--|
| Service and retail | 50,000 sq. ft. max. gross floor area |
| Institutional | On-site parking may not exceed 50 surface lot spaces |
| <u>Residential</u> | <u>Residential uses notare permitted on the ground floor of buildings whose primary façade is along Bottineau Boulevard, Brooklyn Boulevard, West Broadway provided that access directly onto the street is provided. Amenities and community spaces are encouraged to be located on the first floor along with residential uses.</u> |

§152.604 BUILDING AND SITE STANDARDS.

- (A) *Purpose.* This section regulates the development and modification of buildings and other elements of the built environment within the private lot, based on the following premises:
- (1) Building regulations should equitably balance the rights of the individual and the interests of the community as a whole.
- (2) Building form individually and collectively defines and supports the public realm.
- (3) Building placement should support walkability, safe streets, and safe public spaces, to create pedestrian-friendly neighborhoods.
- (B) Minimum frontage buildout indicates that lots must contain buildings along the prescribed length of property line.
- (1) At front streets the minimum frontage buildout is a percentage of the length of the abutting property line.
- (2) At side streets the minimum frontage buildout is a specified distance along the property line from the corner.
- (3) Facades must be within the minimum and maximum setback.
- (4) At corner lots the width of the property, for frontage buildout calculation, may be reduced by the setback of the perpendicular lot line as indicated by (a) in the illustration below.
- (C) Front setback requirements of Table 6 through Table 9, and Table 16 through Table 18 will be maintained as City easement for right of way maintenance.
- (D) Building width must meet the requirements of Table 6 through Table 9, and Table 16 through Table 18 measured at front setback. The maximum building width does not apply to buildings with a forecourt frontage type where the forecourt is wider than 40 feet.
- (E) In order to create activity levels that support and take advantage of existing and future transit proposed within the City, the density of dwelling units (DU) per acre must meet requirements of Table 6 through Table 9, and Table 16 through Table 18. These requirements apply to the residential component of any residential or mixed-use project proposed in the district.

Work Plan

Proposed Unified Development Code Structure

Article 1. General Provisions	
Article 2. Zoning Districts	
Article 3. Permitted Uses A. Permitted Use Table B. Use Specific/ Performance Standards	
Article 4. Development Standards A. Dimensional Standards B. Building Form Standards C. Connectivity and Circulation D. Parking and Loading E. Landscaping F. Screening and Fences G. Signs* H. Stormwater Management* I. Sustainability Standards J. Design Standards K. Exterior Lighting L. Housing and Property Maintenance Code* M. Plat Design* N. Maintenance and Operating Standards	Article 5. Administration and Procedures A. Summary Table (new feature) B. Reviewers and Decision-Makers (new feature) C. Review and Approval Procedures a. Comprehensive Plan adoption or amendment b. UDC Text or zoning map amendment c. Subdivision plat approval or amendment* d. Vacation of Street* e. Variance (sign, lot, structure) f. Conditional use g. Interim use h. Temporary use i. Site plan j. Administrative Review k. Zoning permit l. Building permit* m. Certificate of occupancy* n. Accessory home share permit (Airbnb) D. Nonconformities E. Enforcement and Penalties
	Article 6. Definitions A. Rules of Constructions B. Definitions
	Appendix: Zoning Map

Memorandum

To: Brooklyn Park Planning Commission Members
CC: Cindy Sherman, Planning Director

From: Erin Perdu, AICP Planning Consultant
Molly Just, AICP, Planning Consultant

Date: 11/5/2020

Re: Zoning Update
WSB Project No. 015207

The purpose of this meeting is to review the business and industrial uses that are shifting from being permitted by Conditional Use Permit (CUP) to being permitted by-right. We will identify the need for use standards, discuss whether any existing standards are sufficient for the use in a by-right setting, and identify definitions needed to administer the use. Following the meeting, WSB will make the changes to reflect the discussion.

Agenda

7:00 – 7:10 Welcome and presentation of approach to get to a March public hearing

7:10 – 8:30 CUP uses shifting to permitted by-right

- Evaluate adequacy of existing use standards
- Identify needed use standards
- Evaluate adequacy of existing definitions
- Identify needed definitions

8:30 – 9:00 Summarize progress and discuss next steps

AGENDA 6.6C - SUPPORTING DOCUMENTS
Excerpt from Use Table - Business and Industrial Uses

Bold = additions

~~Strikethrough = removals or consolidations~~

Pink fill = consider adding uses in this district

Blue = moved or consolidated

P = Permitted C = Conditional Blank = Not Permitted

Bold Red = Condition to Permitted

	BUS-IND					
	B-1	B-2	B-3	B-4	BP	I
COMMERCIAL						
Lodging						
Hotel or motel	NP	P	P	P	P	NP
Bed and breakfast establishments						
Lodging						
Hotel or motel, not to exceed 50 rooms						
Lodging, not to exceed 50 rooms						
Hotel or motel, not to exceed 12 rooms						
Lodging, not to exceed 12 rooms						
Indoor Entertainment, Recreation, Food, and Beverage						
Restaurant, Class I	NP	P	P	P	P	P
Restaurant, Class II	NP	P	P	P	P	P
Restaurant, brewpub	NP	P	P	P	P	P
Restaurant, brewpub, brewery with taproom, micro-distillery with cocktail room						
Brewery with taproom and micro-distillery with cocktail room						
Taproom and cocktail room						
Brewery and micro-distillery						
Restaurant, not to exceed 40 seats						
Brewpub, not to exceed 40 seats						
Theater, excluding drive-ins	NP	P	P	P	NP	NP
Commercial recreational facility (Privately owned)						
Commercial indoor recreational facility under 2,450 square feet	NP	P	P	P	P	P
Commercial indoor recreational facility over 2,450 square feet	NP	C	C	C	C	C
Entertainment						
Sexually oriented business	NP	NP	P	NP	NP	NP
Service or Workplace						
Office	P	P	P	P	P	P
Office, not to exceed 5,000 sq. ft.						
Office, bank or clinic	P	P	P	P	P	P
Office related to leasing, renting and maintenance of multiple family dwellings and townhouses						
Bank	P	P	P	P	P	P
All structures for retail or service businesses with 25,000 square feet or less, excluding those mentioned elsewhere in this section	NP	P	P	P	C	C
All structures for retail or service businesses with between 25,000 and 50,000 square feet, excluding those mentioned elsewhere in this section	NP	P	P	P	NP	NP
All structures for retail or service businesses with 50,000 square feet or more, excluding those mentioned elsewhere in this section	NP	P	P	P	NP	NP
Retail and service						
Transient sales	NP	NP	C	NP	NP	NP
Transient produce sales, only in the Old Town Hall Square at Zane Avenue North and Brooklyn Boulevard						
Veterinary clinic	P	P	P	P	P	P
Animal services	NP	P	P	P	P	P



City of Brooklyn Park
City Hall
5200 85th Ave. N.
Brooklyn Park, MN 55443
763-424-8000
www.brooklynpark.org

MEMORANDUM

Date: November 4, 2021
To: Planning Commission Members
From: Paul Mogush, Planning Director
Subject: November 10 Work Session – Item 2A

Performance Standards for new Permitted or Accessory Uses

At the November 10 work session, we will be joined by Brandy Howe and Kim Lindquist of WSB, the consulting firm that has been working on updating the Zoning Code to make it consistent with the 2040 Comprehensive Plan. Brandy and Kim will talk through proposed performance standards as outlined in the attached memo.

Attachment

WSB Memo

Memorandum

To: Brooklyn Park Planning Commission Members
CC: Paul Mogush, Planning Director

From: Brandy Howe, AICP Planning Consultant
Kim Lindquist, AICP, Planning Consultant

Date: 11/10/2021

Re: Zoning Update
Performance Standards for new Permitted or Accessory Uses
WSB Project No. 015207

Background

As some Commissioners may be aware, the City of Brooklyn Park contracted with WSB in mid-2020 to update the City zoning ordinance to implement the adopted Comprehensive Plan. Several tasks had been completed; however, the project was put on hold in November 2020 partially due to staff turnover at WSB, but also because COVID-19 reduced public engagement opportunities.

Many items identified in the work program have been completed such as assessing the ordinance for areas of divergence with the Comprehensive Plan, modifying the TOD ordinance, revising, and consolidating uses in both the residential and commercial districts, and provision of an analysis of compliance with State and Federal regulations. One of the sub-areas left to be completed was evaluating whether certain conditional uses in the businesses and industrial districts could be shifted to permitted. The shift reduces administrative burden on staff and allows developers and property owners to quickly implement projects for uses that are generally supported.

Shifting Conditional Uses to Permitted Uses

Based on direction from City Council, staff and WSB were directed to consider whether some business uses could be shifted from conditional to permitted by right uses. The intent was to become more business-friendly by eliminating the conditional use permitting process while creating performance standards for some uses where appropriate. The Planning Commission reviewed the land use table and made the following recommendations for uses that could be permitted by right, potentially with performance standards.

- Principal – now permitted:
 - Hotel or Motel
 - Restaurant, Class II
 - Restaurant, Brewpub
 - Theater, excluding drive-ins
 - Retail or service businesses with 25,000 sq feet or less
 - Retail or service businesses over 50,000 sq feet
 - Funeral home and mortuaries,
 - Car wash
- Accessory – now permitted:
 - Crematories/crematoriums when accessory to a funeral home, mortuary, or veterinary clinic subject to the state license and regulation process

AGENDA 6.6C - SUPPORTING DOCUMENTS

- Car wash (automatic) when accessory to fuel station
- Accessory - New
 - Outdoor Seating
- Temporary Uses (New category)
 - Christmas tree sales
 - Fireworks sales
 - Garden centers
 - Storage of winter equipment (New)

Draft performance standards have been created (see attached) based on common areas of concern: parking, circulation, noise, lighting, overall impact on neighborhood, and consistency with City development goals. A first draft was supplied to city staff and revised to eliminate duplication of performance standards in other sections of the code of ordinances. Ultimately, the new standards focus on issues not addressed by the current ordinance or provide cross-references to state or local regulations.

Finally, in working through this process, staff determined that vehicular stacking for car washes could be addressed with a simple amendment to Section 152.145, the same standards for other drive-through businesses. This amendment is included at the end of the attachment.

Questions and Considerations

The goal of the meeting tonight is to reintroduce the zoning ordinance update work, focusing on the suggested performance standards for new permitted and accessory uses.

Attachment:

- Draft Performance Standards

Principal Uses (Formerly Conditional – Now Permitted)

Hotel or Motel

1. A lodging license pursuant to Chapter 117, shall be provided.
2. At least two amenities, such as pool, restaurant, lounge, fitness center, office center, or similar ancillary use, shall be provided in conjunction with the hotel or motel.

Funeral home and mortuary

1. Loading and unloading areas used by ambulances, hearses or other such service vehicles shall be screened from public off-site views.
2. If a crematorium is included as part of a funeral home, no more than 33% of the floor area of a funeral home may be devoted to the crematory, including area for the cremator, cremation observation, crematory access and maintenance areas, and any additional areas used primarily for services related to cremation.
3. An employee residence is permitted.

Car wash (principal use)

All car washes shall comply with the following supplemental regulations, which shall be in addition to all other regulations of this Zoning Code. In the event there is a conflict between these supplemental regulations and other portions of this Zoning Code, the regulations in this section shall govern.

1. All car wash operations shall be staffed during operating hours.
2. All car wash bays shall have a separate entrance and exit.
3. If within 200 feet of a residential district or use, the car wash bays shall be closed when in operation.

Accessory Uses (Formerly Conditional – Now Permitted)

Cocktail room

1. Cocktail rooms shall be clearly incidental and subordinate to the primary operation of the associated distillery as a production or manufacturing facility. The primary focus of the cocktail room shall be the marketing and sale of the beverage produced or manufactured by the distillery.

Crematories/Crematoriums when accessory to a funeral home, mortuary, or veterinary clinic

1. Licensure by the Minnesota Commissioner of Health shall be required and compliance with M.S. § 149A.95.
2. Crematoriums shall not be located within 500 feet of any residential district.
3. Crematoriums shall not be used for the disposal of any waste materials.
4. Crematoriums shall not emit any visible air emissions nor generate odors.

Accessory Uses (NEW)

Outdoor Seating

1. Outdoor seating is permitted if depicted on an approved site plan. The following additional standards relate to outdoor seating areas:
 - a. Service and consumption of alcohol on outdoor patios and decks in conjunction with an intoxicating liquor "on-sale" license or a 3.2 percent malt liquor license may be permitted under the following conditions:
 - i. The patio or deck area must be contiguous to the licensed premises and shall be enclosed with a fence that meets standards set forth in this code that does not allow entrance from outside the fenced area onto the patio or deck area.
 - ii. Receptacles for rubbish, garbage, etc., must be provided and adequately screened.
 - iii. Lighting must be sufficient to promote public safety, directed downward, and compatible with the surrounding area.
 - iv. Smoking may be allowed on the patio or deck area, provided it is in compliance with the Minnesota "Freedom to Breathe Act of 2007."
 - v. The patio or deck area shall be controlled and monitored continuously during the hours of operation and unruly patrons shall be removed immediately.
 - vi. Patrons shall not leave the premises with a drink nor can drinks be taken onto a public sidewalk.
 - vii. The outdoor patio or deck area must be included in the required liquor liability insurance for the premises.
2. Outdoor entertainment and the use of sound-amplifying equipment shall be subject to the following regulations.
 - a. The volume of sound shall not violate 152.570 of this ordinance.
 - b. The sound amplifying equipment shall not be used between the hours of ten p.m. and eight a.m.

ACCESSORY SEASONAL USES (NEW)

Christmas Trees

1. All temporary buildings or trailers associated with the sales lot, as well as all tree-related debris and materials are permitted between November 15 and January 15.
2. The sales area shall be separated from vehicular uses by the placement of a fence or barrier to prevent pedestrian and vehicular conflicts.
3. Must be on a paved surface that does not interfere with the principal use's minimum parking needs, traffic flow, and emergency access.

Garden Center

1. Garden center sales shall only be permitted between April 1 and June 30.

AGENDA 6.6C - SUPPORTING DOCUMENTS

2. The sales area shall be separated from vehicular uses by the placement of a fence or barrier to prevent pedestrian and vehicular conflicts.
3. Must be on a paved surface that does not interfere with the principal use's minimum parking needs, traffic flow, and emergency access.

Exterior Firework Sales

1. An annual retail fireworks permit shall be required per Section 93.25.
2. Fireworks sales shall only be permitted between June 15 and July 5.
3. The sales area shall be separated from vehicular uses by the placement of a fence or barrier to prevent pedestrian and vehicular conflicts.
4. Must be on a paved surface that does not interfere with the principal use's minimum parking needs, traffic flow, and emergency access.
5. No fireworks shall be sold or dispensed from a motor vehicle or towed vehicle.
6. Outdoor sales lot for consumer fireworks sales shall meet the specialized requirements laid out in Minnesota statute, section 624.20, and all other applicable ordinances or statutes.

REVISIONS TO CHAPTER 152.145

§ 152.145 OFF-STREET PARKING AREA DESIGN REQUIREMENTS.

(H) Stacking. All drive-throughs, including service windows and car washes must contain room for a minimum stacking of six cars from the serving window and stacking must not extend into drive aisles.

Matt Hayes-Regan

From: Cheryl Avina <crlafon1@gmail.com>
Sent: Monday, April 1, 2024 10:52 AM
To: Planning
Cc: Tony McGarvey; Maria Tran
Subject: RE: Land Use

Committee:

I would like to propose that as you consider how the land is used that you take into account the following:

It be environmentally friendly

No pollution causing be permitted

That there be land set aside in consideration of the Native American Community

Sent from my iPhone

The City Council has determined that pursuant to its City Charter, Ordinance #2024-_____ should be published in summary form.

SUMMARY OF ORDINANCE #2024-_____

ORDINANCE AMENDING CHAPTER 152 OF THE BROOKLYN PARK CITY CODE
PERTAINING TO _____

Ordinance #2024-_____, amends Chapter 152, Pertaining
_____.

Changes to §152
[Placeholder]

This summary of Ordinance #2024-_____ has been approved by the City Council on June ____, 2024 and the City Council has determined that the title and text of the summary clearly informs the public of the intent and effect of the ordinance. A printed copy of the full text of the ordinance is available for public inspection in the office of the City Clerk.

ATTEST:

HOLLIES WINSTON, MAYOR

DEVIN MONTERO, CITY CLERK

Approved as to Form by City Attorney
Passed on First Reading: _____
Passed on Second Reading: _____
Summary Published in Official Newspaper: _____