

REGULAR CITY COUNCIL MEETING – AGENDA #28

If you need these materials in an alternative format or need reasonable accommodations for a City Council meeting, please provide the City with 72-hours' notice by calling 763-424-8000 or emailing Josie Shardlow at josie.shardlow@brooklynpark.org.
Para asistencia, 763-424-8000; Yog xav tau kev pab, 763-424-8000.

Our Vision: Brooklyn Park, a thriving community inspiring pride where opportunities exist for all.

Our Brooklyn Park 2025 Goals:

• A united and welcoming community, strengthened by our diversity • Beautiful spaces and quality infrastructure make Brooklyn Park a unique destination • A balanced economic environment that empowers businesses and people to thrive • People of all ages have what they need to feel healthy and safe • Partnerships that increase racial and economic equity empower residents and neighborhoods to prosper • Effective and engaging government recognized as a leader

I. ORGANIZATIONAL BUSINESS

1. CALL TO ORDER/ROLL CALL/PLEDGE OF ALLEGIANCE

2. PUBLIC COMMENT AND RESPONSE 6:00 p.m. Provides an opportunity for the public to address the Council on items which are not on the agenda. Public Comment will be limited to 15 minutes (*if no one is in attendance for Public Comment, the regular meeting may begin*), and it may not be used to make personal attacks, to air personality grievances, to make political endorsements or for political campaign purposes. Individuals should limit their comments to three minutes. Council Members will not enter into a dialogue with residents. Questions from the Council will be for clarification only. Public Comment will not be used as a time for problem solving or reacting to the comments made, but rather for hearing the residents for informational purposes only.

2A. RESPONSE TO PRIOR PUBLIC COMMENT

2B. PUBLIC COMMENT

3A. APPROVAL OF AGENDA (Items specifically identified may be removed from Consent or added elsewhere on the agenda by request of any Council Member.)

3B. PUBLIC PRESENTATIONS/PROCLAMATIONS/RECEIPT OF GENERAL COMMUNICATIONS

3B.1 Proclamation Proclaiming July 26, 2023 as Liberian Independence Day

A. PROCLAMATION

3B.2 Proclamation Proclaiming August 12, 2023 as Igbo Day

A. PROCLAMATION

3B.3 League of Minnesota Cities City of Excellence Award Presentation

II. STATUTORY BUSINESS AND/OR POLICY IMPLEMENTATION

4. CONSENT (All items listed under Consent, unless removed from Consent in agenda item 3A, shall be approved by one council motion.) Consent Agenda consists of items delegated to city management or a commission but requires council action by State law, City Charter or city code. These items must conform to a council approved policy, plan, capital improvement project, ordinance or contract. In addition, meeting minutes shall be included.

4.1 Development Bond Reductions/Releases

4.2 Approve a 3.2 Malt Liquor Off-Sale License for Family Dollar Inc. dba Family Dollar Store #26419, Located at 7638 Brooklyn Boulevard North, Brooklyn Park, MN 55443

4.3 Approve a Tetrahydrocannabinol (THC) License and a Tobacco License for Noor S Food LLC dba Speedy Market & Tobacco, 7401 Regent Avenue North, Brooklyn Park, MN 55443

4.4 Approve the City Manager to Enter into a Purchase Agreement for Network Firewalls

A. RESOLUTION

B. HIGH POINT NETWORKS EQUIPMENT QUOTE

The following items relate to the City Council's long-range policy-making responsibilities and are handled individually for appropriate debate and deliberation. (Those persons wishing to speak to any of the items listed in this section should fill out a speaker's form and give it to the City Clerk. Staff will present each item, following in which audience input is invited. Discussion will then be closed to the public and directed to the council table for action.)

5. PUBLIC HEARINGS

None.

6. LAND USE ACTIONS

6.1 610 West Building 5 – An Application by The Doran Group for a Preliminary Plat, Conditional Use Permit and Site Plan at 6501 96th Lane North for a 115-Unit Multifamily Development

- A.** DRAFT RESOLUTION – PRELIMINARY PLAT
- B.** DRAFT RESOLUTION – CONDITIONAL USE PERMIT
- C.** DRAFT RESOLUTION – SITE PLAN
- D.** PLANNING COMMISSION MINUTES
- E.** LOCATION MAP
- F.** SUPPORTING DOCUMENTS
- G.** PLAN SET

7. GENERAL ACTION ITEMS

7.1 Approve Contract Extensions and Recommended Allocations for Ten Community-Based Organizations

- A.** RESOLUTION

III. DISCUSSION – These items will be discussion items but the City Council may act upon them during the course of the meeting.

8. DISCUSSION ITEMS

8.1 Discuss Anti-Displacement Working Group Report and Draft Letter Related to the METRO Blue Line Light Rail Transit Project

- A.** ANTIDISPLACEMENT REPORT EXECUTIVE SUMMARY
- B.** DRAFT LETTER
- C.** ANTIDISPLACEMENT RECOMMENDATIONS TABLE

IV. VERBAL REPORTS AND ANNOUNCEMENTS

9A. COUNCIL MEMBER REPORTS AND ANNOUNCEMENTS

9B. CITY MANAGER REPORTS AND ANNOUNCEMENTS

V. WORK SESSION – With the Planning Commission (Recess to Room A203)

10.1 610 Corridor Development Study

- A.** 610 CORRIDOR DEVELOPMENT STUDY ENGAGEMENT SUMMARY

VI. ADJOURNMENT

Since we do not have time to discuss every point presented, it may seem that decisions are preconceived. However, background information is provided for the City Council on each agenda item in advance from city staff and appointed commissions, and decisions are based on this information and past experiences. If you are aware of information that has not been discussed, please raise your hand to be recognized. Please speak from the podium. Comments that are pertinent are appreciated. Items requiring excessive time may be continued to another meeting.

City of Brooklyn Park Request for Council Action

Agenda Item:	3B.1	Meeting Date:	July 24, 2023
Agenda Section:	Public Presentations/ Proclamations/Receipt of General Communications	Originating Department:	Administration
Resolution:	N/A	Prepared By:	Josie Shardlow, Community Engagement Manager
Ordinance:	N/A		
Attachments:	1	Presented By:	Mayor Winston
Item:	Proclamation Proclaiming July 26, 2023 as Liberian Independence Day		

City Manager's Proposed Action:

The Mayor shall proclaim July 26, 2023 to be observed as Liberian Independence Day and celebrate the 176th anniversary of Liberia's Declaration of Independence.

1. "I, Hollies Winston, Mayor of the City of Brooklyn Park, Minnesota, do hereby proclaim July 26, 2023 shall be observed as Liberian Independence Day in the City of Brooklyn Park and celebrate the 176th anniversary of Liberia's Declaration of Independence.

OR

2. By reading the proclamation.

Liberians living in the City of Brooklyn Park and in Minnesota are making enormous contributions toward the development of the workforce, cultural diversity, and economic growth.

The City of Brooklyn Park is proud to be called home by one of the largest populations of Liberians outside of the Republic of Liberia and has greatly benefited from many residents who have taken an active role in local organizations, city commissions and city government.

Liberia's Independence Day, observed on July 26, is a day to honor and highlight the current and historical relationship between the United States and Liberia, and the vital contributions Liberians make to the United States, to Minnesota, and to Brooklyn Park.

The Organization of Liberians in Minnesota is organizing celebratory community events this weekend including an Independence Ball and a soccer tournament.

Primary Issues/Alternatives to Consider: N/A

Budgetary/Fiscal Issues: N/A

Attachments:

3B.1A PROCLAMATION

PROCLAMATION

LIBERIAN INDEPENDENCE DAY

PROCLAIMING JULY 26, 2023, AS LIBERIAN INDEPENDENCE DAY IN BROOKLYN PARK, MINNESOTA AND CELEBRATING THE 176TH ANNIVERSARY OF LIBERIA'S DECLARATION OF INDEPENDENCE

WHEREAS, July 26, 2023 marks the 176th anniversary of Liberia's Declaration of Independence; and

WHEREAS, Liberia, which means "land of the free," was the first African nation on the African continent to gain its independence on July 26, 1847; and

WHEREAS, Liberians living in the City of Brooklyn Park and in Minnesota are making enormous contributions toward the development of the workforce, cultural diversity, arts, and economic growth; and

WHEREAS, Brooklyn Park is proud to be called home by one of the largest populations of Liberians outside of the Republic of Liberia and has greatly benefited from many residents who have taken an active role in local organizations, city commissions and city government; and

WHEREAS, Brooklyn Park recognizes the rich and strong Liberian community that is making our City a thriving, vibrant, and diverse community; and

WHEREAS, Liberia's Independence Day is a day to honor and highlight the current and historical relationship between the United States and Liberia, and the vital contributions Liberians make to the United States, to Minnesota, and to Brooklyn Park; and

WHEREAS the Organization of Liberians in Minnesota is organizing community events this weekend in order to celebrate the holiday.

NOW, THEREFORE, I, Hollies Winston, Mayor of the City of Brooklyn Park, Minnesota, do hereby proclaim July 26, 2023, shall be observed as Liberian Independence Day in the City of Brooklyn Park.



5200 85th Avenue North
Brooklyn Park, MN 55443

Hollies Winston, Mayor

City of Brooklyn Park Request for Council Action

Agenda Item:	3B.2	Meeting Date:	July 24, 2023
Agenda Section:	Public Presentations/ Proclamations/Receipt of General Communications	Originating Department:	Administration
Resolution:	N/A	Prepared By:	Josie Shardlow, Community Engagement Manager
Ordinance:	N/A		
Attachments:	1	Presented By:	Mayor Winston
Item:	Proclamation Proclaiming August 12, 2023 as Igbo Day		

City Manager's Proposed Action:

The Mayor shall proclaim August 12, 2023 to be observed as Igbo Day.

1. "I, Hollies Winston, Mayor of the City of Brooklyn Park, do hereby proclaim August 12, 2023 shall be observed as "Igbo Day" in the City of Brooklyn Park."

OR

2. By reading the proclamation.

The Umunne Cultural Association is hosting Igbofest on Saturday, August 12 11am-7pm at North Hennepin Community College. This free event will include food, performances, and fun for families.

Primary Issues/Alternatives to Consider: N/A

Budgetary/Fiscal Issues: N/A

Attachments:

3B.2A PROCLAMATION

PROCLAMATION



PROCLAIMING SATURDAY, AUGUST 12, 2023 TO BE OBSERVED AS “IGBO DAY”

WHEREAS, the City of Brooklyn Park remains the home of many ethnic people of African descent in the state of Minnesota, Igbos are one of the major ethnic groups in Nigeria who live in Brooklyn Park; and

WHEREAS, there are thousands of Igbo residents in Minnesota, some of whom have lived in Brooklyn Park for more than forty-five years; and

WHEREAS, the city of Brooklyn Park continues to foster the environment that reflects cultural diversity, Igbos in Minnesota formed the non-profit organization Umunne Cultural Association to unite and educate Igbo families and Minnesotans about Igbo culture, arts, music and values; and

WHEREAS, the first Igbofest was held in 1994 to celebrate the rich heritage of the Igbos to educate Minnesotans about Igbo culture; and

WHEREAS, Igbos in Minnesota have been involved in causes such as education, the arts, volunteering in local schools and organizations, book drives, and cultural performances at local and international festivals; and

WHEREAS, Igbos in Minnesota are working to ensure the sustainability of Igbo culture by creating and promoting cultural diversity in Igbofest with a focus on understanding other cultures;

NOW, THEREFORE, I, Hollies Winston, Mayor of the City of Brooklyn Park, do hereby proclaim August 12, 2023 shall be observed as “Igbo Day” in the City of Brooklyn Park.

Hollies Winston, Mayor



5200 85th Avenue North
Brooklyn Park, MN 55443

City of Brooklyn Park Request for Council Action

Agenda Item:	3B.3	Meeting Date:	July 24, 2023
Agenda Section:	Public Presentations/ Proclamations/Receipt of General Communications	Originating Department:	Administration
Resolution:	N/A	Prepared By:	Katrina Doshier, Program Assistant
Ordinance:	N/A		
Attachments:	N/A	Presented By:	Luke Fischer, League of Minnesota Cities
Item:	League of Minnesota Cities City of Excellence Award Presentation		

City Manager's Proposed Action:

Representatives from the League of Minnesota Cities (LMC) will present the LMC City of Excellence Award video presentation and recognize the city for its outstanding achievements with the rental door knocking program.

Overview:

Representatives from the League of Minnesota Cities are stopping by Council meetings of those who received the 2023 City of Excellence award to recognize them for their innovation and excellence in service delivery. LMC Executive Director Luke Fischer and a member of the LMC Board will attend the Council meeting to present.

Primary Issues/Alternatives to Consider: N/A

Budgetary/Fiscal Issues: N/A

Attachments: N/A

City of Brooklyn Park Request for Council Action

Agenda Item:	4.1	Meeting Date:	July 24, 2023
Agenda Section:	Consent	Originating Department:	Community Development
Resolution:	N/A	Prepared By:	Erin McDermott, Associate Planner
Ordinance:	N/A		
Attachments:	N/A	Presented By:	Paul Mogush, Planning Director
Item:	Development Bond Reductions/Releases		

City Manager's Proposed Action:

MOTION _____, SECOND _____, FOR A FULL RELEASE OF THE CASH BOND (\$82,600.00) AND A PARTIAL RELEASE OF THE ENGINEERING ESCROW (\$7,277.30), AND FOR COMPLETION OF THE ON-SITE IMPROVEMENTS OF THE "SPERO ACADEMY" PROJECT #21-115 LOCATED AT 7444 HUMBOLDT AVE N FOR THE FRIENDS OF SPERO ACADEMY II.

Overview:

City Code requires performance bonds and developer's escrows be established as part of the development process. As projects progress, staff works with developers on the release of financial securities. For many large projects such as the partial release request presented here, for Spero Academy, there have been partial releases as work has been completed. In these instances, the Planning and Engineering Divisions have completed inspections to ensure the work was completed, and to ensure that remaining balances will cover the scope of work that has yet to be completed.

Primary Issues/Alternatives to Consider: N/A

Budgetary/Fiscal Issues: N/A

Attachments: N/A

City of Brooklyn Park Request for Council Action

Agenda Item:	4.2	Meeting Date:	July 24, 2023
Agenda Section:	Consent	Originating Department:	Community Development
Resolution:	N/A	Prepared By:	Megan Bookey, Program Assistant III
Ordinance:	N/A		
Attachments:	N/A	Presented By:	Keith Jullie, Rental and Business Licensing Manager
Item:	Approve a 3.2 Malt Liquor Off-Sale License for Family Dollar Inc. dba Family Dollar Store #26419, Located at 7638 Brooklyn Boulevard North, Brooklyn Park, MN 55443		

City Manager's Proposed Action:

MOTION _____, SECOND _____, TO APPROVE A 3.2 MALT LIQUOR OFF-SALE LICENSE FOR FAMILY DOLLAR INC. DBA FAMILY DOLLAR STORE #26419, LOCATED AT 7638 BROOKLYN BOULEVARD NORTH, BROOKLYN PARK, MN 55443

Overview:

This is a previously existing business with a new 3.2 off-sale license being issued to Family Dollar Inc. dba Family Dollar Store #26419, located at 7638 Brooklyn Boulevard North in Brooklyn Park, MN. Family Dollar also holds a tobacco license.

The police department has completed their investigation of the owners. There are currently no known code violations at the property and staff recommends approval of this 3.2 liquor license.

Primary Issues/Alternatives to Consider: N/A

Budgetary/Fiscal Issues: N/A

Attachments: N/A

City of Brooklyn Park Request for Council Action

Agenda Item:	4.3	Meeting Date:	July 24, 2023
Agenda Section:	Consent	Originating Department:	Community Development
Resolution:	N/A	Prepared By:	Megan Bookey, Program Assistant III
Ordinance:	N/A		
Attachments:	N/A	Presented By:	Keith Jullie, Rental and Business Licensing Manager
Item:	Approve a Tetrahydrocannabinol (THC) License and a Tobacco License for Noor S Food LLC dba Speedy Market & Tobacco, 7401 Regent Avenue North, Brooklyn Park, MN 55443		

City Manager's Proposed Action:

MOTION _____, SECOND _____, TO APPROVE A TETRAHYDROCANNABINOL (THC) LICENSE FOR NOOR S FOOD LLC DBA SPEEDY MARKET & TOBACCO, 7401 REGENT AVENUE NORTH, BROOKLYN PARK, MN 55443

MOTION _____, SECOND _____, TO APPROVE A TOBACCO LICENSE FOR NOOR S FOOD LLC DBA SPEEDY MARKET & TOBACCO, 7401 REGENT AVENUE NORTH, BROOKLYN PARK, MN 55443

Overview:

Due to a change in ownership, new licenses are being issued, however, this location has previously held THC and tobacco licenses.

The first action is for approval of a new THC license at 7401 Regent Avenue North. The THC license application has been approved and the police department has completed their investigation of the applicants.

The second action is for approval of a new tobacco license at 7401 Regent Avenue North. The tobacco application has been approved and the police department has completed their investigation of the applicants.

There are no known code violations and staff recommends approval of both the THC and Tobacco licenses.

Background:

On July 1, 2022, the Minnesota legislature legalized the sale of limited amounts of Tetrahydrocannabinol (THC), which is the intoxicating component within the hemp plant. THC can be extracted from the plant and added to edibles and beverages for consumption. State law requires that these products contain no more than 0.3% of any THC total, no more than five milligrams of THC per serving, and no more than 50 milligrams of THC per package. The law prohibits the sale of edible THC products to anyone under the age of 21 and contains several requirements regarding labeling and packaging.

Ordinance Requirements:

The THC ordinance and licensing requirements include regulations from State law and City code including:

- Business must have a license approved by the city council to sell THC products effective March 1, 2023.
- Customers must be 21 years old to purchase THC products, and it is a petty misdemeanor violation for anyone under 21 to possess licensed products.
- Customers must provide a valid government issued photo identification for purchase upon request.
- Products must be located behind a counter or in a locked case requiring store employees to access.

- License applicants must pass a background check prior to license approval.
- Compliance checks and business inspections are required to ensure compliance with regulations.
- Annual license fee of \$1,000 and background check fee of \$500
- The total number of THC licenses allowed in the city proposed at 15 per each of three city council districts (east, central, west) and 45 total licenses allowed in the city based on discussion with the city council during the first reading.
- THC licenses are allowed in all retail areas except within 300 feet of a school and exclusive liquor stores are ineligible.
- Penalties for violations and appeal processes are comparable to tobacco compliance processes.

The THC application has been approved and the police department has completed their investigation of the owner and manager. There are no known code violations currently and staff recommend approval of both the THC Sales license and the Tobacco license.

THC Business Locations:

Business Name	Location	Council District	Total in District		
			Central	East	West
E-Vapor and Tobacco	4658 85 th Avenue N.	Central	X		
Neighborhood Gas and Tobacco	7416 Brooklyn Blvd N.	East		X	
Winner Gas	1500 Brookdale Drive N.	East		X	
Love is an Ingredient	6276A Boone Avenue N.	West			X
Love is an Ingredient	8505 Jefferson Lane N.	West			X
New Superette	6290 Boone Avenue N.	West			X
A&J Tobacco	8058 Brooklyn Blvd N.	West			X
Speedy Market & Tobacco	7401 Regent Ave N.	East		X	
Lifted	8470 Xerxes Ave N.	East		X	
Boone Tobacco	6284 Boone Ave N	West			X
		TOTALS	1	4	5

Primary Issues/Alternatives to Consider: N/A

Budgetary/Fiscal Issues:

THC License prorated fees totaling \$500 will be added to the general fund.
Tobacco License prorated fee of \$100 will be added to the general fund.

Attachments: N/A

City of Brooklyn Park Request for Council Action

Agenda Item:	4.4	Meeting Date:	July 24, 2023
Agenda Section:	Consent	Originating Department:	Finance
Resolution:	X	Prepared By:	Keith Ehrlichman, IT Manager
Ordinance:	N/A		
Attachments:	2	Presented By:	Keith Ehrlichman
Item:	Approve the City Manager to Enter into a Purchase Agreement for Network Firewalls		

City Manager's Proposed Action:

MOTION _____, SECOND _____, TO WAIVE THE READING AND ADOPT RESOLUTION #2023-_____ TO AUTHORIZE THE CITY MANAGER TO SIGN A QUOTE AND ENTER INTO A PURCHASE AGREEMENT WITH HIGH POINT NETWORKS FOR TWO NETWORK FIREWALLS AND FIVE-YEAR SUPPORT SUBSCRIPTION TO NOT EXCEED \$160,000.

Overview:

A firewall is a network security device that monitors and filters incoming and outgoing network traffic. The City uses redundant firewalls for the continuation of monitoring in the event that one firewall fails. Our current firewalls are six years old and have reached the end of their useful life and need replacement.

Funding for firewall replacements is already included in the 2023-2027 Capital Equipment Plan (CEP) project 6514 and the 2023 Adopted Budget. Both the 2023-2027 CEP and 2023 Adopted Budgeted were approved by the Council on December 12, 2022.

Firewall pricing was acquired through the State of Minnesota's Cooperative Purchasing Venture contract number 147091 under Contract Release T-653(5). The five-year subscription includes support and security software for the firewalls.

Primary Issues/Alternatives to Consider:

To receive a \$4,456 discount which expired on July 21, 2023, it was prudent for the City Manager to sign the vendor quote. This request for council action seeks Council approval for the City Manager's action to sign the vendor quote and enter into any necessary purchase agreement that pertains to replacing the City's firewalls.

Budgetary/Fiscal Issues:

The total cost of the firewall is not to exceed \$160,000 for a five-year subscription. The project costs are already part of the 2023 Adopted Budget and 2023-2027 CEP approved on December 12, 2022.

Attachments:

- 4.4A RESOLUTION
- 4.4B HIGH POINT NETWORKS EQUIPMENT QUOTE

RESOLUTION #2023-

RESOLUTION TO AUTHORIZE THE CITY MANAGER TO SIGN A QUOTE AND ENTER INTO A PURCHASE AGREEMENT WITH HIGH POINT NETWORKS FOR TWO NETWORK FIREWALLS AND FIVE-YEAR SUPPORT SUBSCRIPTION TO NOT EXCEED \$160,000

WHEREAS, the current firewalls are six years old and have reached the end of their useful life; and

WHEREAS, the replacement of firewalls is necessary to meet current monitoring, filtering, and security needs; and

WHEREAS, funding for firewall replacements is included in the 2023-2027 Capital Equipment Plan (CEP) project 6514 and the 2023 Adopted Budget which were approved by the Council on December 12, 2022; and

WHEREAS, firewall pricing was acquired through the State of Minnesota's Cooperative Purchasing Venture contract number 147091 under Contract Release T-653(5).

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park to authorize the City Manager to sign a quote and enter into a purchase agreement with High Point Networks for two network firewalls and five-year support subscription to not exceed \$160,000.



Quote Information:

Quote #: 131258

Version: 1

Delivery Date: 07/11/2023

Expiration Date: 08/06/2023

JULY 2023 MEMBER PURCHASE // CITY OF BROOKLYN PARK

Prepared for:

City of Brooklyn Park

Attn: Lynda Gilchrist
5200 85th Ave N
Brooklyn Park, MN 55443-4301

Prepared by:

High Point Networks, LLC

Jess Fredrickson
Direct: 952-715-3491
jess.fredrickson@highpointnetworks.com



Palo Alto Minnesota Networking 147091 Contract.

5YR OPTION

Qty	Item	Description	Price	Ext. Price
		MSRP: \$213,650		
2	PAN-PA-1420	Palo Alto Networks PA-1420 MSRP: \$18,995/EACH	\$13,676.40	\$27,352.80
2	PAN-1RU-RACK-KIT-4POST	Palo Alto Networks 4-Post rack mount kit for 1U PA-1400 MSRP: \$210/EACH	\$151.20	\$302.40
2	PAN-PA-1420-BNDCORESEC-5YR	PA-1420, Core Security Subscription Bundle (Advanced Threat Prevention, Advanced URL Filtering, Advanced Wildfire, DNS Security and SD-WAN), 5 years (60 months) term MSRP: \$70,520/EACH	\$52,890.00	\$105,780.00
2	PAN-SVC-PREM-1420-5YR	PA-1420, Premium support, 5 years (60 months) term MSRP: \$17,100/EACH	\$15,390.00	\$30,780.00
1	Discount	Discount - Expires July 21	(\$4,456.66)	(\$4,456.66)
		Subtotal:		\$159,758.54

Quote Summary

Description	Amount
5YR OPTION	\$159,758.54
Total:	\$159,758.54

For questions related to your quotation, please contact us using the information above. Acceptance of the quote online is considered acceptance of an offer and binding. All quotes are subject to shipping costs that may not be listed on the quote. Prices quoted are valid for 30 days from Quotation Date. Limitation of Liability for Consequential Damages. High Point Networks, LLC shall not be liable for any indirect, incidental, consequential, exemplary, or punitive damages of any kind or nature. Orders will be invoiced when shipped. Orders may be partial invoiced as items ship and thus there may be multiple invoices per order. "Projects" will be invoiced in the same method. Professional services may be progress billed over the term of the project. All licensing and subscription orders will be invoiced immediately upon customer approval. Payment for all orders are due in 30 days subject to credit approval. If payment is not received within 45 days of the invoice date, we reserve the right to suspend or terminate your service without further notice. Credit card usage as a form of payment may be accepted on pre-approval basis and may be subject to a convenience fee. "Optional" items on the above quote are not included in the total pricing at the bottom of the quote. This offer to sell the listed products is subject to product availability and High Point Networks standard terms and condition and prices are subject to change without notice. Please consult your Account Representative prior to placing an order for timely, updated pricing. High Point Networks reserves the right to adjust pricing based on any error or omission. Note: Once product is ordered and shipped there is NO right of return and may be subject to a restocking fee. Orders can be subject to extreme product delays. Product cannot be returned if ordered in error. Product cannot be returned if next generation product has been released.



Quote Information:

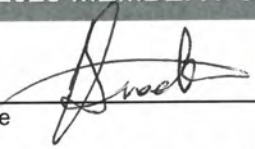
Quote #: 131258

Version: 1

Delivery Date: 07/11/2023

Expiration Date: 08/06/2023

JULY 2023 MEMBER PURCHASE // CITY OF BROOKLYN PARK

Signature 

Date 7-17-23

Printed Name Jay Stroebel

Title Brooklyn Park City Manager

City of Brooklyn Park Request for Council Action

Agenda Item:	6.1	Meeting Date:	July 24, 2023
Agenda Section:	Land Use Actions	Originating Department:	Community Development
Resolution:	XXX	Prepared By:	Amber Turnquest, Principal Planner
Ordinance:	N/A		
Attachments:	7	Presented By:	Paul Mogush, Planning Director
Item:	610 West Building 5 – An application by The Doran Group for a Preliminary Plat, Conditional Use Permit and Site Plan at 6501 96th Lane North for a 115-Unit Multifamily Development		

City Manager's Proposed Action:

MOTION _____, SECOND _____, TO ADOPT RESOLUTION #2023-_____ APPROVING A PRELIMINARY PLAT FOR "PARK PLACE PROMENADE 9TH ADDITION" AT 6501 96TH LANE NORTH FOR THE CREATION OF ONE LOT.

MOTION _____, SECOND _____, TO ADOPT RESOLUTION #2023-_____ APPROVING A CONDITIONAL USE PERMIT ALLOWING A RESIDENTIAL USE WITHIN THE TOWN CENTER ZONING DISTRICT AT 6501 96TH LANE NORTH, SUBJECT TO CONDITIONS CONTAINED IN THE DRAFT RESOLUTION.

MOTION _____, SECOND _____, TO ADOPT RESOLUTION #2023-_____ APPROVING A SITE PLAN FOR A 115-UNIT MULTIFAMILY DWELLING, SUBJECT TO CONDITIONS CONTAINED IN THE DRAFT RESOLUTION.

Planning Commission

At the July 12, 2023 Planning Commission regular meeting the commission unanimously recommended approval of the preliminary plat, conditional use permit, and site plan. There was one party present to speak at the public hearing.

Overview

The Doran Group proposes a 115-unit multifamily dwelling at 6501 96th Lane North. Three land use applications are included with this application, a preliminary plat, site plan, and conditional use permit (CUP). The Brooklyn Park City Council granted a waiver from the development moratorium for the property located at 6501 96th Lane North on May 22, 2023.

Outlots are not developable and a preliminary plat is the mechanism used to create a final plat. A final plat is required to create a lot that can be recorded by the county, after which a building permit can be issued. The preliminary plat includes the parcel known as Outlot B, Park Place Promenade 6th Addition and proposes to create a single, 3.70 acre lot: Lot 1, Block 1, Park Place Promenade 9th Addition (Lot 1).

A site plan application proposes conditions of property development and site design standards within the City. Site plans are reviewed by the Brooklyn Park Planning Commission and a recommendation is made to the City Council which votes to approve or deny the application. The site plan area is within the Town Center (TC) Zoning District, is 5.68 acres and proposes a multifamily dwelling that will have a single vehicular access point to 96th Lane North which is a private street that connects Oak Grove Parkway to Zane Avenue. The site consists of two parcels, Outlot A, Park Place Promenade 6th Addition (1.98 acres) and proposed Lot 1. The building will be located entirely on proposed Lot 1.

The TC district allows no land uses permitted by right. Residential land uses are allowed only with the approval of a Conditional Use Permit (CUP). In addition to the CUP approval, the use is also required to conform to the Brooklyn Park Comprehensive Plan. Analysis of the CUP and conformance of this proposal with the Comprehensive Plan are detailed within this report.

Previous Approvals

There have been a number of approvals for properties within the Park Place Promenade development since 2015. The most recent approvals relevant to the site currently under review included the expansion of the parking lot on proposed Lot 1. A synopsis of the approvals are included in the attached application packet.

Current Conditions

The subject property includes two lots totaling 5.68 acres and is located 700 feet south of Oak Grove Parkway, and 1,400 feet west of Zane Avenue. Outlot A, Park Place Promenade 6th Addition (Outlot A) contains a stormwater pond, playground, and pet run, all of which are to remain. A parking lot is currently developed on Lot 1, which is to remain.

Future Land Use Plan	Mixed Use- Flex	
Current Zoning	Town Center (TC)	
Proposed Zoning	Town Center (TC)	
Neighborhood	Oak Grove	
Site Area	5.68 Acres	
	Current	Outlot A, Park Place Promenade 6 th Addition (1.98 acres) Outlot B, Park Place Promenade 6 th Addition (3.70 acres)
	Proposed	Outlot A Park Place Promenade 6 th Addition (1.98 acres) Lot 1, Block 1 Park Place Promenade 9 th Addition (3.70 acres)
Conforms to:		
Land Use Plan	Yes	
Zoning Code	Yes	
Notification	30 Public Hearing Notices mailed Communications email On-site development sign	
Timeline (MN §15.99)		
60-day	August 6, 2023	
120-day	October 5, 2023	

Land Use/Zoning and Overlay

The site is zoned Town Center (TC) and is within the Oak Grove neighborhood. The future land use for the property is Mixed Use- Flex. Adjacent property to the north and east of the subject site are also zoned TC. The property is bounded to the south by Highway 610 and to the west by Hampshire Avenue North. There are no zoning overlays on this property.

Preliminary Plat

All lots created within the City must abut for their full frontage on a publicly dedicated street (151.060). The proposed Lot 1 has frontage along 96th Lane North which is a private street and does not comply with this condition. However, this requirement can be waived by the City Council if certain findings are made. The language of 151.011- Structures Abutting Public Streets is provided in bold and the findings are made below.

§151.011 Structures Abutting Public Streets

- (A) With respect to parcels of land not subject to the provisions of M.S. §462.358, Subd. 4b, and §151.010 of this chapter, a building or structure must not be constructed or erected on such parcels, nor must any building permit be issued for such construction or erection,**

unless such parcels abut upon a public street which has been dedicated to and accepted by the city. This provision does not apply if the structure is to be used solely for agricultural purposes and the property is served by a private street or private easement.

(B) This requirement may be waived by the City Council if the Council makes the following findings:

- (1) That the proposed structure is located on a properly designed and approved private street; and**
- (2) The development is not in conflict with the city's growth management principles.**

Transportation staff has determined that this site and proposed development complies with the required findings.

Staff has determined that these findings have been met and recommends that the requirement be waived.

On June 14, 2023, the preliminary plat was submitted to Hennepin County Transportation and the Minnesota Department of Transportation (MnDOT) for plat review. Hennepin County indicated that there were no comments on the plat MnDOT provided comments on July 10, 2023.

The project location is impacted by noise from traffic on Highway 610. A report that includes a noise study and identifies mitigation measures which do not exceed the noise standards established by Minnesota Pollution Control Agency (MPCA), the U.S. Department of Housing and Urban Development, and the U.S. Department of Transportation residential uses must be submitted prior to building permit approval.

Final Plat

A final plat is not considered with application and any comments from either Hennepin County or MnDOT will need to be reflected prior to acceptance of the final plat for consideration. After the approval of the preliminary plat, the subdivider has one year to file for approval of a final plat, unless an extension is granted. At the time of application for a final plat the following items must be submitted: a recent abstract, utility layout to the City Engineer. The City Attorney must review the draft final plat with an updated title commitment prior to final plat approval. Additional conditions of approval may be required based on the title opinion. These must be met prior to plat recordation. Due to the time allowances prescribed by the Zoning Code (Code), staff recommends that the bonding and escrow numbers not be required until the time of building permit application.

Park Land Dedication

Park dedication determinations are made prior to the approval of the preliminary plat. Brooklyn's Park's Park and Recreation Department has determined that park land dedication is not appropriate in this location and requests cash in lieu of dedication. The site plan submitted with the preliminary plat proposes a multifamily dwelling of which the cash contribution is based on a minimum of ten percent of the total fair market land value of the land within the plat. The fee must be collected before a final plat can be released for recording.

Site Plan

A site plan review is a requirement of the Code, as the purpose of this project is to construct a new building. Section 152.033 of the Code requires that the site plan be evaluated on the criteria in bold below. Staff comments follow.

(E) Evaluation criteria. The city must evaluate the effects of the proposed site plans. This review may be based upon, but not be limited to, the following criteria:

- (1) Consistency with the Comprehensive Plan, the City Code, and this chapter.**
- (2) Enhancement of the site to create a meaningful and harmonious development.**

- (3) **Creation of a functional and harmonious design for structures and site features, with special attention to the following principals:**
- (4) **The height, scale and massing of new buildings and structures should complement similar buildings within the same zoning district in which the application is made.**

The future land use on this property is Mixed Use- Flex, and the use is slated for medium to high density residential, with a density of 7-25 units/acre. To find conformance with the density prescribed in the Comprehensive Plan both parcels are considered a campus and will be used to calculate the residential density. The density proposed with this project is 20 units/acre. The site is within the Town Center, in which no uses are permitted by right and requires the approval of a CUP to allow a residential use for attached housing units at a density which conforms with the Brooklyn Park Comprehensive Plan. Staff finds conformance and consistency with the Comprehensive Plan.

The development is similar to the apartments north of the site and this development is in keeping with the surrounding development. The applicant has indicated that the amenities in the surrounding buildings under their ownership (610 West Buildings 1–4) will be made available to the residents of 610 West Building 5.

- (F) **Conformance to the Approved Site Plan Review. All developments must remain in continual conformance with the approved Site Plan Review until or unless amended in compliance with this chapter.**

Any significant changes to the development will require an additional site plan review.

Conditional Use Permit

The TC district allows residential uses with a conditional use permit. Conditional uses must be reviewed against the standards of the Code (§152.035) and are evaluated below:

- (D) **Review Standards. The request may address the following factors, although the City Council, the Planning Commission, and city staff has the authority to request additional information from the applicant concerning operational factors pertaining to the proposed use or to retain experts with the consent and at the expense of the applicant concerning operational factors, when necessary to establish performance conditions to effect the intent of this chapter.**

- (1) **Comprehensive Plan. Compliance with the Comprehensive Plan, public facilities and capital improvement plans, and all sections of the City Code.**

Consistency with the Comprehensive plan has been found, as noted above.

- (2) **Traffic. The generation and characteristics of the traffic associated with the use and its impact on the traffic volumes of and safety associated with driveway location on adjacent roads, sidewalks and trail connections.**

Vehicular access will be from 96th Lane North. Transportation staff has reviewed the project submittals and determined that the plans as submitted will not negatively impact traffic, and pedestrian connections are appropriate.

- (3) **Parking. The characteristics of the parking area of the use, including the number and design of parking spaces, landscaping, traffic circulation, drainage, and lighting. The city may require additional parking above that required in §152.140 through 152.146.**

There will be 222 parking spaces provided on site which includes 164 surface parking stalls and one level of 58 underground parking stalls. At 1.9, the parking ratio is less than 2 stalls per unit but is similar to the parking structure of adjacent residential buildings. When considered with the apartments owned by the same developer, which will share amenities with this new multifamily dwelling, the overall parking count within the community will increase the stall to unit ratio from 1.4 to 1.5.

- (4) ***City services.*** The provision of adequate public facilities and services to the site where the use is proposed and the ability of the existing infrastructure to absorb the additional demand for city services.

City services, including water and sanitary are provided to the site.

- (5) ***Screening and landscaping.*** The ability to screen and buffer incompatible off-site impacts of the proposed use on adjacent property and the surrounding neighborhood. The city may require additional landscaping or screening above that required in the specific zoning district.

Screening is required for off-street parking, this can include any combination of landscaping, decorative fencing, and berms. While the applicant provides screening along Highway 610, the noise and light that is typically associated with high-speed vehicular thoroughfares must be taken into consideration. Staff recommends that additional screening be placed along the entirety of the southerly property line of proposed Lot 1. Outlot A, which is included in this site plan, includes amenities that will be used by residents of this new development, additional screening is needed from the southeastern property corner and extend at least 150 feet westward. The applicant should work with City staff to determine an adequate screening plan prior to the issuance of a building permit. The applicant proposes 11 overstory, 11 coniferous, and 22 ornamental trees in addition to 322 shrubs located throughout the site.

Trash and recycling will be stored internal to both buildings. Waste will be taken to a central area for removal, as such, waste shall not be stored outdoors.

- (6) ***Architectural standards.*** The degree that the site or building associated with the proposed use meets or exceed the architectural design and landscaping standards for the district in which it is located. The city may require additional architectural standards above those required in the specific zoning district.

The building will contain four levels of housing above one level of underground parking. The materials include two different, complementary colors of brick, metal panels, and fiber cement siding. A variety of colors, materials, and articulation that provides architectural interest.

- (7) ***Other sections of the city code.*** The applicant may be required to submit additional information demonstrating that the development is able to comply with any other applicable section of this chapter or the city code.

Lighting

A photometric plan was not provided with this application. A photometric plan must be submitted, and compliance found by staff prior to the issuance of a building permit.

Mixed Income Housing Plan

The applicant submitted a draft mixed income housing plan to comply with the City's policies with the understanding that a full plan must be submitted at the time of building permit application.

The required findings of §152.035 have been addressed and Staff recommends approval of the CUP with conditions.

Transit

The closest transit stop to this site is at the southwest quadrant of Oak Grove Parkway N & 96th Land N, stop number 56417. This stop is serviced by the 722 bus, Brooklyn Ctr-Humboldt-Shingle Creek-Target Campus.

Pedestrian Circulation

Internal pedestrian connections are present and appropriate around the buildings and to the parking areas. While not required, staff encourages the applicant to provide bicycle racks to encourage the use of nonmotorized transportation.

Minimum Design and Site Requirements for Medium and High-Density Residential Districts

Energy Efficiency

New buildings are required to incorporate three energy efficient elements. The applicant has indicated they intend to install electrical vehicle charging stations, install EnergyStar rated appliances, utilize Xcel's Energy Design Assist program to identify as many areas for renewable or sustainable energy methods as possible, including increased R values for certain building assemblies.

Stormwater Management

The West Mississippi Watershed approval must be updated.

Staff Recommendation

Staff recommends approval of the preliminary plat, conditional use permit, and site plan with the conditions listed in the attached draft resolutions.

Alternatives to Consider:

1. Approve the Preliminary Plat, Conditional Use Permit and Site Plan as presented.
2. Approve the Preliminary Plat, Conditional Use Permit and Site Plan with modifications.
3. Deny the Preliminary Plat, Conditional Use Permit and Site Plan based on certain findings.

Budgetary/Fiscal Issues: N/A

Attachments:

- A. DRAFT RESOLUTION – PRELIMINARY PLAT
- B. DRAFT RESOLUTION – CONDITIONAL USE PERMIT
- C. DRAFT RESOLUTION – SITE PLAN
- D. PLANNING COMMISSION MINUTES
- E. LOCATION MAP
- F. SUPPORTING DOCUMENTS
- G. PLAN SET

RESOLUTION #2023-

RESOLUTION APPROVING A PRELIMINARY PLAT FOR “PARK PLACE PROMENADE 9TH
ADDITION” AT 6501 96TH LANE NORTH

Planning Commission File #23-106

WHEREAS, Doran BP Frontage, LLC has filed an application for preliminary plat for “Park Place Promenade 9th Addition” at 6501 96th Lane North legally described as:

Lot 1, Block 1 of Park Place Promenade 9th Addition, Hennepin County, Minnesota

;and

WHEREAS, said plat is in all respects consistent with the City plan and the regulations and requirements of the laws of the State of Minnesota and codes of the City of Brooklyn Park, Chapters 151 and 152.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park, Preliminary Plat Request #23-106 “Park Place Promenade 9th Addition” shall be approved subject to the following conditions:

- A. Title review by the City Attorney and all conditions therein, attached as Exhibit _____. All title issues must be resolved prior to plat recording.
- B. Adequate drainage and utility easements shall be provided with review and acceptance by the City Engineer.
- C. Prior to recording of the final plat:
 - a. Payment of cash in lieu of park dedication at the rate of 10 percent of the total fair market land value of the land within the plat of 3.70 acres.
- D. Submission of a CAD copy of the plat.

BE IT FURTHER RESOLVED that such execution of the certificate upon said plat by the Mayor and City Manager shall be conclusive showing of proper compliance therewith by the subdivider and City officials and shall entitle such plat to be placed on record forthwith without further formality, all in compliance with M.S.A. 462 and the Ordinance of the City.

RESOLUTION #2023-

RESOLUTION APPROVING A CONDITIONAL USE PERMIT ALLOWING A RESIDENTIAL
USE WITHIN THE TOWN CENTER ZONING DISTRICT AT 6501 96TH LANE NORTH

Planning Commission File #23-106

WHEREAS, Doran BP Frontage, LLC has made an application for a Conditional Use Permit (CUP) for a residential use in the Town Center zoning district on property legally described as:

Lot 1, Block 1, Park Place Promenade 9th Addition, Hennepin County, Minnesota

;and

WHEREAS, the Town Center Zoning District requires a Conditional Use Permit for all residential uses in conformance with the Comprehensive Plan; and

WHEREAS, the use of the property as multifamily dwellings is consistent with the mixed-use designation of the 2040 Comprehensive Plan; and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions in the neighborhood have been considered.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BROOKLYN PARK that the Conditional Use Permit for a residential use is hereby granted subject to the following conditions:

1.00 GENERAL CONDITIONS

- 1.01 The preliminary plat approving the creation of Lot 1, Block 1, Park Place Promenade 9th Addition must be adopted prior to approval of the conditional use permit resolution
- 1.02 The conditional use permit remains with the property as long as the property and use are in compliance with the conditions contained herein. The permit expires if the use has been discontinued for more than 364 consecutive days from the date that the use ceased, or the business owner fails to meet the certification requirements of the conditional use permit.
- 1.04 If the holder of the conditional use permit fails to comply with the terms and conditions of this resolution, the city may impose penalties or discipline for noncompliance, which may include revocation of the permit in accordance with §152.035(H)(1) of the Municipal Code.

- 1.05 This resolution must be recorded with the Hennepin County Recorder's office prior to issuance of building permits.

If the petitioner needs additional time to satisfy the requirements listed in this Conditional Use Permit, then a one-year time extension must be requested. Time extension requests are subject to the conditions found in the Zoning Code (Section 152.031(H)). The failure on the part of the petitioner to meet all conditions stated above by December 31, 2024 shall deem the Conditional Use Permit approval to be null and void.

RESOLUTION #2023-

RESOLUTION APPROVING A SITE PLAN FOR A 115-UNIT MULTIFAMILY DWELLING

Planning Commission File #23-106

WHEREAS, an application has been made by Doran BP Frontage, LLC for a Site Plan Review under the provisions of the City Code on properties legally described as:

Lot 1, Block 1 of Park Place Promenade 9th Addition, and Outlot A of Park Place Promenade 6th Addition, Hennepin County, Minnesota

;and

WHEREAS, the zoning of the property is Town Center—in which residential uses are allowed with a conditional use permit; and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission who held the public hearing on July 12, 2023.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park:

The Site Plan Review for a 115-unit multifamily dwelling is hereby approved with the following conditions:

1.00 DRAWINGS

- 1.01 Site, utility, landscaping, and grading plans plot date June 2, 2023, on file in the City Clerk’s office are approved, subject to conditions listed below.
- 1.02 Building elevations, which are undated are approved to proceed to building permit, subject to conditions listed below.

2.00 FINANCIAL CONDITIONS

- 2.01 A Development Contract and bonding shall be required as a development bond or letter of credit, a cash bond, and a developer’s escrow as required by Chapter 152. The developer’s escrow must be posted with the City to cover engineering, legal and administrative costs incurred by the City. If this account becomes deficient it shall be the developer’s responsibility to deposit additional funds.
- 2.02 Prior to receiving final plat approval, cash contribution in lieu of parkland dedication in the amount of 10 percent of the fair market value must be collected by the City. As of January 2, 2023, the value of proposed Block 1, Lot 1 Park Place Promenade 9th Addition was \$387,600.

3.00 REQUIRED DOCUMENTS

- 3.01 Prior to receiving final plat approval all utility construction, drainage, grading and development plans must be approved by the City Engineer

- 3.02 Prior to receiving a building permit, the applicant shall submit a screening plan to the Planning Division for review and acceptance.
- 3.03 Prior to receiving a building permit, the applicant shall submit a photometric plan to the Planning Division for review and acceptance.
- 3.04 Prior to receiving a building permit, the applicant shall submit a mixed income housing plan to the Planning Division and Economic Development and Housing Division for review and acceptance.
- 3.05 Prior to receiving a building permit, the applicant shall submit a copy of the recorded final plat to the Planning Division for review and acceptance.
- 3.06 Prior to receiving a building permit, the applicant shall submit a copy of the recorded conditional use permit resolution to the Planning Division for review and acceptance.
- 3.07 Prior to receiving a building permit, the applicant shall submit a copy of the recorded site plan resolution to the Planning Division for review and acceptance.
- 3.08 Prior to receiving a building permit, the applicant shall provide documentation guaranteeing residents of 610 West Building 5 access to amenities of 610 West Buildings 1–4.
- 3.09 Signs must conform to the requirements of Chapter 150. The sign plans will be approved by staff to verify code compliance at time of building permit.
- 3.10 Prior to receiving a building permit, the applicant shall provide the Planning Division a noise study and mitigation plan.

4.00 CONSTRUCTION CONDITIONS

- 4.01 It shall be the developer's responsibility to keep active and up to date the developer's contract and financial surety (Letter of Credit, bonds, etc.). These documents must remain active until the developer has been released from any further obligation by City Council motion received in writing from the Engineering Department.
- 4.02 Before final bonding obligations are released, a certificate signed by a registered engineer must be provided. This certificate will state that all final lot and building grades are in conformance to drainage development plan(s) approved by the City Engineer.
- 4.03 No burying of construction debris shall be permitted on the site.
- 4.04 Dust control and erosion measures must be in place to prevent for dust and erosion including, but not limited to, daily watering, silt fences, and seeding. The City Engineer may impose measures to reduce dust and run-off.
- 4.05 Adequate dumpsters must be on site during construction. When full, they must be emptied immediately or replaced with an empty dumpster.



UNAPPROVED MINUTES

MINUTES OF THE BROOKLYN PARK PLANNING COMMISSION Regular Meeting – JULY 12, 2023

1. CALL TO ORDER

The meeting was called to order at 7:05 PM.

2. ROLL CALL/PLEDGE OF ALLEGIANCE

Those present were: Commissioners Borer, Fraser, Gaye-Bai, Kiekow, Reindorf, Turner, Udomah, Wako, and Yu; Planning Director Mogush; and Principal Planner Turnquest.

Those arrived late: None

Those not present were: Commissioner Cavin (with prior notice).

3. EXPLANATION BY CHAIR

4. APPROVAL OF AGENDA

MOTION BORER, SECOND UDOMAH TO APPROVE THE JULY 12, 2023 AGENDA.

MOTION CARRIED UNANIMOUSLY.

5. CONSENT AGENDA

A. Minutes – May 24, 2023

MOTION KIEKOW, SECOND UDOMAH TO APPROVE THE MAY 24, 2023 CONSENT AGENDA.

MOTION CARRIED UNANIMOUSLY.

6. PUBLIC HEARING

A. 610 West Building 5 – Preliminary plat, conditional use permit and site plan review #23-106 at 6501 96th Lane North for a 115-unit multifamily development.

Principal Planner Turnquest introduced the application for preliminary plat, conditional use permit and site plan for 610 West Building 5. She identified the proposed project location, which is currently developed with a surface parking lot. She reviewed the proposed zoning of the 3.7 acres and noted that this would be the fifth building within the overall residential development. She stated that within the zoning district there are no uses permitted by right and therefore a conditional use permit is required. She provided details on parking and transit. She stated that the project would meet the landscaping requirements, providing an overview, noting that additional screening is recommended along Highway 610. She stated that the building would propose four levels of housing above one underground parking level. She provided details on the proposed elevations and building materials. She stated that MnDOT provided comments which resulted in an additional condition related to noise mitigation. Staff recommends approval of the three actions with conditions from the staff report and as presented tonight.

Evan Doran (the applicant), introduced himself and stated that they have owned the 610 community for a number of years and have been active members of the community. He stated that they are excited to present this building and have recognized that their existing units are on the larger size and this building would provide some smaller units to the overall community which would provide an opportunity for lower rents as well. He stated that they would have 18 defined lower income units within this building as well. He stated that the exterior of the building would match the existing buildings and displayed a rendering. He noted that the outlot would house the pond and tot lot. He stated that this building would be .6 miles from the anticipated greenline station for transit.

Acting Commission Chair Fraser opened the public hearing.

Sharon [REDACTED], 6729 99th Avenue North, commented that she understood that 610 West could not rent all of their apartments and have therefore opened it to Section 8 renters. She asked if the new building would be open to Section 8 renters.

Acting Commission Chair Fraser closed the public hearing but reminded the public that comments can be submitted via email to City Staff for consideration in the City Council agenda packet.

Commissioner Wako asked the developer to answer the question from the resident and provide details on the mix of units in the existing buildings.

Mr. Doran replied that the current community has 480 units which is a mix of one-, two- and three-bedroom units. He stated that the proposed building would have 115 units, 18 of which would be dedicated affordable units. He stated that the mix of units in this building would be 40 percent studio/alcoves, 38 percent one-bedroom, and the remainder to be two- and three-bedroom units. He commented that they are limited in the demographic information they receive because of fair housing practices. He stated that they do not accept Section 8 vouchers at 610 West and do not plan to do so as they are a pure market rate facility. He noted that this new building would be the first to have dedicated affordable units.

Commissioner Kiekow asked the cost range for the units.

Mr. Doran replied that the rents are yet to be determined but estimated from \$1,100 to \$2,900 per month.

Commissioner Kiekow referenced the statements about traffic noise and asked if that is from 610 to the apartment or the apartment to 610. He asked if MnDOT is considering a soundwall.

Principal Planner Turnquest replied that the noise would be from 610 to the apartment. She stated that MnDOT is not considering a soundwall and their drive is to say that there may be a conflict with residential use because of the traffic noise. She stated that there is sound mitigation that can occur through building materials.

Commissioner Kiekow asked if there is a standard that would need to be met.

Principal Planner Turnquest commented that there is a decibel standard that would need to be met.

Commissioner Kiekow asked the developer if he has concerns meeting that standard.

Mr. Doran replied that they regularly meet those standards and do not have any concerns meeting those. He stated that they commonly work with acoustical engineers in their design process to ensure they meet and/or exceed the requirements. He noted that they are incentivized to ensure residents are not disrupted by highway noise.

Commissioner Kiekow commented that it appears that access has been approved and parking requirements would be met.

Commissioner Turner asked if the affordability would be provided through the studio/alcove apartments rather than basing that affordability off a reduced AMI.

Mr. Doran replied that the building would have 18 units specifically dedicated to 60 percent AMI. He stated that the remaining units would also be more affordable in the context of the 610 West campus because of the lower number of bedrooms.

Commissioner Udomah asked the current occupancy rate in the existing buildings.

Mr. Doran replied that they are around 91 percent occupancy, but 95 percent leased. He commented that 95 percent is considered stabilized.

Commissioner Udomah asked why there is such exclusionary towards Section 8 voucher users, noting the resident comment received.

Mr. Doran replied that generally Section 8 is a voucher program where the State subsidizes rents. He commented that the rents in this campus are higher than what the maximum voucher would bear. He stated that typically a Section 8 voucher user would elect to find a rent within that voucher value.

Commissioner Udomah asked the resident for more details on their objection against Section 8 vouchers.

Ms. [REDACTED] replied that Section 8 vouchers are allowed within the 610 West apartments and asked if they would be used in the new building as well. She believed that would impact her property if things are not kept up.

Commissioner Gaye-Bai referenced the existing buildings in the campus and asked the motivation to add the additional building.

Mr. Doran replied that they are responding to the community market forces. He noted that they have people come in that are interested in living in the complex but cannot afford the rents for the units that are available, noting that many of their units are on the larger size. He stated that many of the two-bedroom units are around 1,400 square feet in size. He stated that the new project would focus on smaller unit types, noting that the two-bedroom unit in the new building would be around 1,100 square feet. He noted that this will expand their spectrum of units and rents that can be offered.

Commissioner Borer asked the difference between the alcove and studio units and whether there is a demand for those units.

Mr. Doran replied that studios are the smallest unit type, between 550 and 600 feet with no defined bedroom. He stated that they did not include that product type in this community as they did not believe it would be desired, but they were wrong. He noted that the studio units in their other buildings are very popular as it provides an opportunity for people to get into a community with amenities at a lower price. He stated that an alcove would be a step between a studio and one bedroom and provided additional explanation.

Commissioner Borer asked if there would be amenities in this building or whether they would be shared between the buildings.

Mr. Doran replied that there would be some smaller scale amenities in this building, mostly focused on outdoor space. He commented that this building would have access to the broader 610 West clubhouse amenities.

Commissioner Kiekow asked if there is data on police response to the existing buildings.

Mr. Doran replied that he did not have the data as it is hard to track unless the building makes the call. He commented that the management team has a good working relationship with the police department. He confirmed that they did not have a lot of police activity.

Commissioner Wako referenced the proximity to 610, noting that there would not be fencing. He asked if there is concern with safety for children and pets. He asked how many of the 18 AMI units are studios.

Mr. Doran replied that they will be working with the City and DOT to determine the appropriate measures for safety and sound. He noted that the playground and dog area that exist on the current campus are fully fenced. He stated that they are still working out the details for screening with this building. He stated that in regard to the AMI units there would be a full mixture of units, noting that it would mirror the unit mix of the greater community. He stated that the AMI units would be spread throughout the building as required by the zoning policy of the City.

Commissioner Wako asked if there would be a request for public or City financing.

Mr. Doran replied that they do not have plans to request financing from the City.

Commissioner Wako commented that he would strongly address fencing along the highway.

Mr. Doran replied that MnDOT does have a stretch of fencing on its own property.

Commissioner Wako asked the amount of greenspace on the private property between the parking and MnDOT property.

Mr. Doran replied that they do meet the City requirements for setback with roughly ten feet between the parking and property line. He was unsure of the measurement from the property line to the highway but noted that it is a fair distance.

Commissioner Borer asked if it would be possible for a vehicle driving erratically to travel from the highway to the apartments.

?? replied that would be challenging as there is a ditch along with the MnDOT fence and then another 50 feet of parking and landscaping that would need to be traveled through.

Commissioner Wako commented that he would like to see fencing to prevent things from reaching the property from the highway.

Mr. Doran commented that they would continue to work with City staff to ensure safety standards are addressed.

Acting Commission Chair Fraser asked if the applicant would plan for a bike rack.

Mr. Doran replied that the bike racks are mounted in the garages to provide bike storage in the building, along with exterior racks throughout the 610 community.

Acting Commission Chair Fraser asked if there would be underground parking.

Mr. Doran confirmed that there would be underground parking and how it would be accessed.

Acting Commission Chair Fraser commented that she believes the applicant did a great job with design to ensure that the building would match and flow with the existing buildings in the campus.

Commissioner Yu asked if the property taxes would be different for the new building based on the smaller unit sizes.

Mr. Doran explained how the property tax value is determined for the whole building and noted that is not specifically defined by the rents but rather the construction-based value of the building. He stated that 610 West as it stands today is one the highest generating taxpayers of the community as a whole.

Planning Director Mogush commented that property tax value is based on the value of the building.

Commissioner Yu asked the average rental charge for the existing buildings.

Mr. Doran estimated about \$1.90 per square foot, therefore 1,000 square feet would rent for \$1,900.

Commissioner Yu asked for more details on the rental rate for the smaller units.

Mr. Doran commented that the smaller the unit, the higher the square foot rate would be because those smaller units still need bathrooms, kitchens, etc. He stated that the smaller unit would still be paying lesser rent overall.

Commissioner Yu asked the type of clientele that rent within the buildings, whether they work nearby or work outside the community.

Mr. Doran replied that he is limited on the demographic information he can request from renters. He stated that they do gather some information and most of the residents are coming from the northern suburbs, many of them relocating from within Brooklyn Park. He noted that the majority of residents work offsite, meaning that they do not work from home. He stated that it is a demographic mix that is common to the community.

Commissioner Yu asked where the target customers would be for the new building.

Mr. Doran replied that because they are focusing on smaller units, most of the units will probably skew towards younger residents that have some experience in renting. He stated that many of their renters are choosing to rent an apartment as a lifestyle choice.

Commissioner Yu commented that he lives nearby and therefore was curious as to the people that live there.

Acting Commission Chair Fraser reopened the public hearing.

Ms. [REDACTED] referenced the statement that the tenants from this building would have access to the pool amenities and asked if the residents would have to pay extra to have that access.

Acting Commission Chair Fraser closed the public hearing.

Mr. Doran replied that the residents pay for access to amenities as part of their rent. He commented that there is not an extra charge for using the pool or other amenities.

Commissioner Wako commented that the 610 complex has been in operation for some time and asked if there have been any ongoing issues staff is aware of relating to police activity or maintenance.

Principal Planner Turnquest replied that staff has not received any complaints from residents. She noted that this request has been reviewed by the departments within City staff and no concerns were raised.

Commissioner Borer commented that there are issues with parking in the overall area, not within the 610 campus, and asked if there is concern that others outside this apartment community would be tempted to park in this large lot.

Mr. Doran replied that while that would be possible as they do not have a gate, there are legal restrictions around the ability of other users to park in this location. He noted that would be more of an operational issue.

MOTION KIEKOW, SECOND TURNER TO RECOMMEND APPROVAL OF A PRELIMINARY PLAT FOR "PARK PLACE PROMENADE 9TH ADDITION" AT 6501 96TH LANE NORTH FOR THE CREATION OF ONE LOT.

MOTION CARRIED UNANIMOUSLY.

MOTION UDOMAH, SECOND GAYE-BAI TO RECOMMEND APPROVAL OF A CONDITIONAL USE PERMIT ALLOWING A RESIDENTIAL USE WITHIN THE TOWN CENTER ZONING

DISTRICT AT 6501 96TH LANE NORTH, SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.

MOTION CARRIED UNANIMOUSLY.

MOTION UDOMAH, SECOND TURNER TO RECOMMEND APPROVAL OF A SITE PLAN FOR A 115 UNIT MULTIFAMILY DWELLING, SUBJECT TO CONDITIONS IN THE UPDATED DRAFT RESOLUTION.

MOTION CARRIED UNANIMOUSLY.

7. OTHER BUSINESS

No comments.

8. DISCUSSION ITEMS

No comments.

9. INFORMATION ITEMS

A. Council Comments

None.

B. Commission comments

Commissioner Wako commented that applications should include a public safety assessment in order for the Commission to have that information.

Planning Director Mogush replied that they could continue that discussion in the next worksession.

Commissioner Borer asked who would be responsible for a soundwall.

Planning Director Mogush commented that if the highway existed before development, MnDOT would not be inclined to put up a soundwall and that mitigation would fall to the developer.

C. Staff Comments

Planning Director Mogush provided an update on recent Council actions related to recommendations from the Planning Commission. He noted an upcoming joint session between the City Council and Planning Commission. He noted that Devon Miller will be leaving the City at the end of the month to pursue a new opportunity with Hennepin County.

10. ADJOURNMENT

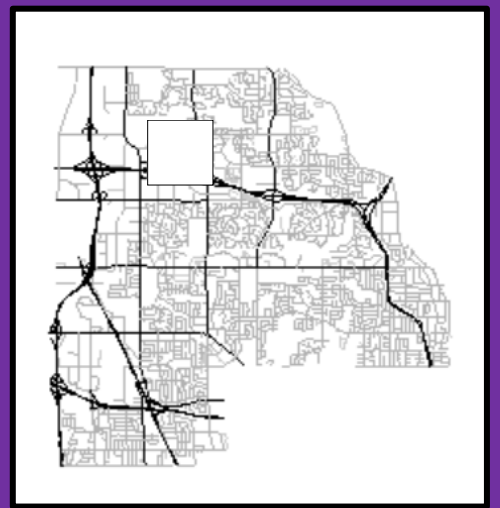
Acting Commission Chair Fraser adjourned the meeting at 8:15 P.M.

Respectfully submitted,

Paul Mogush
Planning Director



Conditional Use Permit and Site Plan Review
Case #23-106 – 610 West Building 5
Area of Request (Spring 2018 Air Photo)
6501 96th Lane North





City of Brooklyn Park
City Hall
5200 85th Ave. N.
Brooklyn Park, MN 55443
763-424-8000
www.brooklynpark.org

MEMORANDUM

Date: April 20, 2023
To: Evan Doran
From: Amber Turnquest, Principal Planner
Subject: 610 West Building 5 — Approval History and Application Process

Thank you for your patience as we reviewed the history of approvals and try to address your questions about the development process for this site.

Approval History Summary

There have been various approvals and correspondence on this and adjacent properties over the years. Relevant portions of the Request For Council Action reports are below, with staff comments bolded:

- Request for Council Action (RFCA) dated April 13, 2015, for the 610 West Apartments was for the lots that have already been constructed.

Parking

In the unlikely event that parking becomes a problem, the property owner must work with staff on a parking plan for the site.

Amenities

Each of the buildings will have amenities for the residents. In the southern building, all of the amenities are located in the clubhouse building. In the other two buildings, the center courtyards have swimming pools, a fire pit, bocce ball, and a community garden.

This appears to presume that all private amenities would be on site. A June 2017 RFCA (see below) indicates that the dog park and play area that were built support the 610 West Apartments. At the time of site plan, this development will need to demonstrate amenities to support the new residents independently, either through on-site amenities or improvements to the existing playground area.

Storm Water Management

In the Park Place Promenade development plan, a storm water basin was identified at the southwest corner of the development. 610 West intends to use this basin for its storm water though it is not on the applicant's property. Easement agreements must be provided prior to construction.

This basin is not shown to be landscaped. It is recommended that trees and shrubs be added around the basin for bank stabilization and general aesthetics.

Landscaping around the basin will need to be addressed with this application.

- There is an email from Tony Kuechle at Doran Companies to Cindy Sherman, a previous Planning Director at Brooklyn Park dated June 8, 2017, that discussed the pond, dog park, and playground. Lack of access to the stormwater pond outlet was discussed.
- An RFCA dated June 26, 2017, was for approval of the final plat of the two outlots.
- A Site Plan dated October 15, 2019 was submitted for the 610 West Parking Lot Expansion.
- A memo to the City Council on November 1, 2019, indicated that parking did become an issue and an expansion lot was proposed on Outlot B, Park Place Promenade (PPP) 6th Addition. The memo advised Council that staff would complete the review administratively due to the size of the expansion.
- A Stormwater Management Plan dated July 19, 2021 was prepared for the 610 West Parking Lot Expansion (not included in attachments).
This SWMP should be revised for this project and submitted, a new SWMP is not required.

Application Process

The initial question about density is what precipitated this review. The density calculation would need to include a larger area, please consider that with platting being necessary for any development to occur, combining the two outlots into a single lot would allow you to meet your density goal. Doing this would have the benefit of no longer having a land locked parcel and should not impact the onsite amenities provided through the 610 West Apartments.

Applications and submittals that have been identified at this stage:

- Preliminary plat
- Site plan and usual documents
- Conditional use permit
- MnDOT may require a sound study
- Parking demonstration for the multifamily dwellings
- Updated SWMP

Issues to be addressed:

1. It is important to ensure that the development of this parcel does not create a parking issue for the established buildings. When submitting please demonstrate the parking is adequate for all the residential developments under the same ownership.
2. Landscaping improvements around the stormwater pond.
3. A sound study may be required by MNDOT due to proximity to Highway 610.
4. The City's Code Enforcement Department has fielded a number of calls about the condition on the private road which would serve as sole access to this development. The condition and maintenance of 96th Lane will be addressed with this application.

City of Brooklyn Park Request for Council Action

Agenda Item:	6.1	Meeting Date:	April 13, 2015
Agenda Section:	Land Use Actions	Originating Department:	Community Development
Resolution:	X	Prepared By:	Todd A. Larson, Senior Planner
Ordinance:	N/A		
Attachments:	9	Presented By:	Cindy Sherman, Planning Director
Item:	610 West Apartments (Doran Companies) - Conditional Use Permit/Plat #15-104 for a 484-unit apartment complex located south of Oak Grove Parkway between 96th Lane and Hampshire Avenue North.		

Interim City Manager's Proposed Actions:

MOTION _____ SECOND _____ TO WAIVE THE READING AND ADOPT RESOLUTION #2015-APPROVING THE ENVIRONMENTAL ASSESSMENT WORKSHEET FINDING NO SIGNIFICANT IMPACTS FOR THE 610 WEST APARTMENT PROPOSAL.

MOTION _____ SECOND _____ TO WAIVE THE READING AND ADOPT RESOLUTION #2015-APPROVING A CONDITIONAL USE PERMIT AND PLAT FOR AN APARTMENT COMMUNITY LOCATED AT THE SOUTHEAST CORNER OF OAK GROVE PARKWAY AND HAMPSHIRE AVENUE.

Planning Commission Recommendation:

At its meeting on March 11, the Planning Commission unanimously (8-0) recommended approval of the proposal with conditions that are listed in the attached resolution. The Commission also recommended that a traffic signal be installed at the intersection of Oak Grove Parkway and 96th Lane/99th Avenue with this project. The City's Transportation Engineer provided a memo regarding this signal and stated that it does not meet signal warrants at this time. A signal assessment agreement is in place to cover the costs when the time comes to install it.

Since the Planning Commission reviewed the proposal, the applicant has made some modifications to the plans. The unit count was reduced by four units to 480. The landscaping plan was modified based on Great River Energy's review of the transmission line easement along the south side of the property as well as recommendations regarding evergreen trees. Lastly, the applicant has added a secure pedestrian tunnel connecting each building to the clubhouse.

Overview:

Doran Companies is proposing the first market-rate luxury apartment complex in Brooklyn Park in over 20 years. The proposal includes three buildings with studio, one-, two-, and three-bedroom units, a clubhouse with several amenities, underground parking, and extensive landscaping.

The site is at the southeast corner of Oak Grove Parkway and Hampshire Avenue, near the Target Campus. Originally, this site was a part of the Park Place Promenade shopping center. In the fall of 2014, the Planning Commission and City Council approved a Comprehensive Plan change from Community Commercial to medium-high density residential (7+ units per acre) following a study that recommended a reduction in commercial sites.

The site is zoned Town Center (TC) where all uses conforming to the Comprehensive Plan must obtain a Conditional Use Permit (CUP) to construct and operate. A plat is proposed to subdivide the existing Outlot into three developable lots and one common space outlot.

The review of the proposal includes an Environmental Assessment Worksheet (EAW). This must be approved prior to any final actions the Council takes on the project.

Primary Issues/Alternatives to Consider:

1. Approve the proposal as recommended by the Planning Commission.
2. Approve the proposal as recommended by the Planning Commission, except for the traffic signal (resolution attached).
3. Approve the proposal with modifications.
4. Deny the proposal based on certain findings.

Budgetary/Fiscal Issues:

Park dedication will be collected on the plat. The EDA is working with the developer on an assistance package.

Attachments:

- 6.1A EAW RESOLUTION
- 6.1B CUP AND PLAT RESOLUTION
- 6.1C LOCATION MAP
- 6.1D PLANNING & ZONING INFORMATION
- 6.1E PLANNING COMMISSION MINUTES
- 6.1F LETTERS
- 6.1G MEMO FROM TRANSPORTATION ENGINEER
- 6.1H PLANS
- 6.1I ENVIRONMENTAL ASSESSMENT WORKSHEET (available [here](#))

RESOLUTION #2015-___

APPROVING THE ENVIRONMENTAL ASSESSMENT WORKSHEET
FOR 610 WEST APARTMENTS FINDING NO SIGNIFICANT IMPACT

Planning Commission File #15-104

WHEREAS, Minnesota Rules 4410.4300 Subp. 19.D. requires that an EAW be prepared for construction of at least 375 attached residential in a city that has an adopted comprehensive plan under Minnesota Statutes; and

WHEREAS, an EAW was completed for 610 West Apartments, which is designed to include up to 520 residential apartment units in the City of Brooklyn Park; and

WHEREAS, on February 16, 2015, the EAW was publicly noted in the *EQB Monitor*, commencing the 30-day public comment period; and

WHEREAS, the EAW was posted on the City's web site during the review time; and

WHEREAS, the 30-day comment period ended on March 18, 2015; and

WHEREAS, the City of Brooklyn Park accepted and responded to all substantive written comments received;

NOW, THEREFORE, BE IT RESOLVED BY THE BROOKLYN PARK CITY COUNCIL THAT:

1. The EAW was prepared, published, and distributed in compliance with the procedures of the Minnesota Environmental Policy Act and Minnesota Rules, as required by Parts 4410.4300 Subd 14;
2. The EAW, combined with the supplemental information contained in the Response to Comments, satisfactorily addressed all of the issues raised and comments received for which existing information could have been reasonably obtained, and further investigation is therefore not required;
3. Based on the criteria established in Minnesota Rules Part 4410.1700, the project does not have the potential for significant environmental effects;
4. The city makes a "Negative Declaration" on the need for and Environmental Impact Statement (EIS),
5. An EIS is not required.

The City of Brooklyn Park shall maintain a Record of Decision, including the Response to Comments on the EAW, and will notify in writing, within five days, all persons on the EAW distribution list, all persons who commented in writing during the 30-day comment period, and any other person upon written request. The City will also send notice of this decision to the project proposed and the EQB.

RESOLUTION #2015-

RESOLUTION APPROVING THE PRELIMINARY AND FINAL PLAT OF "PARK PLACE PROMENADE 5TH ADDITION"
AND CONDITIONAL USE PERMIT OF A 484-UNIT APARTMENT COMMUNITY
SOUTHEAST OF OAK GROVE PARKWAY AND HAMPSHIRE AVENUE NORTH

Planning Commission File #15-104

WHEREAS, an application has made by Doran Companies for a Plat, Conditional Use Permit, and variance under the provisions of the City Code on property legally described as:

Outlot B, Park Place Promenade 2nd Addition, Hennepin County, Minnesota

WHEREAS, the applicant is requesting a reduction in the number of required parking spaces based upon his experience with developing several similar apartment communities;

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect of property values in the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission who held the public hearing on March 11, 2015; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park:

The Plat for "Park Place Promenade 5th Addition" and the Conditional Use Permit for a 484-unit apartment community are hereby approved with the following conditions:

1.00 DRAWINGS

- 1.01 Site plan/preliminary plat on file in the City Clerk's office dated 04-07-2015 is approved for 480 rental apartment units and clubhouse.
- 1.02 Utility plans dated 04-07-2015, landscaping plans dated 04-07-2015, and grading plans dated 04-07-2015 are approved, subject to conditions listed below.

2.00 BONDS, ESCROWS AND DIRECT PAYMENTS

- 2.01 A Development Contract and bonding shall be required. A development bond or letter of credit in the amount of **\$1,548,500.00**, a cash bond in the amount of **\$81,500.00**, and a developer's escrow in the amount of **\$48,900.00** as required by Chapter 152. The developer's escrow must be posted with the City to cover engineering, legal and administrative costs incurred by the City. If this account becomes deficient it shall be the developer's responsibility to deposit additional funds. This must be done before final bonding obligations are complete.

- 2.02 Payment of any special assessments on the property.
- 2.03 Payment of a park dedication fee of 10 percent of the fair market value of the property as determined by the City Assessor after the property is purchased by the developer. Payment is due before any building permits are issued.

3.00 REQUIRED DOCUMENTS

- 3.01 Approval of Title by the City Attorney.
- 3.02 All utility construction, drainage, grading and development plans must be approved by the City Engineer prior to receiving a building permit.
- 3.03 A comprehensive search shall be performed to identify any existing wells on the property. A licensed well driller shall properly abandon any unused wells in the plat. Such abandonment shall be reviewed and approved by the Minnesota Department of Health.
- 3.04 A final plat showing the correct square footage for each lot area must be submitted prior to recording of the final plat.
- 3.05 Approval by the West Mississippi Watershed Management Commission.
- 3.06 Approval of a master reciprocal agreement by the City Attorney's office. This agreement must be recorded with the final plat.

4.00 GENERAL CONDITIONS

- 4.01 It shall be the developer's responsibility to keep active and up to date the developer's contract and financial surety (Letter of Credit, bonds, etc.). These documents must remain active until the developer has been released from any further obligation by City Council motion received in writing from the Engineering Department.
- 4.02 Before final bonding obligations are released, a certificate signed by a registered engineer must be provided. This certificate will state that all final lot and building grades are in conformance to drainage development plan(s) approved by the City Engineer.
- 4.03 All conditions of the City Attorney's office shall also apply. A Title Review must be conducted by the City Attorney's office using documents provided by the developer before final plat may be recorded.
- 4.04 No burying of construction debris shall be permitted on the site.
- 4.05 Dust control measures must be in place to prevent for dust and erosion including, but not limited to, daily watering, silt fences, and seeding. The City Engineer may impose measures to reduce dust.
- 4.06 Adequate dumpsters must be on site during construction of streets, utilities, and homes. When full, they must be emptied immediately or replaced with an empty dumpster.

- 4.07 During construction, streets must be passable, at all times, free of debris, materials, soils, snow, and other obstructions.
- 4.08 In the event parking becomes a problem on the site, the building owner must work with City staff on a parking plan.
- 4.09 The driveways to the underground parking garages must be heated to prevent snow and ice accumulation.
- 4.10 Snow must not be stored on any parking space. In the event landscaped areas or storm water basins are full, snow must be hauled off site.
- 4.11 Bike racks must be installed throughout the site and in each underground garage.
- 4.12 Evergreen trees must not be grouped together between the south building and the parking lot for visibility purposes.
- 4.13 The storm water basin must be landscaped with trees and shrubs.
- 4.14 All lighting must meet City Code requirements.
- 4.15 All signage must conform to the approved site plans and obtain a permit prior to construction.

5.00 Final Plat

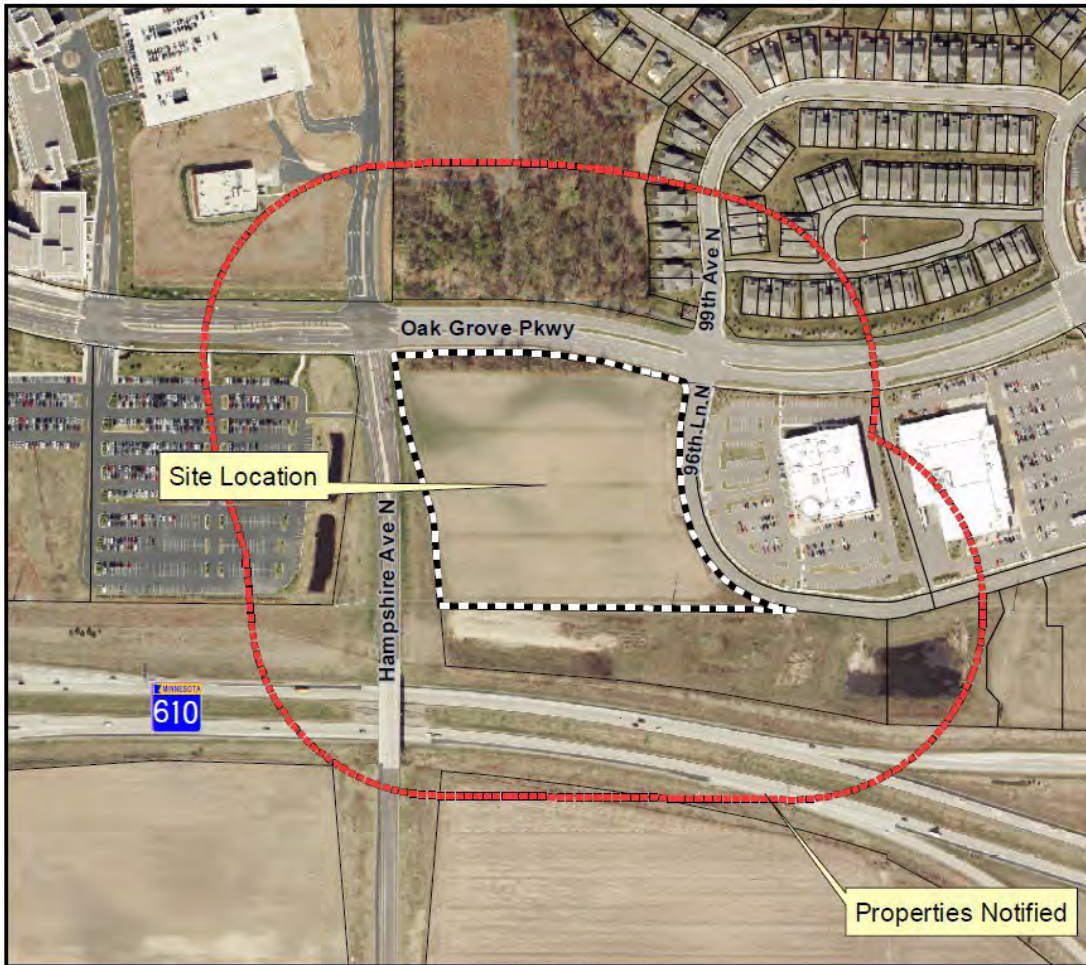
NOW, THEREFORE, BE IT FURTHER RESOLVED by the City Council of the City of Brooklyn Park, Final Plat Request #15-104 "Park Place Promenade 5th Addition" shall be approved subject to the following conditions:

- a. Title review by the City Attorney and all conditions therein.
- b. Easement review by the City Engineer and all conditions therein.
- c. Per requirements set forth in Resolution #2005-174 or as subsequently amended by motion, approving the modified preliminary plat of "Park Place Promenade" which is part of this resolution by reference and is on file and can be examined in the City Clerk's office.
- d. Submission of a letter from the land surveyor or engineer indicating the square footage contained in each lot on the plat, per Section 151.043, Subdivision J, of the City Code.
- e. Submission of a CAD copy of the plat.
- f. Payment of a park dedication fee of 10 percent of the fair market value of the property as determined by the City Assessor after the property is purchased by the developer. Payment is due before any building permits are issued.

BE IT FURTHER RESOLVED that such execution of the certificate upon said plat by the Mayor and City Manager shall be conclusive showing of proper compliance therewith by the subdivider and City officials and shall entitle such plat to be placed on record forthwith without further formality, all in compliance with M.S.A. 462 and the Ordinance of the City.

If the petitioner needs additional time to satisfy the requirements listed in this Preliminary and Final Plat and Conditional Use Permit in order to get it released for recording, then a one-year time extension must be requested. Time extension requests are subject to the conditions found in Subdivision Code (Chapter 151) and Zoning Code (Chapter 152). The failure on the part of the petitioner to submit a final plat per Section 151 within one year from the date of this approval shall deem the preliminary approval to be null and void.

**Conditional Use Permit/Plat #15-104
Doran Companies 610 West**



This is a public hearing notice map. Properties receiving notices are within the red dashed line.

Notification distance = 500 feet

Spring 2012 Air Photo.

200
Feet



Map Date February 5, 2014

6.1D PLANNING AND ZONING INFORMATION

Land Use Plan	Medium-High Density Residential (7+ units per acre)	
Current Zoning	Town Center (TC)	
Surrounding Zoning	South and East – Town Center (TC) <i>Park Place Promenade</i>	
	North East – Town Center (TC) <i>Liberty Oaks</i>	
	North – Conservancy District (CD) <i>Schreiber Woods</i>	
	West – Planned Unit Development (PUD) Target Northern Campus	
Neighborhood	Oak Grove	
Site Area	10.85 acres	
Number of Units	480	
Average Density	44.2 units per acre	
Parking Spaces	<u>Provided</u>	<u>Standard</u>
	Exterior	726 (1 space per unit plus 0.5 space per unit for guest parking)
	Underground	484 (1 space per unit minimum enclosed)
	Total	1,210
Green space	35.2%	
Conforms to:		
	Land Use Plan – Yes	
	Zoning Code – Yes	
	Subdivision Code – Yes	
	Variances Needed – To parking requirements	
Notification Distance	500 feet	

Buildings & Units

Three four-story buildings are proposed for the site. The southern building will be divided into three parts. The center part will be the clubhouse and leasing offices. Attached to the east and west sides of the clubhouse are residential units. Two separate residential buildings will be at the northeast and northwest corners of the site. These two buildings will be shaped to create courtyards.

All buildings will be constructed with a mixture of two different colored bricks, two different colored metal panels, and painted cement fiber siding. Most units have an exterior deck.

There will be a mix of unit types within each building. The smallest units are labeled as alcove units, which are similar to a studio unit (23 units). Most of the units are one- (251 units), one- plus den (15), two-bedroom units (156), and two-story lofts (27). There are some three-bedroom units as well (8). Many of the first floor units have direct access to the exterior and/or have two levels.

Each of the buildings will have amenities for the residents. In the southern building, all of the amenities are located in the clubhouse building. In the other two buildings, the center courtyards have swimming pools, a fire pit, bocce ball, and a community garden.

Access & Parking

Access to the site is proposed in three places. The main access will be off 96th Lane with the secondary right-in-right-out access off of Oak Grove Parkway. Both of these accesses will feature decorative landscaped medians. A third access to the site off of 96th Lane will be a standard driveway. The internal drives are all connected. The driveway width off of Oak Grove Parkway may need to be widened to accommodate a fire truck or moving truck.

Each building will have underground parking garages. In the two northern buildings, the parking extends under the courtyards (except for the pool area). All of the driveways to the garages are rather steep and could become slippery in winter. The applicant has indicated that these driveways will have heated pavement to keep them clear of ice and snow.

There will be a parking lot located along the south side of the site. On-street parallel and angled parking will be located in the center part of the site.

When the site was approved for retail, it was believed that a traffic signal may be needed in the future at the intersection of Oak Grove Parkway and 96th Lane/99th Avenue. A signal assessment agreement was recorded against the property covering a portion of the costs. The traffic study prepared for the environmental review does not foresee the need of a signal, but the assessment agreement will remain in place.

Parking Modifications

City Code requires two parking spaces per unit plus 0.5 spaces per unit for guest parking. One of the two required spaces must be enclosed in garages or underground parking. Most of the parking (492 of the 711 spaces) are shown underground. The applicant is proposing 711 spaces instead of the calculated 1,210 spaces based on experience with this type of apartment community.

City Code assumes that all parking spaces are used equally. Many apartment communities in Brooklyn Park charge extra for enclosed parking. The result is that many people chose to save money and park on surface parking lots, filling up the surface lots while many enclosed spaces sit empty. The applicant stated that given the price point of the units, the possibility of tenants avoiding an extra monthly charge (\$25 per space per month) is highly unlikely. In the unlikely event that parking becomes a problem, the property owner must work with staff on a parking plan for the site.

Pedestrian Connections

An extensive walkway system connects all of the buildings to each other and to the surrounding area. It is anticipated that many of the residents will work at Target, Olympus, or other nearby businesses and walk or bike for their commute. The site is adjacent to a trail running along Hampshire Avenue and Target Parkway leading to Oak Grove Park and the Rush Creek Regional Trail Corridor.

The plans do not show bike racks. The applicant has indicated that residents will not be allowed to keep bikes in their units, but rather in designated areas in the underground garage. It is recommended that bike racks are installed throughout the site as well.

Landscaping & Screening

The site shows an extensive landscaping plan. Several different types of trees and shrubs are shown throughout the site. Along the south side of the site, no trees are shown due to the transmission line easement. The median islands will be planted with perennials as well.

Between the south parking lot and the southern building, several evergreens are shown. Evergreens are discouraged in multi-family settings since they can create hiding places. This landscaping plan shows evergreens scattered as requested by the Planning Commission.

Storm Water Management

In the Park Place Promenade development plan, a storm water basin was identified at the southwest corner of the development. 610 West intends to use this basin for its storm water though it is not on the applicant's property. Easement agreements must be provided prior to construction.

This basin is not shown to be landscaped. It is recommended that trees and shrubs be added around the basin for bank stabilization and general aesthetics. The West Mississippi Watershed Management Commission must review the storm water plan and issue permits prior to site preparation.

Utilities

All city utilities are available to the site. The existing sanitary sewer services were sized for retail development instead of multi-family residential. To balance out the sanitary flows, a new service is proposed under the intersection of Oak Grove Parkway with 96th Lane/99th Avenue.

Lighting

All sites within 500 feet of a residential area are restricted to a 15-foot light pole height. The south parking lot is located within the Great River Energy transmission line easement. Pole heights might be further reduced given their easement requirements. The applicant has presented a modified lighting plan to Great River Energy and received approval on its design.

Plat

The existing parcel is an outlot from the Park Place Promenade 2nd Addition. It must be replatted into developable lots before building permits can be issued. The applicant is proposing to replat the property into three lots (one for each building) and one outlot (for the center roadways and common area). A recommended condition is that all lots must be in common management to prevent the apartment buildings turn into separate communities.

Park Dedication

Park dedication is required on all plats in Brooklyn Park where park dedication was previously not paid. In the case of high density multi-family projects, 10 percent of the fair market land value is used. The property is currently in the Green Acres program. Upon sale, the City Assessor will remove the Green Acres designation and determine the value for tax purposes. That property value is currently estimated to be \$2.6 Million. It is recommended that the park dedication for the site be collected before building permits are issued on the first building.

Neighborhood Meetings

The developer hosted a neighborhood meeting and a community meeting prior to submission for City review. Generally, area residents were supportive of the proposal.

Environmental Review

The Park Place Promenade and Liberty Oaks developments completed a required environmental review in 2005. Because multi-family development was not anticipated in this location, the applicant prepared an Environmental Assessment Worksheet (EAW) to look at the potential environmental effects of this development. The EAW was prepared while the site and architectural plans were still being developed; the analysis was done for up to 520 units to allow the final designs to be developed. The comment period closed on March 18. The City Council cannot take any final action on the project until after the EAW process is complete and that is why the first action requested is to approve the EAW.

**MINUTES OF THE BROOKLYN PARK PLANNING COMMISSION
REGULAR MEETING**

March 11, 2015

Unapproved Minutes

1. CALL TO ORDER

The meeting was called to order at 7:00 p.m.

2. ROLL CALL/ PLEDGE OF ALLEGIANCE

Those present were: Commissioners Nguyen, Stuewe, Walker, Trapp, Hanson, Morton-Spears, West-Hafner, and Schmidt; Senior Planner Larson; Planning Director Sherman

Those not present: Commissioner Cupka; City Council Liaison Lunde

6. PUBLIC HEARING

C. 610 West Apartments (Doran Companies) - Case#15-104 Conditional Use Permit/Plat for multi-family housing located south of Oak Grove Parkway between 96th Lane and Hampshire Avenue North.

Senior Planner Todd Larson stated that this is something new and exciting for Brooklyn Park. The property is a little over seventeen acres. The applicant is proposing an apartment community consisting of three buildings totaling 484 apartment units varying in range from studio apartment all the way up three bedroom apartments. Some of them are traditional one-level apartments but quite a few of them are two-level apartments with direct access to the outside, giving them more of a townhouse feel. There will be two buildings to the north with a courtyard shape. There will be outdoor swimming pools and other community amenities. One of the three buildings will be broken up into three parts and have residential on either end, with a clubhouse containing the leasing office and an indoor pool between them. There will be three access points with the main access being right in right out off of Oak Grove Parkway for eastbound traffic only. The other two access points are off of 96th Lane, one of them containing a row of parking. These are all private roadways. Most of the parking is underground, going under the whole courtyard, except where the pool area is, which allows for much more parking. The buildings will be four stories of apartments above the underground parking. There will be a mixture of materials consisting of brick with some accent metals, and Hardie Plank siding. Staff is recommending approval with a few conditions in the Conditional Use Permit. Staff would like to hold off any discussion on the first of the conditions until the City Council meeting as some things are still being worked out. A second condition is about the underground parking because it is at a steep slope and staff would like to see it heated so snow and ice does not become a problem for the residents. Also, the parking is pretty limited on the site, causing a concern about where snow should be piled up in the winter. There is a storm water pond that staff is recommending be used for the snow storage. Another condition concerns the landscaping plan. There are some groupings of evergreen trees between the parking lot and the apartment building.

Staff does not want large areas where visibility is obscured and would like those trees more spread out for the safety of the residents. The storm water area is part of the whole Park Place Promenade system but their landscaping plan is not showing anything around it. Staff would like it finished off and for erosion control bank stabilization there needs to be some landscaping around it. The plans show a twenty five foot light pole where a fifteen foot light pole is required.

Kelly Doran, with Doran Companies, stated that he is available to answer any questions.

Chair Nguyen opened the public hearing.

Robert Held, 6737 99th Avenue North, stated that design of the development is going to blend really well with the area. He asked staff what luxury apartment complex was built twenty years ago. Senior Planner Larson stated that it is the Greens at Edinburgh over by the golf course. Mr. Held asked staff what makes the recommendations mentioned in the staff report requirements. Mr. Larson stated that the recommendations and conditions are reviewed by the City Council and they will make the final decision by recommending or denying the proposal. Mr. Held stated that one of the major concerns he has that he thinks needs to be addressed is a traffic signal at Oak Grove Parkway. He stated that there have been numerous accidents there and usually as a result of the steady stream of traffic that is westbound on Oak Grove Parkway turning into LA Fitness. He stated that the north boulevard entrance that's right in and right out of the apartment complex causes a problem if someone wants to head west on Oak Grove Parkway. They would turn right and go up and make a U-turn which will further snarl the traffic. He asked if the fire pits in the common area will be gas because he feels they should be so the residents do not need to be exposed to open burning. Lastly, he asked about a development completion date. He stated that there should be a completion date required so area residents do not have to put up with ongoing construction for an undetermined period of time or worry that the scope of the project could change down the road in the future.

Bill Schreiber, 10001 Zane Avenue North, stated that he is representing the family that has owned this property for quite some time. He stated that area residents have expressed interest in doing their shopping and getting services in Brooklyn Park, without having to go to other cities. This is something Brooklyn Park needs. With the development happening along the Highway 610 corridor, there will be a great need for housing like this project. Doran Companies comes highly recommended as a developer who can make this a high quality development. He stated that Brooklyn Park will need a lot more apartments in the future and this will set a high standard going forward.

Mr. Doran stated that they do not allow residents to bring their bikes into their apartments. The fire pits run on timers, and they are gas fire pits. He stated that they plan to start grading probably sometime in June and start footings and foundations for the two buildings and the clubhouse on the southern end roughly around the first of July. They will start building one footings and foundations on the northeast corner by sometime in September. The two southern buildings and the clubhouse will be completed by approximately August of 2016. Building one at the northeast corner will probably be completed sometime in February of 2017. He stated that they anticipate that the last part, building four, will be under construction during the spring of 2017 and be delivered in the fall of 2018. Mr. Doran stated that any changes to this project would have to come back through the Planning and City Council process. He also stated that they will have a 22,000 square foot clubhouse and in terms of an amenities package there is nothing like this in the entire twin cities. He stated that they are focused on the greater northern tier of the twin cities. This project will attract people from all over.

Seeing no one approach the podium, he closed the public hearing.

Commissioner Hanson asked for clarification about whether or not any of the oak trees mentioned in the resident e-mail they were given in their packet will remain or not. She also asked to see renderings of how the landscaping will look with the evergreen trees around the clubhouse on the Highway 610 side.

Mr. Doran stated that he hopes they can save some of the trees mentioned in the resident e-mail but he cannot promise that. He stated that they have many renderings of the side of the clubhouse facing Highway 610 but do not have any of them with them that show it well. They will make sure the Planning Commission gets copies of some better views. He stated that the landscaping along Highway 610 on the southern border is somewhat limited because they are in the power line easement so there are requirements as to what height and species can be planted there.

Commissioner West-Hafner stated that her biggest concern is the intersection of Oak Grove Parkway and 96th Avenue North. She stated that she would like to recommend that there is a condition added to put a stoplight there.

Commissioner Stuewe asked Mr. Doran to talk about the other developments that he had mentioned regarding parking reduction in suburban models.

Mr. Doran stated he is not sure this is an urban/suburban issue as even people living in an urban area have a car. They may use other transportation but they still own a car and need a place to park it. The modeling and examples out there do show that a parking ratio for a modern apartment project, especially something that gets to this type of density, that the ratio starts to slide down. That numbers works out to be about 1.3 to 1.4 so that there is not an over or under building of parking.

Commissioner Stuewe asked if the development is prepared for guest parking during visits or use of the clubhouse.

Mr. Doran stated yes.

Commissioner Stuewe asked what they are requiring for a lease term.

Mr. Doran stated that they require a one year lease. They do background checks on every tenant that moves into their buildings. He stated that they have very strict requirements for their facilities.

Commissioner Stuewe asked if there are rooftop mechanicals or in-unit mechanicals.

Mr. Doran stated there will be both. Each unit will have their own system inside the unit with exterior ventilation. Each unit will have their own meter and they will pay a gas and an electric bill which will control energy expenses. He stated there will be some rooftop mechanicals to predominately heat and air-condition the corridors, lobbies, other common spaces.

Commissioner Stuewe asked how the ventilation units will look on the outside of each unit since there will be so many of them.

Mr. Doran stated that many of them will be located inside the balcony area so they are not really visible.

Commissioner Schmidt stated that this is a product that the city does not have. He has seen another of their projects and it was very impressive. He stated that he looks forward to seeing it here.

Commissioner Trapp stated that he tries as a Planning Commissioner to look at and think about how these projects will look fifty years from now. He stated that he is very impressed with how the Schreiber family has very thoughtfully considered the planning of the city and how this project could fit into those plans. He stated that this project is the perfect fit for this space. He asked Mr. Doran to speak to the right turn out of the complex as he only sees U-turns coming out of that. He asked if it even makes sense to have a right turn exit onto Oak Grove Parkway in the middle section.

Mr. Doran stated that he thinks if the right turn out of that area was eliminated it would destroy the whole creation of the kind of walkable, urban street environment. He stated that he thinks people that live there will quickly figure out that if they want to go west on Oak Grove Parkway, they would not exit that way. He stated to keep in mind where the garage entrances are on the plan because two thirds of the parking stalls are under the building and all of them are more accessible to 96th Avenue so there is really no reason for them to migrate through the property to go that way. He stated that they do not object to a traffic light being there but the traffic study does not show that it is merited now and that is the City's call whether or not they want to do anything about that.

Commissioner Trapp asked Senior Planner Larson to address the traffic study and the traffic light issue.

Senior Planner Larson stated that back in 2005 when Park Place Promenade was going through approvals the traffic study showed that the traffic light was needed at Colorado Avenue at that time and in the future one could be necessary at Oak Grove Parkway. He stated that once traffic reaches a certain level it would be brought before the City Council and it would be discussed as to how the costs would be divided up.

Commissioner Trapp asked if 96th Lane would continue to be a private road to which Mr. Larson stated yes it will remain a private road and the city will not be involved in maintaining it.

Commissioner Nguyen stated that he fully supports this. He asked if the round-about is a one or two car round-about.

Mr. Doran stated that it is technically a one car round-about.

Commissioner Nguyen asked about the units facing Oak Grove Parkway and if they will have stairs with direct access to the street.

Mr. Doran stated that some of the apartments will have direct access to the street much like a townhome would.

Commissioner Nguyen asked staff if there is going to be a new sidewalk built along the west side of 96th Lane and where it would stop.

Senior Planner Larson stated that the sidewalks are currently constructed on the north or east side of the road and with this project it would be constructed along the west or south side up to the property line. It would end just beyond the last entrance. There would still be a gap from there all the way over to the tire store and those gaps would be filled in as development occurs.

MOTION WEST-HAFNER, SECOND HANSON TO RECOMMEND APPROVAL OF CONDITIONAL USE PERMIT/PLAT WITH VARIANCE FOR AN APARTMENT COMMUNITY LOCATED AT THE SOUTHEAST CORNER OF OAK GROVE PARKWAY AND HAMPSHIRE AVENUE SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.

MOTION CARRIED UNANIMOUSLY

MOTION WEST-HAFNER, SECOND HANSON TO RECOMMEND A CONDITION REQUIRING A TRAFFIC STUDY REVIEW REGARDING ADDING A STREETLIGHT AT THE CORNER OF OAK GROVE PARKWAY AND 96TH AVENUE NORTH ONCE THE FIRST PHASE OF BUILDING WHICH WOULD BE THE CLUBHOUSE AND THE APARTMENT BUILDINGS CONNECTED WITH IT ARE STABILIZED.

MOTION CARRIES UNANIMOUSLY.

Chair Nguyen stated that this application will be considered by the City Council on April 13, 2015.

From: Thomas-Janice Hanson
Sent: Wednesday, March 11, 2015 11:26 AM
To: Todd Larson
Subject: For Public Record

Hello Todd,

My husband and I would like to make sure this gets into the public record for tonight's planning commission meeting if that is possible. Your help would be greatly appreciated! We faxed the letter as well, but wanted to ensure you saw it. ~ Janice

To: Department of Community Development, Planning and Development Division

From: Thomas A. and Janice Hanson
6741 83rd Place N
Brooklyn Park, MN 55445

Date: March 11, 2015

Re: Request for Conditional Use Permit/Plat for a 484-unit apartment complex located south of Oak Grove Parkway between 96th Lane and Hampshire Ave N.

Dear Planning Commission,

Please help save the 30 to 40 year old existing oak trees in the area being considered for development. The trees are located along the north side of the property, or in other words, the south side of Oak Grove Parkway.

We don't always consider what already exists in the undeveloped land that can improve the appearance and livability of neighborhoods, enhance property values, and spur economic growth. Oak trees are a majestic land mark that can outlive all of us and be there for generations to come. With the land being considered for development so close to Oak Grove Parkway, what an enhancement it would be to require the oak trees to remain.

It would be awesome for Brooklyn Park to develop a successful tree ordinance, but for now, let's ensure these particular oak trees stay put. Please?

Thank you for your consideration.

Thomas A. and Janice Hanson

From: Gary Bahr
Sent: Tuesday, April 07, 2015 4:13 PM
To: Todd Larson
Subject: Re: 610 West Apartments

Mayor and Council Members,

I have been a resident of Brooklyn Park since returning from my army assignment in 1971. My daughter and her family now live in Brooklyn Park as well.

The last apartment proposal considered during Mayor Lampi's tenure met with significant opposition and was rejected, we still have the same concerns.

More apartments lead to more crime. After razing a few troubled rental units, the crime rate has gone down and Brooklyn Park is finally gaining a better reputation.

If we need more housing because of increased employment opportunities in Brooklyn Park, let it be single family homes. Good citizens will buy a home and "invest" in the city.

What is the advantage to Brooklyn Park homeowners for adding up to 520 rental units? There will be a small increase in a few retailers. Statistics show there will be more crime. Our history as a city substantiates that. Why do it? One crime committed against a family member is not of equal value to increased profit for a few. Is there magic in instant population growth of a city? We meet the requirements for number of rental units.

I simply can't see the logic in adding new rental units. We are adding numerous homes in the area west of Chaplin Park High School, this area is beautiful, safe, and populated with young, ambitious citizens with great values. Let's not chase them away. We have made significant steps in improving our image, let's not return to the past.

What are the advantages to Brooklyn Park homeowners? We don't have to add new apartment complexes, why add them if most of us don't want them

Do I need to move my retirement home to Maple Grove?

Gary Bahr

My address is 3501 99th ave N. BP.

From: [Tony Kuechle](#)
To: [Cindy Sherman](#); [Todd Larson](#)
Cc: [Kelly Doran](#)
Subject: FW: plat
Date: Thursday, June 8, 2017 8:19:47 PM
Attachments: [image002.jpg](#)
[Outlot C Replat.pdf](#)
[Doran BP Frontage Title Commitment.pdf](#)
[610 West - Amended and Restated ECR - June 5 2017.docx](#)

Cindy and Todd.

Attached is the re-plat of Outlot C in to 2 parcels, an updated title commitment, and a copy of the Amended and Restated Declaration of Easement's, Covenants and Restrictions.

The new plat creates 2 parcels. Outlot A includes the pond, sign, dog park and playground. Outlot B contains the developable parcel.

Both Outlot A and Outlot B are now party to the ECL. This allows access from the westerly parcel(Outlot A) to the public road. The ECL will be finalized prior to the plat being approved and recorded.

From the email below, it is my understanding that this is all the information you need and an application is not necessary. Please let me know if that is not the case or you need additional information.

Thanks for your help.

TONY KUECHLE

SR VICE PRESIDENT OF DEVELOPMENT
OFFICE: | 952.288.2051
MOBILE: | 763.245.1805
tony.kuechle@dorancompanies.com

From: Cindy Sherman <Cindy.Sherman@brooklynpark.org>
Date: March 1, 2017 at 11:17:32 AM CST
To: 'Kelly Doran' <Kelly@dorancompanies.com>
Cc: Todd Larson <Todd.Larson@brooklynpark.org>
Subject: plat

Hi Kelly,

Todd and I talked about the plat. Ideally it would be best to have the pond, dog park and playground become part of the 610 West development lot. I didn't know if this was possible with the financing. Otherwise, the westerly outlot does not have access on a public road. We could probably address that via an easement if it can't be part of the adjacent lot.

In any case, we decided that the land can be platted via a final plat. In which case there

is no application, we piggy-back it on the preliminary plat application and it only goes to the city council. We do require that the title work be updated. So get me the title info and I'll send it off to our attorney. Then the plat will be scheduled as soon as the drawing is in and the attorney review is done, usually a couple of weeks after submission.

Please let me know if you have any questions.

Cindy

Cindy Sherman

Planning Director, City of Brooklyn Park
Community Development Department
763-493-8051

[CBP_tag_FL_4c \(3\)](#)



City of Brooklyn Park Request for Council Action			
Agenda Item:	4.7	Meeting Date:	June 26, 2017
Agenda Section:	Consent	Originating Department:	Community Development
Resolution:	X	Prepared By:	Todd A. Larson, Senior Planner
Ordinance:	N/A		
Attachments:	3	Presented By:	Cindy Sherman, Planning Director
Item:	Park Place Promenade 6th Addition (Doran Companies) – Final Plat #15-104 subdividing 5.68 acres into two outlots northeast of Hwy. 610 and Hampshire Ave. N.		

City Manager's Proposed Action:

MOTION _____ SECOND _____ TO WAIVE THE READING AND ADOPT RESOLUTION #2017-APPROVING FINAL PLAT OF "PARK PLACE PROMENADE 6TH ADDITION" SUBDIVIDING 5.68 ACRES INTO TWO OUTLOTS NORTHEAST OF HIGHWAY 610 AND HAMPSHIRE AVENUE.

Overview:

In 2015, Doran Companies received approval for a conditional use permit (CUP) and plat for construction of 480 apartments. Two of the three structures are now open and the final building is under construction. The development used an expanded storm water basin on an adjacent parcel. Doran Companies eventually purchased that property, even though there was a storm water agreement in place for use of that basin. The intent of this plat is to subdivide the storm water basin and the adjacent amenity area from other developable property and sell the vacant lot. Once sold, the new developer would be required to replat the property into a developable lot or lots and pay the park dedication.

Primary Issues/Alternatives to Consider:

1. Approve the plat as proposed.
2. Approve the plat with modifications.
3. Deny the plat based on certain findings.

Budgetary/Fiscal Issues:

None. Park dedication will be provided on Outlot B at time it is replatted.

Attachments:

- 4.7A RESOLUTION
- 4.7B LOCATION MAP
- 4.7C FINAL PLAT

RESOLUTION #2017-____

RESOLUTION APPROVING FINAL PLAT OF
“PARK PLACE PROMENADE 6TH ADDITION”
SUBDIVIDING 5.68 ACRES INTO TWO OUTLOTS
NORTHEAST OF HIGHWAY 610 AND HAMPSHIRE AVENUE

Planning Commission File #15-104

WHEREAS, the plat of “Park Place Promenade 6th Addition” has been submitted in the manner required for platting of land under the Brooklyn Park City Codes and under Chapter 462 of the Minnesota Statutes and all proceedings have been duly had thereunder; and

WHEREAS, said plat is in all respects consistent with the City plan and the regulations and requirements of the laws of the State of Minnesota and codes of the City of Brooklyn Park, Chapters 151 and 152.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park, Final Plat Request #15-104 “Park Place Promenade 6th Addition” shall be approved subject to the following conditions:

- a. Title review by the City Attorney and all conditions therein.
- b. Easement review by the City Engineer and all conditions therein.
- c. Per requirements set forth in Resolution #2006-221 or as subsequently amended by motion, approving the modified final plat of “Park Place Promenade 2nd Addition” which is part of this resolution by reference and is on file and can be examined in the City Clerk's office.
- d. Submission of a letter from the land surveyor or engineer indicating the square footage contained in each lot on the plat, per Section 151.043, Subdivision J, of the City Code.
- e. Submission of a CAD copy of the plat.
- f. Park dedication shall be collected at the time of replatting at the rate in effect at the time.

BE IT FURTHER RESOLVED that such execution of the certificate upon said plat by the Mayor and City Manager shall be conclusive showing of proper compliance therewith by the subdivider and City officials and shall entitle such plat to be placed on record forthwith without further formality, all in compliance with M.S.A. 462 and the Ordinance of the City.

**Final Plat #15-104 - Doran Companies
"Park Place Promenade 6th Addition"**



This is a public hearing notice map. Properties receiving notices are within the red dashed line.

Notification distance = 500 feet

Oak Grove Neighborhood

Spring 2015 Air Photo (prior to site construction)



Map Date June 20, 2017

Site Development Plans for **610 WEST PARKING LOT EXPANSION**

Brooklyn Park, Minnesota

Presented by:
Doran 610 Apartments, LLC.

Client
DORAN 610 APARTMENTS, LLC.

7803 GLENROY ROAD
 SUITE 200
 BLOOMINGTON, MN 55439

Project
610 WEST PARKING LOT EXPANSION

Location
BROOKLYN PARK
 MINNESOTA

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric Miller
 Registration No. 41636 Date: _____
 If applicable, please use for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: MLL Drawn: KIL
 Approved: EWM Book / Page:
 Phase: PRELIMINARY Initial Issue:

Revision History

No.	Date	By	Submittal / Revision
10/15/2019	KIL	Site Plan Review	

NOT FOR CONSTRUCTION

CONSULTANT CONTACT LIST:

DEVELOPER/OWNER
 DORAN 610 APARTMENTS, LLC.
 7803 GLENROY RD SUITE 300
 BLOOMINGTON, MN 55439
 TEL 952-288-2089
 EMAIL CODY.DIETRICH@DORANCOMPAINES.COM
 CONTACT: CODY DIETRICH

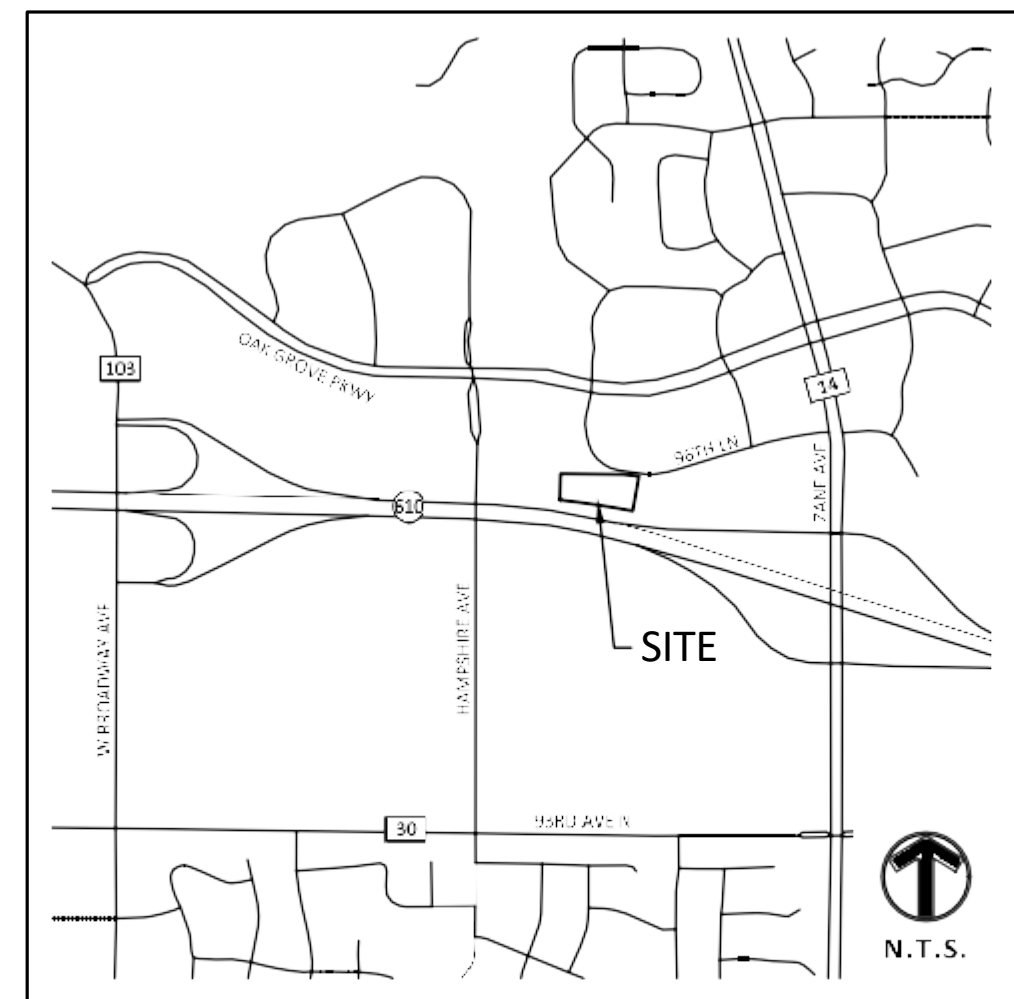
CIVIL ENGINEER
 SAMBATEK
 12800 WHITEWATER DRIVE, SUITE 300
 MINNETONKA, MN 55343
 TEL 763-476-6010
 EMAIL EMILLER@SAMBATEK.COM
 CONTACT: ERIK MILLER

ARCHITECT
 DORAN ARCHITECTS, LLC
 7802 GLENROY RD SUITE 300
 BLOOMINGTON, MN 55439
 TEL 952-288-2045
 EMAIL PAT.MACNABB@DORANCOMPAINES.COM
 CONTACT: PAT MACNABB

SURVEYOR
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 12800 WHITEWATER DRIVE, SUITE 300
 MINNETONKA, MN 55343
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 EMAIL MSALO@SAMBATEK.COM
 CONTACT: MARK SALO

GEOTECHNICAL
 BRAUN INTERTEC
 11001 HAMPSHIRE AVE SOUTH
 MINNEAPOLIS, MN 55438
 TEL 952-995-2000
 EMAIL CKEHL@BRAUNINTERTEC.COM
 CONTACT: CHRISTOPHER KEHL

LANDSCAPE ARCHITECT
 SAMBATEK
 12800 WHITEWATER DRIVE, SUITE 300
 MINNETONKA, MN 55343
 TEL 763-476-6010
 EMAIL JWORMAN@SAMBATEK.COM
 CONTACT: JOHNNIE WORKMAN



VICINITY MAP
 NO SCALE

SHEET INDEX

SHEET	DESCRIPTION
C1.01	TITLE
C2.01	EXISTING CONDITIONS
C3.01	SITE PLAN
C4.01	GRADING, UTILITY, & EROSION CONTROL PLAN
C6.01	DETAILS
C6.02	DETAILS

GOVERNING SPECIFICATIONS

CITY OF BROOKLYN PARK SPECIFICATIONS (2011)
 CITY ENGINEER'S ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS (2013)
 MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (2018 EDITION)

Sheet Title
TITLE

Sheet No. Revision
C1.01

Project No. 21901

Client
DORAN 610 APARTMENTS, LLC.
 7803 GLENROY ROAD
 SUITE 200
 BLOOMINGTON, MN 55439

Project
610 WEST PARKING LOT EXPANSION

Location
BROOKLYN PARK
 MINNESOTA

Certification
 I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed LAND SURVEYOR under the laws of the State of Minnesota.

Mark R. Salo, L.S.
 Registration No. 41355 Date: _____
 If applicable, please use us for a wet signed copy of this survey which is available upon request at Sambatek's, Minneapolis, MN office.

Summary
 Designed: MLL Drawn: KIL
 Approved: EWM Book / Page:
 Phase: PRELIMINARY Initial Issue:

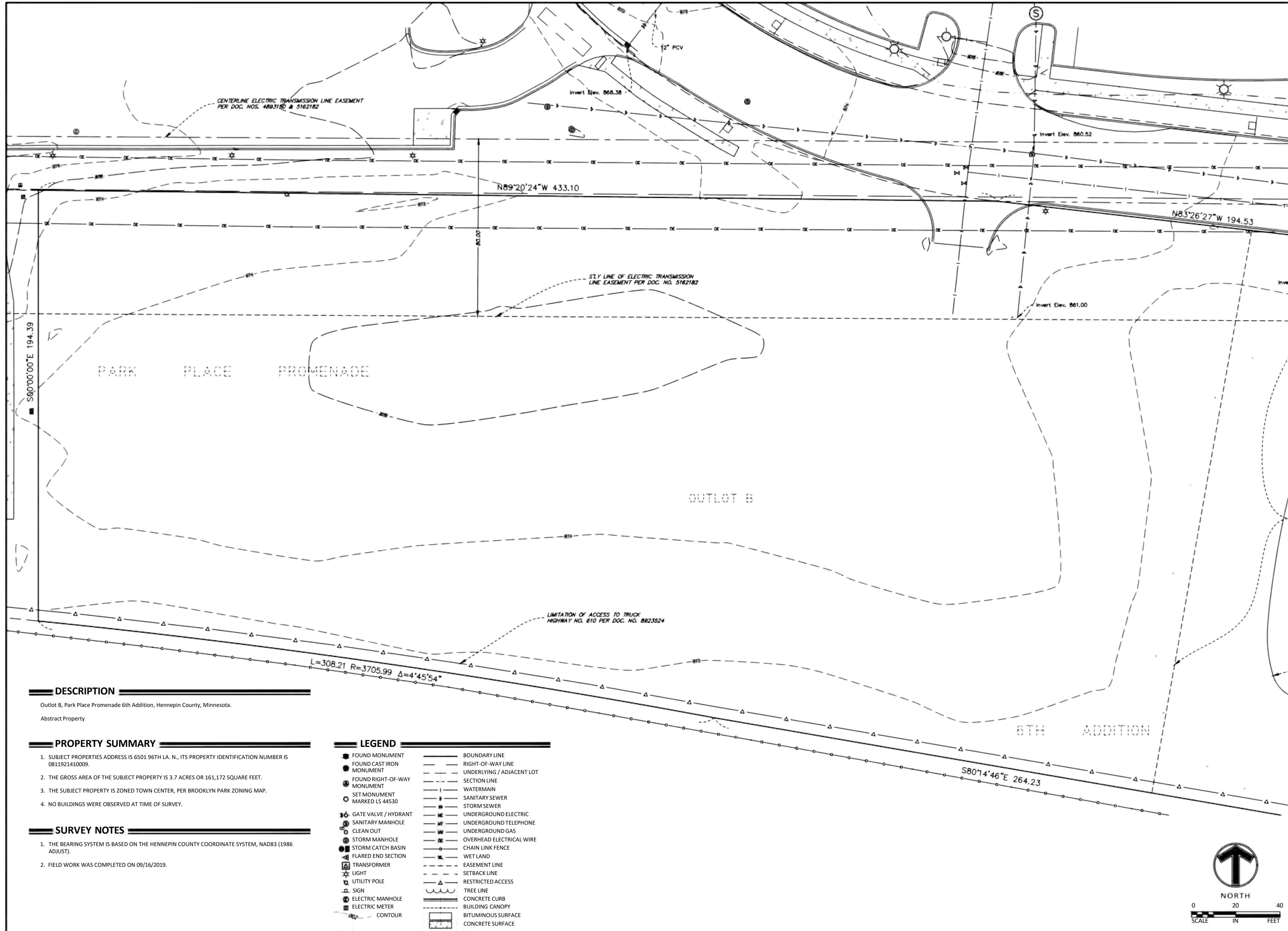
Revision History

No.	Date By	Submittal / Revision
10/15/2019	KIL	Site Plan Review

Sheet Title
EXISTING CONDITIONS

Sheet No. Revision
C2.01

Project No. 21901



DESCRIPTION

Outlot B, Park Place Promenade 6th Addition, Hennepin County, Minnesota.
 Abstract Property

PROPERTY SUMMARY

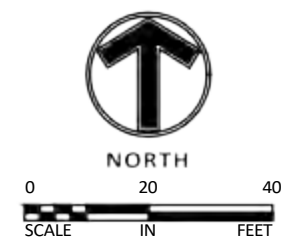
- SUBJECT PROPERTIES ADDRESS IS 6501 96TH LA. N., ITS PROPERTY IDENTIFICATION NUMBER IS 0811921410009.
- THE GROSS AREA OF THE SUBJECT PROPERTY IS 3.7 ACRES OR 161,172 SQUARE FEET.
- THE SUBJECT PROPERTY IS ZONED TOWN CENTER, PER BROOKLYN PARK ZONING MAP.
- NO BUILDINGS WERE OBSERVED AT TIME OF SURVEY.

SURVEY NOTES

- THE BEARING SYSTEM IS BASED ON THE HENNEPIN COUNTY COORDINATE SYSTEM, NAD83 (1986 ADJUST).
- FIELD WORK WAS COMPLETED ON 09/16/2019.

LEGEND

- | | |
|--------------------------------|--|
| ● FOUND MONUMENT | — BOUNDARY LINE |
| ● FOUND CAST IRON MONUMENT | — RIGHT-OF-WAY LINE |
| ● FOUND RIGHT-OF-WAY MONUMENT | --- UNDERLYING / ADJACENT LOT SECTION LINE |
| ○ SET MONUMENT MARKED LS 44530 | — WATERMAIN |
| ⊕ GATE VALVE / HYDRANT | — SANITARY SEWER |
| ⊙ SANITARY MANHOLE | — STORM SEWER |
| ⊙ CLEAN OUT | — UNDERGROUND ELECTRIC |
| ⊙ STORM MANHOLE | — UNDERGROUND TELEPHONE |
| ⊙ STORM CATCH BASIN | — UNDERGROUND GAS |
| △ FLARED END SECTION | — OVERHEAD ELECTRICAL WIRE |
| ⊠ TRANSFORMER | — CHAIN LINK FENCE |
| ★ LIGHT | — WET LAND |
| ⊙ UTILITY POLE | — EASEMENT LINE |
| ⊙ SIGN | — SETBACK LINE |
| ⊙ ELECTRIC MANHOLE | — RESTRICTED ACCESS |
| ⊙ ELECTRIC METER | — TREE LINE |
| — CONTOUR | — CONCRETE CURB |
| | — BUILDING CANOPY |
| | — BITUMINOUS SURFACE |
| | — CONCRETE SURFACE |



Client
DORAN 610 APARTMENTS, LLC.

7803 GLENROY ROAD
SUITE 200
BLOOMINGTON, MN 55439

Project
610 WEST PARKING LOT EXPANSION

Location
BROOKLYN PARK MINNESOTA

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric Miller
Registration No. 41636 Date: _____
If applicable, please use for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: MLL Drawn: KIL
Approved: EWM Book / Page:
Phase: PRELIMINARY Initial Issue:

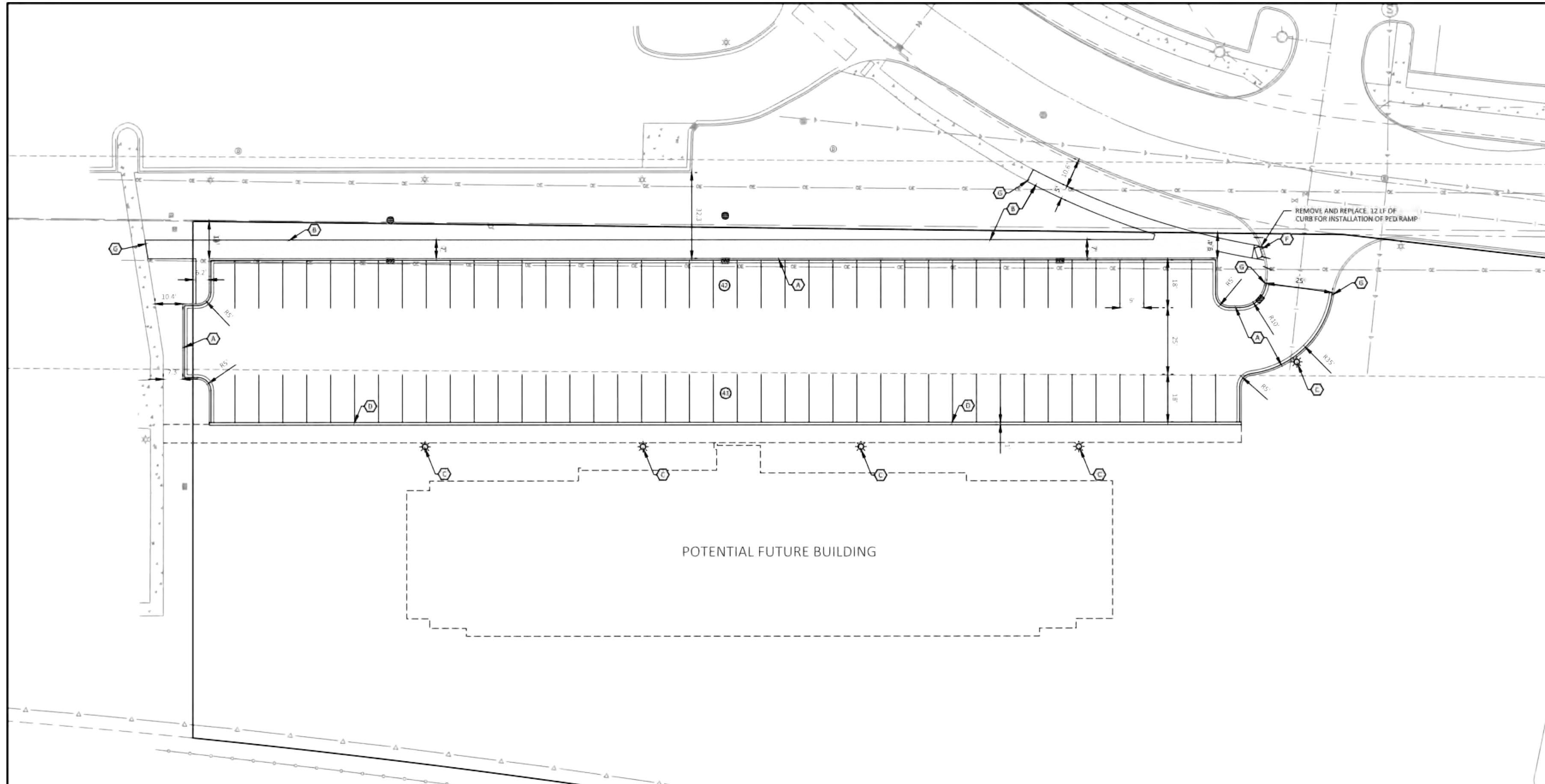
Revision History

No.	Date By	Submittal / Revision
10/15/2019	KIL	Site Plan Review

Sheet Title
SITE PLAN

Sheet No. Revision
C3.01

Project No. 21901



LEGEND

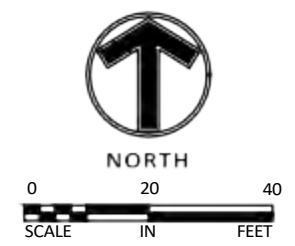
PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING	AREA GROSS SITE AREA 161,127 SF 3.70 AC
PROPERTY LIMIT	---	HEAVY DUTY ASPHALT PAVING	DISTURBED AREA 39,908 SF 0.92 AC
CURB & GUTTER	---	CONCRETE PAVING	PARKING SETBACKS
EASEMENT	---	CONCRETE SIDEWALK	SIDE OR REAR YARD ADJACENT TO RESIDENTIAL USE 35 FEET
BUILDING	---		ALL OTHER INTERIOR SIDE OR REAR YARDS 5 FEET
RETAINING WALL	---		FROM PUBLIC RIGHTS-OF-WAY 15 FEET
WETLAND LIMITS	---		ZONING
TREELINE	---		EXISTING ZONING TC
REMOVE EXIST CONCRETE CURB	---		PROPOSED ZONING TC
SIGN	---		PARKING SUMMARY
PIPE BOLLARD	---		ACCESSIBLE STALLS 0
NUMBER OF PARKING STALLS PER ROW	---		STANDARD STALLS 85
KEY NOTE	---		TOTAL PARKING STALLS 85

DEVELOPMENT SUMMARY

DEVELOPMENT NOTES	KEY NOTES
1. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.	A. B-612 CONCRETE CURB AND GUTTER - SEE DETAIL 04 ON SHEET C6.01
2. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.	B. STANDARD CONCRETE SIDEWALK - SEE DETAIL 07 ON SHEET C6.01
3. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.	C. LIGHT STANDARD - FOR REFERENCE ONLY, LIGHTING IS DESIGN-BUILD BY CONTRACTOR
4. ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.	D. BITUMINOUS CURB - SEE DETAIL 08 ON SHEET C6.01
5. ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.	E. NOT USED
6. SEE ARCHITECTURAL PLANS FOR PYLON SIGN DETAILS	F. ACCESSIBLE RAMP - SEE DETAIL 09 ON SHEET C6.01
7. REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.	G. MEET & MATCH EXISTING
8. ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT AND COORDINATE WITH GRADING CONTRACTOR.	
9. "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.	

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
 - SEE ARCHITECTURAL PLANS FOR PYLON SIGN DETAILS
 - REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
 - ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT AND COORDINATE WITH GRADING CONTRACTOR.
 - "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.

- KEY NOTES**
- B-612 CONCRETE CURB AND GUTTER - SEE DETAIL 04 ON SHEET C6.01
 - STANDARD CONCRETE SIDEWALK - SEE DETAIL 07 ON SHEET C6.01
 - LIGHT STANDARD - FOR REFERENCE ONLY, LIGHTING IS DESIGN-BUILD BY CONTRACTOR
 - BITUMINOUS CURB - SEE DETAIL 08 ON SHEET C6.01
 - NOT USED
 - ACCESSIBLE RAMP - SEE DETAIL 09 ON SHEET C6.01
 - MEET & MATCH EXISTING



Client
DORAN 610 APARTMENTS, LLC.

7803 GLENROY ROAD
SUITE 200
BLOOMINGTON, MN 55439

Project
610 WEST PARKING LOT EXPANSION

Location
BROOKLYN PARK MINNESOTA

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the State of Minnesota.

Eric Miller
Registration No. 41636 Date: _____
If applicable, I am available upon request at Sambatek's, Minnesota office.

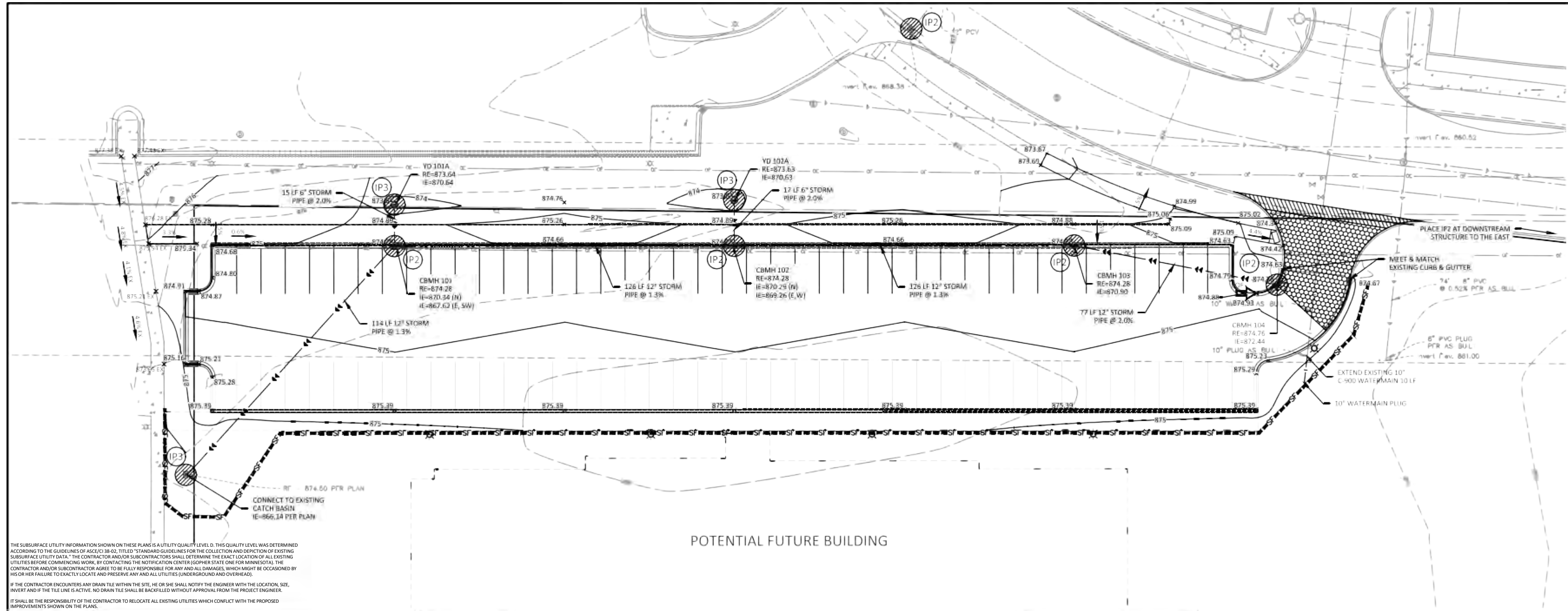
Summary
Designed: MLL Drawn: KIL
Approved: EVM Book / Page:
Phase: PRELIMINARY Initial Issue:

Revision History

No.	Date	By	Submittal / Revision
10/15/2019	KIL	Site Plan Review	

Sheet Title
GRADING, UTILITY, & EROSION CONTROL PLAN
Sheet No. Revision
C4.01

Project No. 21901



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE (1) 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DIRECTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA), THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MAY BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND

	PROPOSED	EXISTING
PROPERTY LIMIT	---	---
CURB & GUTTER	---	---
STORM SEWER	①	②
SANITARY SEWER	③	④
WATERMAIN	---	---
EASEMENT	---	---
ELECTRIC	---	---
RETAINING WALL	---	---
WETLAND LIMITS	---	---
TREELINE	---	---
SPOT ELEVATION	902.5	902.5
CONTOUR	902	902
RIP RAP	EOF	902.5
OVERFLOW ELEV.	902.5	
SOIL BORINGS		ST 5
SILT FENCE	SF	
INLET PROTECTION DEVICE	IP2, IP3	
TEMPORARY STONE CONSTRUCTION ENTRANCE		

GRADING NOTES

- PROPOSED CONTOURS ARE TO FINISH SURFACE ELEVATION. SPOT ELEVATIONS ALONG PROPOSED CURB DENOTE GUTTER GRADE.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB.
 - ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE IN 2.08% (1:48). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
 - CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
 - SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
 - CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
- A GEOTECHNICAL ENGINEERING SOILS REPORT HAS BEEN COMPLETED BY:
COMPANY: BRAUN INTERTEC
ADDRESS: 11001 HAMPSHIRE AVE SOUTH
PHONE: 952-995-2000
DATED: FEBRUARY 3RD, 2015
- CONTRACTOR SHALL OBTAIN A COPY OF THE SOILS REPORT.
 - CONTRACTOR SHALL COMPLETE DEWATERING AS REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION.
 - PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL SHALL BE PERFORMED ON THE STREET AND PARKING AREA SUBGRADE. CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
 - REPLACE ALL SUBGRADE SOIL DISTURBED DURING THE CONSTRUCTION THAT HAVE BECOME UNSUITABLE AND WILL NOT PASS A TEST ROLL. REMOVE UNSUITABLE SOIL FROM THE SITE AND IMPORT SUITABLE SOIL AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
 - EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.

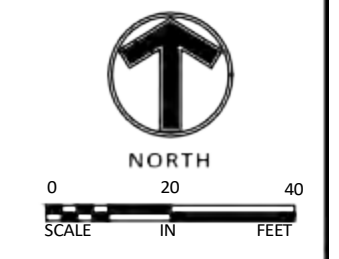
UTILITY CONSTRUCTION NOTES

- THE UTILITY IMPROVEMENTS FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD UTILITIES SPECIFICATIONS" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), EXCEPT AS MODIFIED HEREIN. CONTRACTOR SHALL OBTAIN A COPY OF THESE SPECIFICATIONS.
 - ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY REQUIREMENTS.
 - CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP WATERMAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE THE LIABILITY OF CONTRACTOR.
 - A MINIMUM VERTICAL SEPARATION OF 18 INCHES AND HORIZONTAL SEPARATION OF 10-FEET BETWEEN OUTSIDE PIPE DIAMETERS IS REQUIRED AT ALL WATERMAIN AND SEWER MAIN (BUILDING, STORM AND SANITARY) CROSSINGS.
- ALL MATERIALS SHALL BE AS SPECIFIED IN CEAM SPECIFICATIONS EXCEPT AS MODIFIED HEREIN.
 - ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
 - ALL SANITARY SEWER TO BE PVC SDR-35, UNLESS NOTED OTHERWISE.
 - ALL SANITARY SEWER SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
 - ALL WATERMAIN TO BE DUCTILE IRON - CLASS 52, UNLESS NOTED OTHERWISE.
 - ALL WATERMAIN TO HAVE 7.5-FEET OF COVER OVER TOP OF WATERMAIN.
 - PROVIDE THRUST BLOCKING AND MECHANICAL JOINT RESTRAINTS ON ALL WATERMAIN JOINTS PER CITY STANDARDS.
 - ALL STORM SEWER PIPE TO BE SMOOTH INTERIOR DUAL WALL HDPE PIPE WITH WATER TIGHT GASKETS, UNLESS NOTED OTHERWISE.
 - ALL STORM SEWER PIPE FOR ROOF DRAIN SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
 - RIP RAP SHALL BE Mn/DOT CLASS 3.
- COORDINATE ALL BUILDING SERVICE CONNECTION LOCATIONS AND INVERT ELEVATIONS WITH MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL BUILDING SERVICE CONNECTIONS (STORM, SANITARY, WATER) WITH FIVE FEET OR LESS COVER ARE TO BE INSULATED FROM BUILDING TO POINT WHERE 5-FEET OF COVER IS ACHIEVED.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS

STORM SEWER STRUCTURE SCHEDULE

NUMBER	TYPE	CASTING*
CBMH 101	GRATE	R-3067
YD 101A	GRATE	**YARD DRAIN
CBMH 102	GRATE	R-3067
CBMH 103	GRATE	R-3067
CBMH 104	GRATE	R-3067

*INDICATES NEENAH FOUNDRY CASTING NO., OR APPROVED EQUAL
**YARD BASIN STRUCTURE SHALL BE "NYOPLAST" OR APPROVED EQUAL AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
NOTE: CONTRACTOR AND THEIR SUPPLIER SHALL DETERMINE THE MINIMUM DIAMETER REQUIRED FOR EACH STORM SEWER STRUCTURE.





MEMORANDUM

Date: November 1, 2019

To: Mayor and City Council

CC: Jay Stroebel, City Manager
Kimberly Berggren, Director of Community Development

From: Cindy Sherman, Planning Director

Subject: Parking expansion at 610 West

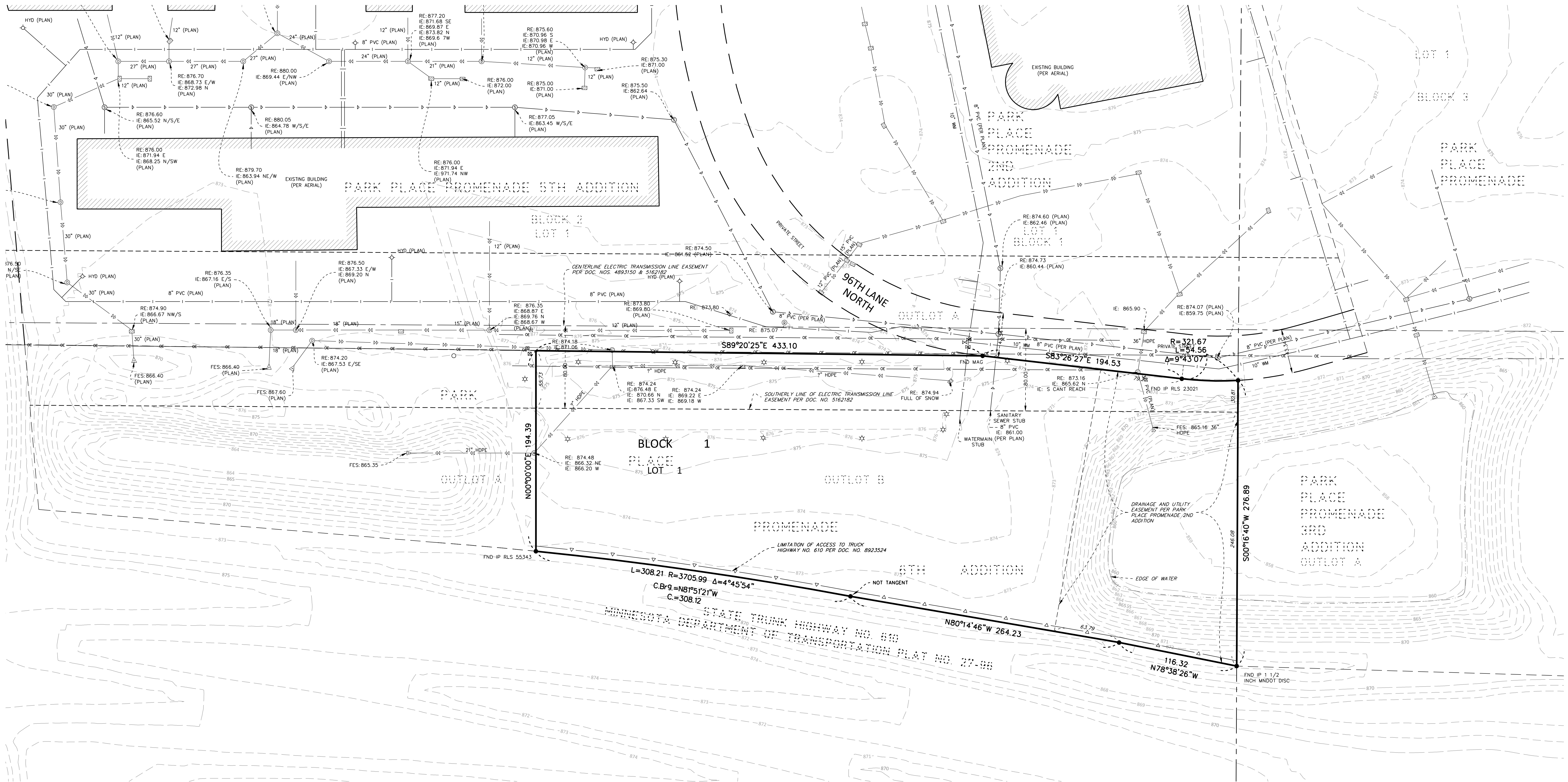
The 610 West development has underground and surface parking that typically provides sufficient parking for residents. Doran Companies has identified a need for additional parking when residents host events in the clubhouse. To address this over-flow, need Doran Cos. has submitted a plan to construct a parking lot to provide additional surface parking for 610 West. The parking would be constructed to be complementary to a future use on the vacant lot that is located south of the existing parking lot and adjacent to the dog park and play area. The lot will include pedestrian connections both along 96th Lane and internal to the site. When a future user is identified on the property, the site will go through the typical planning and council review for construction of the building.

For construction of the new, 85 stall parking lot staff will be completing an administrative review of the parking lot plan and will be allowing the construction in the spring. This review is based on the ability to expand a site by 10% with an administrative review. The expansion impact is less than one acre, and the 610 West site is just over 10 acres in size.

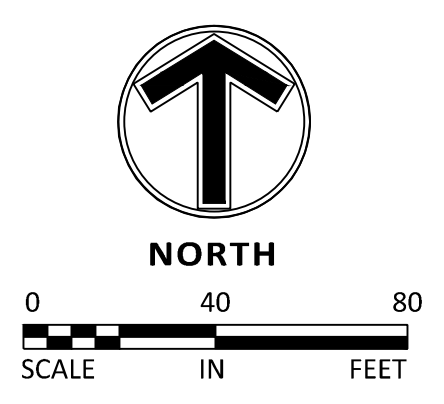
If the council would prefer that we process the parking lot expansion with planning commission and council review, please let me know by November 12.

Please let me know if you have any questions or would like to discuss the request in more detail.

PRELIMINARY PLAT: PARK PLACE PROMENADE 9TH ADDITION



LEGEND	
● FOUND MONUMENT	— — WATERMAIN
○ SET MONUMENT MARKED	— — SANITARY SEWER
⊕ ELECTRIC METER	⊕ FORCEMAIN (SAN.)
☆ LIGHT	⊕ STORM SEWER
⊠ AIR CONDITIONER	⊠ FLARED END SECTION
⊙ GUY ANCHOR	⊙ ELECTRIC TRANSFORMER
⊙ HANDICAP STALL	⊙ TELEPHONE PEDESTAL
⊙ UTILITY POLE	⊙ GAS METER
⊙ POST	— — OVERHEAD WIRE
⊙ SIGN	— — CHAIN LINK FENCE
⊙ DECIDUOUS TREE	— — IRON FENCE
⊙ CONIFEROUS TREE	— — WIRE FENCE
	— — WOOD FENCE
	--- EASEMENT LINE
	--- SETBACK LINE
	--- RESTRICTED ACCESS
	--- CONCRETE CURB
	--- BUILDING LINE
	--- BUILDING CANOPY
	--- BITUMINOUS SURFACE
	--- CONCRETE SURFACE
	--- LANDSCAPE SURFACE



DESCRIPTION

OUTLOT B, PARK PLACE PROMENADE 6TH ADDITION, HENNEPIN COUNTY, MINNESOTA.

PROPERTY SUMMARY

TOTAL SITE AREA: 161,126 S.F. (GROSS)
 ADDITIONAL OUTLOT A: 86,275 S.F.
 LESS RIGHT-OF-WAY: 0 S.F.
 247,401 S.F. (NET)

LOT SUMMARY

NUMBER OF LOTS: 1
 AVERAGE LOT SIZE: 161,126 S.F.
 MINIMUM LOT SIZE: 161,126 S.F.
 MAXIMUM LOT SIZE: 161,126 S.F.

ZONING

CURRENTLY ZONED: TOWN CENTER ZONING DISTRICT (TCZD)
 THE SURROUNDING PROPERTIES ARE ZONED TCZD PER CITY OF BROOKLYN PARK ZONING GIS MAP.

24.LS (LMS) TECH. | JOSEPH BAILEY | 6/7/2023 2:01:37 PM | PROJECTS2020130001\BROOKLYN PARK\9TH ADDITION\PLANS\DWG\PPAT

NO	DATE	BY	CKD	APPR	COMMENT
	05/05/2023	EAB	JRM	JDB	ENTITLEMENT PACKAGE
	06/02/2023	TLL	TLL	JDB	AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

I hereby certify that this plan, survey, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
 Print Name: _____
 License #: 43933

PRELIMINARY	05/05/2023	DRAWN BY	DT
DESIGN REVIEW		DESIGNED BY	
PERMIT SUBMITTAL		CHECKED BY	MRS
CONSTRUCTION DOCUMENTS		PROJECT NO.	52001

PRELIMINARY PLAT: PARK PLACE PROMENADE 9TH ADDITION
 THE DORAN GROUP
 610 WEST BUILDING 5
 PRELIMINARY SITE DEVELOPMENT PLANS
 BROOKLYN PARK, MN

SHEET
C2.02
 # ##
 #

Evan Doran
President
7803 Glenroy Road, Suite 100
Bloomington, MN 55439

May 4, 2023

VIA EMAIL

Amber Turnquest
Principal Planner, City of Brooklyn Park
City Hall
5200 85th Ave. N.
Brooklyn Park, MN 55443

Re: Proposed 610 West Additional Building

Dear Amber,

The Doran Group (“Doran”) submits this letter of intent and moratorium waiver related to our proposed project at 6501 96th Lane North, Brooklyn Park, MN. Along with our in house architectural and construction teams, our civil engineer Sambatek and structural engineer BKBM Inc, we are excited to work with the City of Brooklyn Park (the “City”) to make this project a reality.

The Project

The planned project will be a welcome addition to our existing 610 West residential apartment community which currently includes 480-rental apartment homes spread across multiple buildings with best-in-class amenities. Located on the current Outlot B of Park Place Promenade 6th Addition, the new building will contain approximately 115 residential units across a mix of studio, alcove, one- and two-bedroom homes (the “Project”).

The Project will also include 222 parking stalls in a mix of exterior-surface and interior-garage parking as well as an exterior amenity patio with grill station and firepit and a lobby, business center, and mail room in the interior amenity area. The provided parking for this Project, while slightly below the 2.0 stalls/unit outlined in the general zoning code, is well above the community standards and requirements at 610 West currently. The current 610 West community has a total of 481 rentable, interior garage stalls and approximately 340 surface parking stalls, for a total of 821 stalls, which equates to a roughly 1.71 stalls/unit ratio. This does not include the added parking on Outlot B. Upon completion of the Project, an added 56 interior and 166 surface stalls will be added to the community, providing a total of 1,043 stalls or 1.75 stalls/unit. This compares favorably to other similar projects in our portfolio, including the Reserve at Arbor Lakes in Maple Grove (at approx. 1.64 stalls/unit) and Triple Crown Residences in Shakopee (at approx. 1.55 stalls/unit). While under the 2.0 stalls/unit in the zoning guidance, the Project will be a net add to overall parking availability in the community and due to the focus on smaller units, should not, on its own, demand as much parking as the community at large.

The proposed unit mix is intended to achieve two complimentary goals: 1) to provide 15% of units at 60% Area Medium Income as identified in the City of Brooklyn Park's Mixed Income Housing Policy ("MIHP") and 2) to increase the available spectrum of home sizes, and therefore rents, within the greater 610 West community. We are doing this by adding studio units of different sizes, additional alcove units of additional sizes, and some smaller one- and two-bedroom unit plans. Currently, for example, 610 West does not have *any* studio floor plans so adding these additional unit types will expand the rental pricing range across the entire community and provide more opportunities for new and existing Brooklyn Park residents to call 610 West home.

As you may know, hundreds of City residents already call 610 West home because of its impressive array of amenities, well maintained buildings and grounds, and high caliber staff. Our intent with this Project is to weave it into the existing 610 West fabric by allowing—and indeed promoting—use of the existing amenity clubhouse and immediately adjacent tot lot playground and dog run amenities. We believe this will continue to set 610 West as a strong community anchor.

The Plan

From a planning standpoint, we intend to accomplish this in a couple steps. First and foremost, the Project will go through the necessary planning approvals, including the CUP review process and preliminary and final plat to create a named lot (assumed to be part of the Park Place Promenade 9th Addition). Second, we will bring the newly platted lot into an existing access and drainage agreement that already exists and will then in turn provide a benefit for the Project lot by allowing access to the drainage (associated document available upon request). Third, we will also bring the Project lot into an existing Declaration of Easements, Covenants and Restrictions which will provide for its use of the neighboring amenities (associated document available upon request). Finally, we will ensure adequate legal access via 96th Lane upon completion of our document review.

With the legal structure in place, we believe this should allow the City to grant the proposed density by using Outlot A (aka the westerly drainage pond)'s 1.98 acres in combination with Proposed project's 3.7 acres. This combined roughly 5.7 acres in total would yield a maximum of 142 units given the existing density cap of 25 units/acre whereas the actual Project is proposing 115 total units.

The Process

It is our understanding that on or around March 27, 2023 the City approved a temporary building moratorium that will allow time for the City and staff to consult and study the highest-and-best uses for undeveloped parcels with the explicit goal of achieving a more secure tax base. While we applaud the foresight of the City to engage in this kind of study, we are requesting a waiver of this moratorium under Section 5 of the applicable ordinance for the Project based on three key criteria:

1. The proposed Project is a natural extension of an existing community that in fact has many legal structures and ties already in place including existing drainage easements with neighboring parcels and existing use adjacencies (parking) for neighboring parcels;
2. The Project is an economic extension of the existing 610 West community that the City has already identified as an exemplar highest-and-best use from a tax generation standpoint and should continue to add tax revenue, along with additional housing options, for City residents and;
3. There is extremely limited alternative use potential for the site given existing adjacent uses, utility and drainage connections, and easements and restrictions in place.



As I hope is clear in this letter, we strongly believe in the potential of this Project and of the increased revenue potential of adding this building to the 610 West community at large. Put simply, we'd love to see the additional spectrum of housing—both market rate and affordable—that this project can bear. We ask that the City consider the Project from a planning perspective and also consider our waiver request so we can proceed despite the moratorium in place.

Thank you for your consideration.

Very sincerely,

Evan Doran

Cc: Kelly Doran, The Doran Group
Sarah Gilbert, The Doran Group
Alexa Deppeler, The Doran Group
Erik Miller, Sambatek

610 WEST BUILDING 5

6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445

ISSUE SET: MAY 05, 2023



PROJECT TEAM			
OWNER/DEVELOPER: THE DORAN GROUP 6423 CITY WEST PARKWAY EDEN PRAIRIE, MN 55344 (952) 641-9400 EVAN DORAN EVAN.DORAN@DORANGRP.COM	CONTRACTOR: DORAN BUILDERS GROUP 6423 CITY WEST PARKWAY EDEN PRAIRIE, MN 55344 (952) 641-9400	ARCHITECT: DORAN DESIGN GROUP 6423 CITY WEST PARKWAY EDEN PRAIRIE, MN 55344 (952) 641-9400 ALEXA DEPPELER ALEXA.DEPPELER@DORANGRP.COM	INTERIOR DESIGN: TBD
CIVIL ENGINEER: SAMBATEK 12800 WHITEWATER DR. SUITE 300 MINNETONKA, MN 55343 (763) 478-0010 ERIK MILLER, PE EMILLER@SAMBATEK.COM	LANDSCAPE: SAMBATEK 12800 WHITEWATER DR. SUITE 300 MINNETONKA, MN 55343 (763) 478-0010 JOHNNIE WORKMAN JWORKMAN@SAMBATEK.COM	STRUCTURAL ENGINEER: TBD	MECHANICAL ENGINEER: TBD

SHEET INDEX	
SHEET NUMBER	SHEET NAME
01-GENERAL	
G001	COVER SHEET
02-CIVIL	
C2.01	EXISTING CONDITIONS PLAN
C2.02	PRELIMINARY PLAN
C2.03	DEMOLITION PLAN
C3.01	SITE CONTEXT PLAN
C3.02	SITE PLAN
C3.03	FIRE TRUCK TURNING MOVEMENT PLAN
C4.01	GRADING PLAN
C4.02	GRADING PLAN NOTES
C5.01	PHASE I - EROSION CONTROL PLAN
C5.02	PHASE II - EROSION CONTROL PLAN
C5.03	EROSION CONTROL NOTES AND DETAILS
C6.01	UTILITY PLAN
C9.01	DETAILS
C9.02	DETAILS
03-LANDSCAPE	
L1.01	LANDSCAPE PLAN - TREES AND GROUND COVER
L1.02	LANDSCAPE PLAN - SHRUB PLAN
L1.03	LANDSCAPE DETAILS AND NOTES
04b - ARCHITECTURE	
A100	P1 FLOOR PLAN
A101	L1 FLOOR PLAN
A102	L2 FLOOR PLAN
A103	L3 FLOOR PLAN
A400	BUILDING ELEVATIONS
A500	SITE LINE DIAGRAMS

Code Summary	
This is a summary of applicable codes relative to a six story apartment structure. This summary is intended to illustrate highlights of requirements to be met and is not intended to illustrate all requirements to be met.	
Applicable Codes and Regulations:	
Building:	2020 MN State Building Code 2018 International Building Code
Structural:	2020 MN State Building Code 2018 International Building Code
Plumbing:	2015 MN State Building Code (Chapter 4714 - MN Plumbing Code)
Mechanical:	2020 MN State Building Code (Chapter 1346 - MN Mechanical Code Fuel Gas Code) 2018 International Mechanical Code (Chapters 2 to 15)
Electrical:	2020 MN State Building Code (Chapter 131 - MN Electrical Code) 2020 National Electrical Code
Fire/Life Safety:	2020 MN State Fire Code 2018 International Fire Code
Energy:	2020 MN State Building Code - MN Energy Code w/ ANSI or ICC Standard
Accessibility:	2020 MN State Building Code (Chapter 1341 MN Accessibility Code) 2018 International Building Code 2009 ICC ANSI 117.1 Accessible and Usable Buildings and Facilities
Elevators:	2020 MN State Building Code (Chapter 1307 Elevators and Related Devices) 2018 International Building Code (Chapter 30)

Brooklyn Park City Code 152.294 (F):	
1. We have incorporated high quality architecture to the design of this building that matches the other apartment buildings for 610 W.	3f. This building's height is compatible in scale with the surrounding buildings, include other 610 W apartment buildings.
2. See sheet A400 for exterior building materials and The Doran Group's Affordable Housing Plan for images of units.	4. 58 parking stalls are provided under the building. This is 25% of the required parking spaces. We believe this number will be adequate for the tenants of this project. See Project Proposed Land Use on Sheet G001.
3a. All exterior materials have been previously approved by the City of Brooklyn Park in previous 610 W apartment buildings. This building consists of 48% exterior brick. The existing 610 W buildings are 52% exterior brick.	
b. See Sheet A400 for all exterior building materials, including accent materials. 52% of the building exterior is considered 'accent materials'. All facades consist of accent & design materials. The existing 610 W buildings are 48% 'accent materials'.	
c. All building and roofing materials will meet industry standards and tolerances. All exterior and roofing materials have been previously used on 610 W projects. See sheet A400 for Building Elevations.	
d. See sheet A400.	
e. Our typical facade design includes exterior articulation of our mechanical paks for individual units. We believe this creates human-scale proportions.	

610 W CAMPUS AMENITIES	
LOCATED IN 610 W CLUBHOUSE	LOCATED IN 610 W CLUBHOUSE
<ul style="list-style-type: none"> 3 Swimming pools Sauna Spa 2 expansive courtyards with grilling stations Biocle ball courts Putting greens Fitness center with yoga, cycling, & weights Tot-hol playground Luxury guest suites for overnight stay Pet spa Private pet park Entertainment suites Game room Golf/Sports Simulator Media Room 	<ul style="list-style-type: none"> Business center / meeting room Community room with co-working spaces Card Room Coffee Bar 24-hour package concierge technology
	LOCATED IN 610 W BUILDING 5
	<ul style="list-style-type: none"> Business Center Outdoor patio with grilling station Underground, heated parking

UNIT COUNT							
LEVEL	STUDIO	ALCOVE	1 BEDROOM	2 BEDROOM	UNIT COUNT	BED COUNT	~AFFORDABLE UNITS
LEVEL 1	6	6	11	5	28	33	5
LEVEL 2	7	6	11	5	29	34	5
LEVEL 3	7	6	11	5	29	34	4
LEVEL 4	7	6	11	5	29	34	4
TOTAL	27 (24%)	24 (21%)	44 (38%)	20 (17%)	115	135	18 (15%)

*MIXED INCOME HOUSING, OPTION 3: 15% OF TOTAL PROJECT UNITS AT 60% AREA MEDIAN INCOME.

BUILDING INFORMATION	
CONSTRUCTION TYPE:	BUILDING HEIGHT:
TYPE V-A OVER I-A (WITH AUTOMATIC SPRINKLER SYSTEM)	42'-0" (NIC PARAPETS AND ELEVATOR OVERRUN)
PROJECT PROPOSED LAND USE	
SITE INFORMATION:	PROPOSED BUILDING INFORMATION
CURRENT ZONE: TOWN CENTER	PARKING COUNTS REQUIRED
LAND USE: MEDIUM/HIGH DENSITY	2 SPACES PER UNIT PLUS 1/2 SPACE PER UNIT FOR GUESTS = 288 PARKING SPACES
OUTLOT B PARCEL AREA: 3.70 ACRES	PROPOSED LEVEL P1: 58 STALLS
OUTLOT A PARCEL AREA: 1.98 ACRES	ON GRADE: 164
TOTAL: 5.68 ACRES	TOTAL: 222 (1.9 SPACES / UNIT)
SETBACKS: NONE REQUIRED	IN THE DORAN GROUP'S EXPERIENCE, A PARKING COUNT OF 1.5-1.6 STALLS PER UNIT WILL PROVIDE SUFFICIENT PARKING FOR A MULTIFAMILY HOUSING DEVELOPMENT SUCH AS THIS.

GROSS FLOOR AREA					
LEVEL	PARKING	COMMONS	MECHANICAL	UNITS	TOTAL AREA
LEVEL P1	21,829	929	1,025	0	23,783
LEVEL 1	0	3,643	238	20,362	24,243
LEVEL 2	0	2,779	505	20,959	24,243
LEVEL 3	0	2,779	505	20,959	24,243
LEVEL 4	0	2,779	505	20,959	24,243
TOTAL	21,829	12,909	2,778	83,239	120,755

TOTAL GROSS FLOOR AREA = 120,755 SF
TOTAL GROSS FLOOR AREA (NIC LEVEL P1 PARKING) = 96,972 SF

ISSUE RECORD		
No.	Description	Date
1	Entitlement Package	05/05/2023

NOT FOR CONSTRUCTION

NOT FOR PRICING

This progress set is a draft and is provided for the Owner's information only. Further refinement is required prior to completing the Design Development Package.

PROJECT
610W BLDG 5

LOCATION
6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445

PROJECT NUMBER
XX-XXXX
DATE
05/05/2023
PROJECT MANAGER

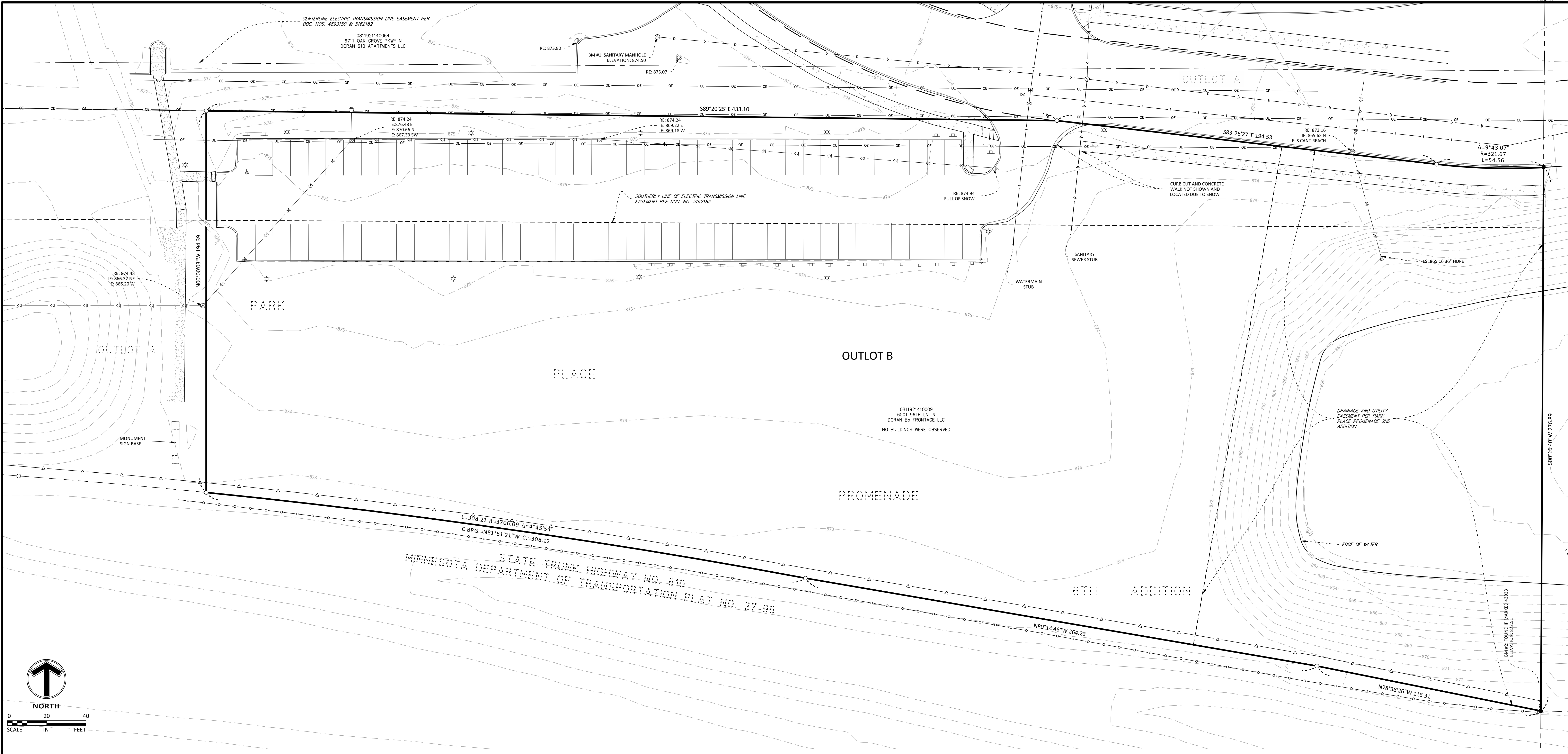
DRAWN BY

CHECKED BY

PREPARED FOR
DORAN PROPERTIES GROUP

SHEET TITLE
COVER SHEET

SHEET NUMBER
G001



LEGEND	
● FOUND MONUMENT	— — — WATERMAIN
○ SET MONUMENT MARKED 43933	— — — SANITARY SEWER
⊗ ELECTRIC METER	— — — FORCEMAIN (SAN.)
☆ LIGHT	— — — STORM SEWER
⊠ AIR CONDITIONER	— — — FLARED END SECTION
— — — GUY ANCHOR	— — — ELECTRIC TRANSFORMER
— — — HANDICAP STALL	— — — TELEPHONE PEDESTAL
— — — UTILITY POLE	— — — GAS METER
— — — POST	— — — OVERHEAD WIRE
— — — SIGN	— — — CHAIN LINK FENCE
— — — DECIDUOUS TREE	— — — IRON FENCE
— — — CONIFEROUS TREE	— — — WIRE FENCE
	— — — WOOD FENCE
	— — — EASEMENT LINE
	— — — SETBACK LINE
	— — — RESTRICTED ACCESS
	— — — CONCRETE CURB
	— — — BUILDING LINE
	— — — BUILDING CANOPY
	— — — BITUMINOUS SURFACE
	— — — CONCRETE SURFACE
	— — — LANDSCAPE SURFACE

PROPERTY SUMMARY	
1.	SUBJECT PROPERTIES ADDRESS IS 6725 OAK GROVE PKWY N AND 6501 96TH LN N, ITS PROPERTY IDENTIFICATION NUMBERS ARE 0811921410008 AND 0811921410009.
2.	THE GROSS AREA OF THE SUBJECT PROPERTY IS 3.699 ACRES OR 161,126 SQUARE FEET.
3.	THE SUBJECT PROPERTY IS ZONED TC (TOWN CENTER), PER CITY OF BROOKLYN PARK GIS ZONING APPLICATION.
4.	THERE WERE NO BUILDING OBSERVED ON THE SURVEYED PROPERTY.
BENCHMARKS	
1.	THE VERTICAL DATUM IS BASED ON NAVD88.
BENCHMARK #1	SANITARY MANHOLE ELEV.=874.50
BENCHMARK #2	FOUND IRON PIPE MARKED 43933 ELEV.=872.51

SURVEY NOTES	
1.	THE BEARING SYSTEM IS BASED ON THE HENNEPIN COUNTY COORDINATE SYSTEM.
2.	FIELD WORK WAS COMPLETED ON 04/22/2023.

DESCRIPTION
OUTLOT B, PARK PLACE PROMENADE 6TH ADDITION, Hennepin County, Minnesota.

24.LS LMS TECH | JOSEPH BAILEY | 4/28/2023 10:41:03 AM
PROJECT: 52001 | CAD: JTB | SHEET: 52001-C2.01-EXISTING CONDITIONS

NO	DATE	BY	CKD	APPR	COMMENT
	05/05/2023	EAB	JRM	JDB	ENTITLEMENT PACKAGE
	06/02/2023	TLL	TLL	JDB	AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

I hereby certify that this plan, survey, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Print Name: MARK R. SALO
Date: License # 43933

DATE ISSUED

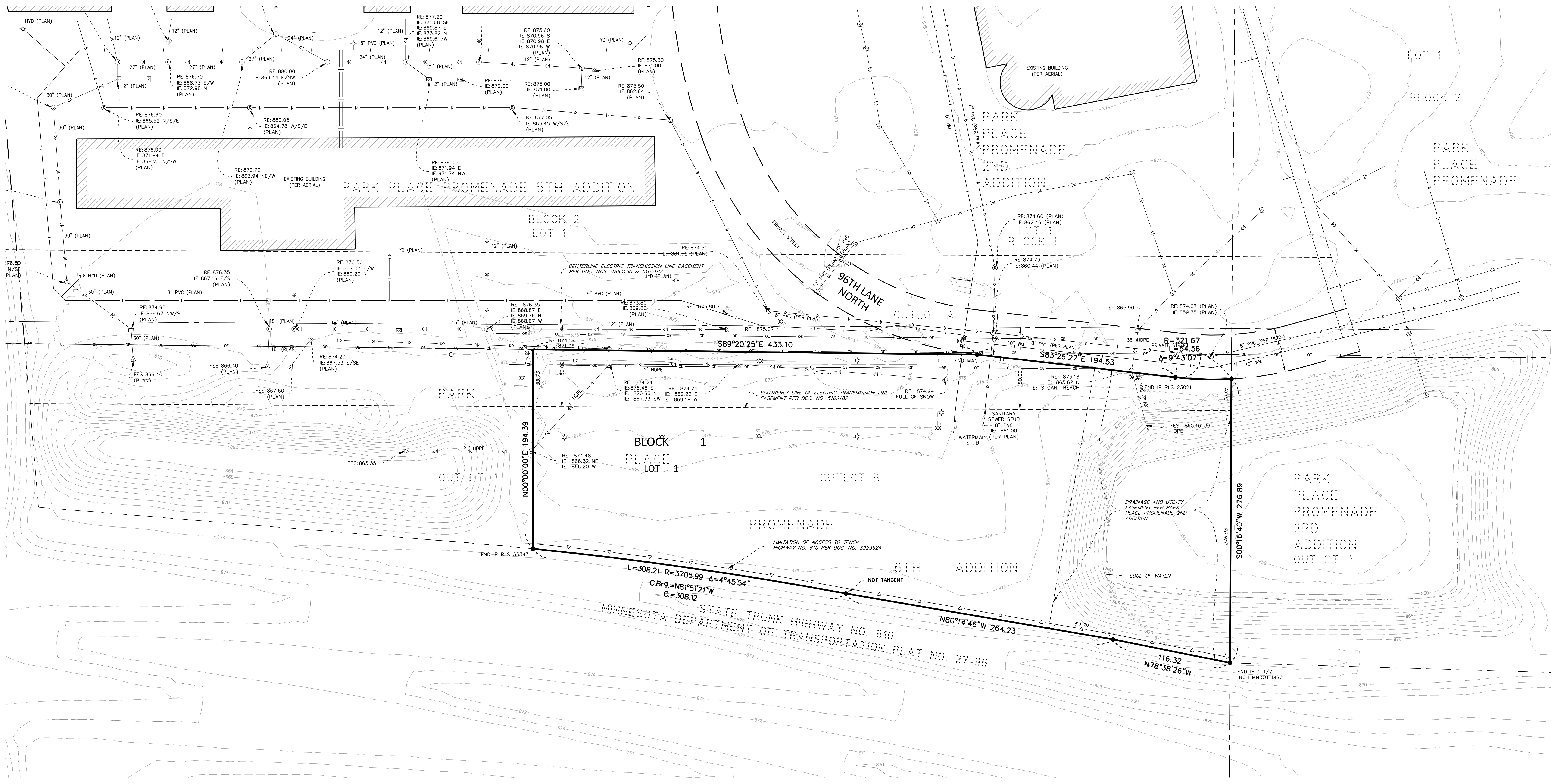
DRAWN BY
DT
DESIGNED BY
CHECKED BY
MRS
PROJECT NO.
52001



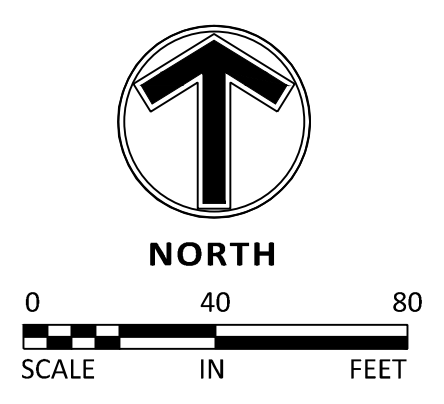
EXISTING CONDITIONS PLAN
THE DORAN GROUP
610 WEST BUILDING 5
PRELIMINARY SITE DEVELOPMENT PLANS
BROOKLYN PARK, MN

SHEET
C2.01

PRELIMINARY PLAT: PARK PLACE PROMENADE 9TH ADDITION



LEGEND	
● FOUND MONUMENT	— — WATERMAIN
○ SET MONUMENT MARKED	— — SANITARY SEWER
⊗ ELECTRIC METER	⊗ FORCEMAIN (SAN.)
☆ LIGHT	⊗ STORM SEWER
⊠ AIR CONDITIONER	⊠ FLARED END SECTION
⊡ GUY ANCHOR	⊡ ELECTRIC TRANSFORMER
⊢ HANDICAP STALL	⊢ TELEPHONE PEDESTAL
⊣ UTILITY POLE	⊣ GAS METER
⊤ POST	— — OVERHEAD WIRE
⊥ SIGN	— — CHAIN LINK FENCE
⊦ DECIDUOUS TREE	— — IRON FENCE
⊧ CONIFEROUS TREE	— — WIRE FENCE
	— — WOOD FENCE
	--- EASEMENT LINE
	--- SETBACK LINE
	--- RESTRICTED ACCESS
	--- CONCRETE CURB
	--- BUILDING LINE
	--- BUILDING CANOPY
	--- BITUMINOUS SURFACE
	--- CONCRETE SURFACE
	--- LANDSCAPE SURFACE



DESCRIPTION

OUTLOT B, PARK PLACE PROMENADE 6TH ADDITION, HENNEPIN COUNTY, MINNESOTA.

PROPERTY SUMMARY

TOTAL SITE AREA: 161,126 S.F. (GROSS)
 ADDITIONAL OUTLOT A: 86,275 S.F.
 LESS RIGHT-OF-WAY: 0 S.F.
 247,401 S.F. (NET)

LOT SUMMARY

NUMBER OF LOTS: 1
 AVERAGE LOT SIZE: 161,126 S.F.
 MINIMUM LOT SIZE: 161,126 S.F.
 MAXIMUM LOT SIZE: 161,126 S.F.

ZONING

CURRENTLY ZONED: TOWN CENTER ZONING DISTRICT (TCZD)
 THE SURROUNDING PROPERTIES ARE ZONED TCZD PER CITY OF BROOKLYN PARK ZONING GIS MAP.

24.15 (LMS) TECH. | JOSEPH BAILEY | 6/7/2023 2:01:37 PM | PROJECTS20201 | C:\WORK\2023\2023-06-07\PLANS\PRELIM\DWG\PLAT

NO	DATE	BY	CKD	APPR	COMMENT
	05/05/2023	EAB	JRM	JDB	ENTITLEMENT PACKAGE
	06/02/2023	TLL	TLL	JDB	AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

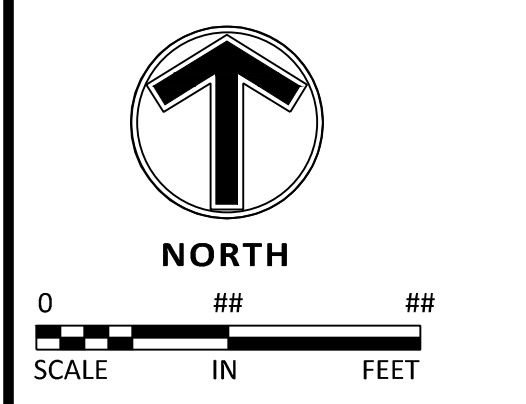
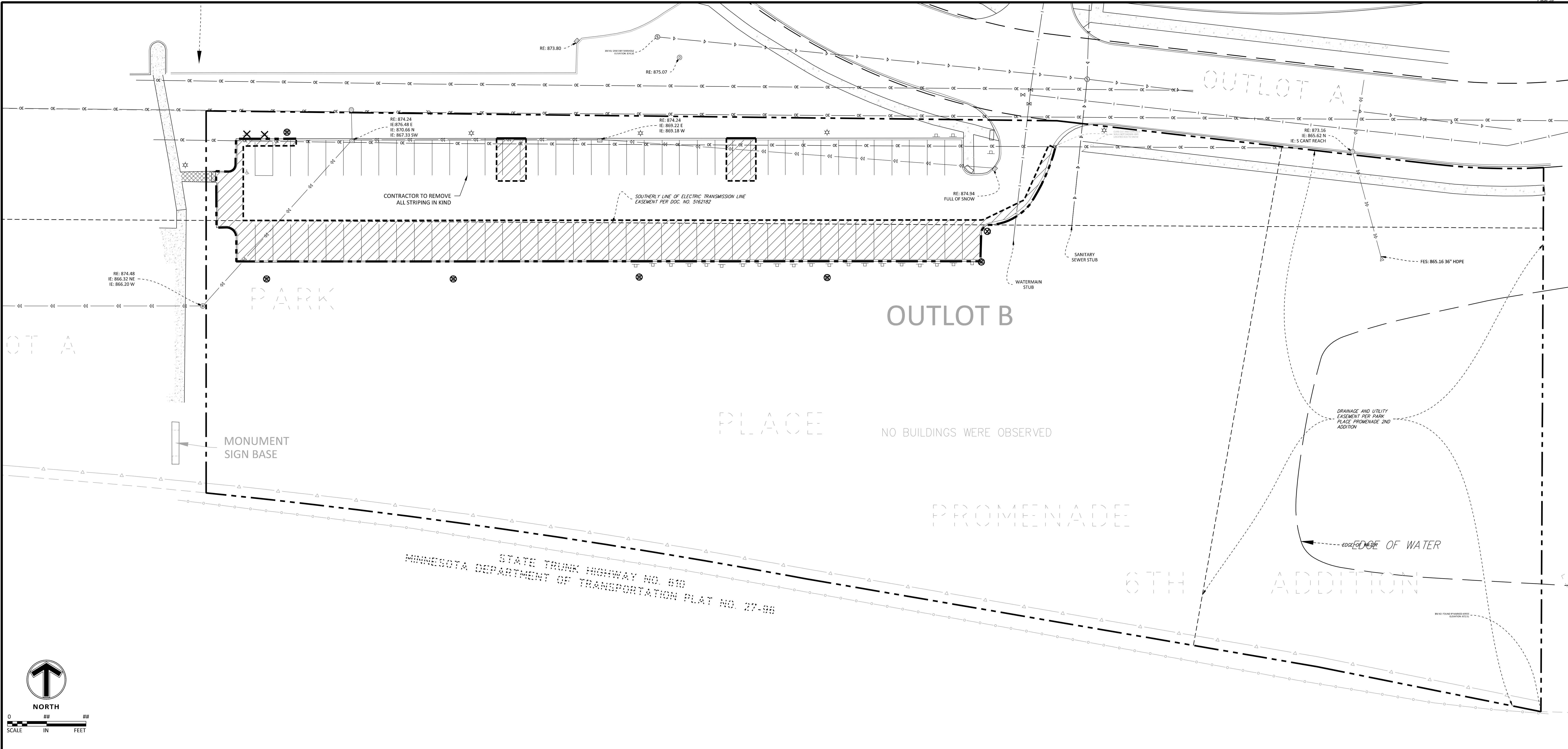
I hereby certify that this plan, survey, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
 Print Name: _____
 License #: 43933

PRELIMINARY	05/05/2023	DRAWN BY	DT
DESIGN REVIEW		DESIGNED BY	
PERMIT SUBMITTAL		CHECKED BY	MRS
CONSTRUCTION DOCUMENTS		PROJECT NO.	52001

Sambatek
 www.sambatek.com
 Engineering | Surveying | Planning | Environmental

PRELIMINARY PLAT: PARK PLACE PROMENADE 9TH ADDITION
 THE DORAN GROUP
 610 WEST BUILDING 5
 PRELIMINARY SITE DEVELOPMENT PLANS
 BROOKLYN PARK, MN

SHEET
C2.02
 # ##
 #



LEGEND	
	GAS METER
	HYDRANT
	LIGHT
	STORM SEWER
	DRAIN TILE
	WATERMAIN
	FORCE MAIN (SAN.)
	SANITARY SEWER
	OVERHEAD WIRE
	TELEPHONE PEDESTAL
	UNDERGROUND CABLE TV
	ELECTRIC TRANSFORMER
	GAS METER
	WIRE FENCE
	IRON FENCE
	WOOD FENCE
	CHAIN LINK FENCE
	BLOCK RETAINING WALL
	SPRINKLER HEAD
	SPRINKLER VALVE
	GUIDE RAIL
	HANDRAIL
	TREE LINE
	TREES / SHRUBS
	CONCRETE
	BOLLARD
	SIGN
	CONCRETE CURB
	BUILDING LINE
	REMOVE UTILITY LINE
	REMOVE CONCRETE CURB
	SAW CUT LINE
	REMOVE BITUMINOUS PAVEMENT
	REMOVE CONCRETE PAVEMENT
	REMOVE GRAVEL DRIVE
	REMOVE LANDSCAPING
	REMOVE BUILDING
	REMOVE TREE
	REMOVE EXISTING STRUCTURE
	REMOVE LIGHT
	REMOVE CHAIN LINK FENCE

DEMOLITION NOTES

- DEMOLITION NOTES ARE NOT COMPREHENSIVE. CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- THE DESIGN SHOWN IS BASED ON ENGINEER'S UNDERSTANDING OF EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON ALTA AND TOPOGRAPHIC MAPPING PREPARED BY SAMBATEK DATED 04/22/2023. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS WITHOUT EXCEPTION, CONTRACTOR SHALL HAVE MADE, AT OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES AND IN ACCORDANCE WITH APPLICABLE CODES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL REPORT AND/OR GEOTECHNICAL ENGINEER.
- CLEARING AND GRUBBING: CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM INFORMATION AVAILABLE. ENGINEER ASSUMES NO RESPONSIBILITY FOR THE UTILITY MAPPING ACCURACY. PRIOR TO START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. THE LOCATIONS OF UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING MINNESOTA Gopher State One Call AT 800-252-1166 OR 651-454-0002.
- THE MAPPING LOCATION OF ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH WORK. UTILITIES DETERMINED TO BE ABANDONED SHALL BE REMOVED IF UNDER THE BUILDING INCLUDING 30' BEYOND FOUNDATIONS.

- CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO REMOVAL AND/OR RELOCATION OF UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES' FORCES AND ANY FEES WHICH ARE TO BE PAID TO UTILITY COMPANIES FOR SERVICES. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- BEFORE DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED AND APPROVED BY THE LOCAL AUTHORITY.
- CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- CONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN. DAMAGE TO ANY EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- ABANDON OR REMOVE ALL SANITARY, WATER AND STORM SERVICES PER CITY STANDARDS. COORDINATE ALL WORK WITH CITY. ALL STREET RESTORATION SHALL BE COMPLETED IN COMPLIANCE WITH LOCAL STANDARDS.
- CONTRACTOR SHALL PREPARE AND SUBMIT TO THE GOVERNING AUTHORITY A TRAFFIC AND/OR PEDESTRIAN TRAFFIC PLAN PER CITY/COUNTY/STATE STANDARDS TO BE APPROVED BY THE LOCAL GOVERNING AUTHORITY.

NO	DATE	BY	CKD	APPR	COMMENT
05/05/2023	EAB	JRM	JDB		ENTITLEMENT PACKAGE
06/02/2023	TLL	TLL	JDB		AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: JOB WITZEL

Date: 05/05/2023 License # 58666

PRELIMINARY	DRAWN BY
05/05/2023	EAB
DESIGN REVIEW	DESIGNED BY
	JRM
PERMIT SUBMITTAL	CHECKED BY
	JDB
CONSTRUCTION DOCUMENTS	PROJECT NO.
	52001

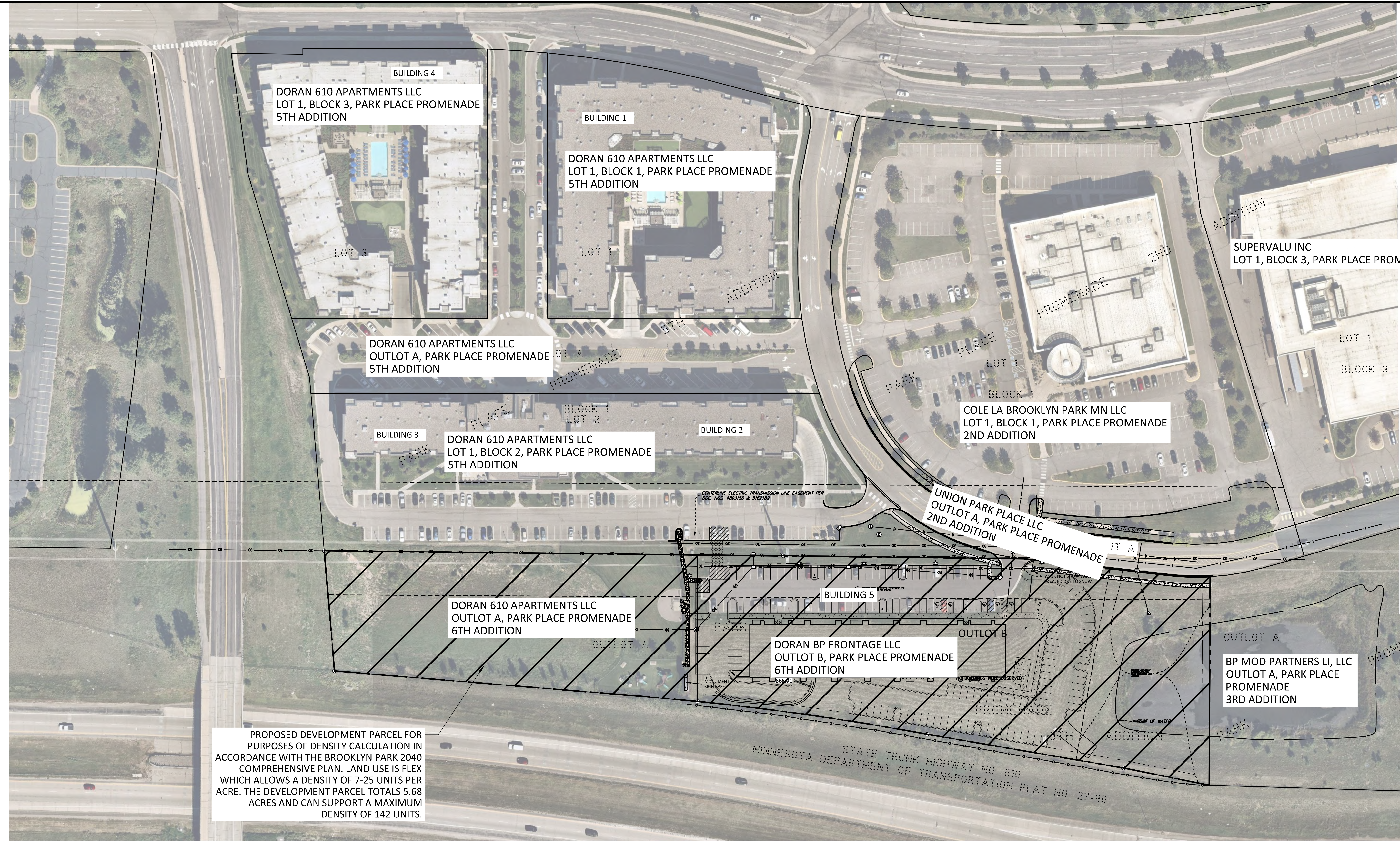


DEMOLITION PLAN

THE DORAN GROUP
610 WEST BUILDING 5
PRELIMINARY SITE DEVELOPMENT PLANS
BROOKLYN PARK, MN

SHEET
C2.03

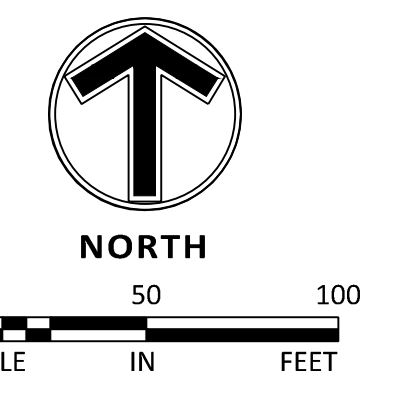
24.LS (LMS) TECH. | JOSEPH BAILEY | 4/28/2023 11:55:38 AM | PROJECTS\252001\CAD\DWG\252001-C2-02-DEM-DWG-C2.03.DWG | DEMOLITION PLAN | © 2021 Sambatek



PROPOSED DEVELOPMENT PARCEL FOR PURPOSES OF DENSITY CALCULATION IN ACCORDANCE WITH THE BROOKLYN PARK 2040 COMPREHENSIVE PLAN. LAND USE IS FLEX WHICH ALLOWS A DENSITY OF 7-25 UNITS PER ACRE. THE DEVELOPMENT PARCEL TOTALS 5.68 ACRES AND CAN SUPPORT A MAXIMUM DENSITY OF 142 UNITS.

DORAN 610 APARTMENTS EXISTING PARKING COUNT				
	BUILDING 1	BUILDING 2&3	BUILDING 4	TOTAL
Interior Stalls	198	98	185	481
Exterior Stalls	31	142	29	202
Total Stalls	229	240	214	683
Unit Count	177	102	201	480
Stall:Unit Ratio	1.3	2.4	1.1	1.4

DORAN 610 APARTMENTS PROPOSED PARKING COUNT					
	BUILDING 1	BUILDING 2&3	BUILDING 4	BUILDING 5	TOTAL
Interior Stalls	198	98	185	58	539
Exterior Stalls	31	142	29	164	366
Total Stalls	229	240	214	222	905
Unit Count	177	102	201	115	595
Stall:Unit Ratio	1.3	2.4	1.1	1.9	1.5



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NO	DATE	BY	CKD	APPR	COMMENT
	05/05/2023	EAB	JRM	JDB	ENTITLEMENT PACKAGE
	06/02/2023	TLL	TLL	JDB	AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Print Name: JDB MITZEL
 Date: 05/05/2023 License #: 58666

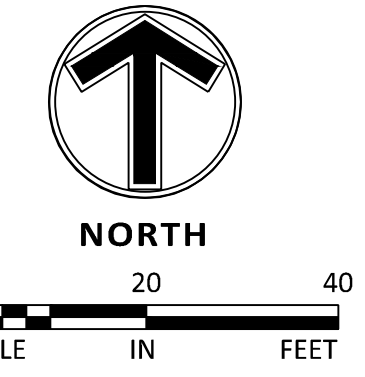
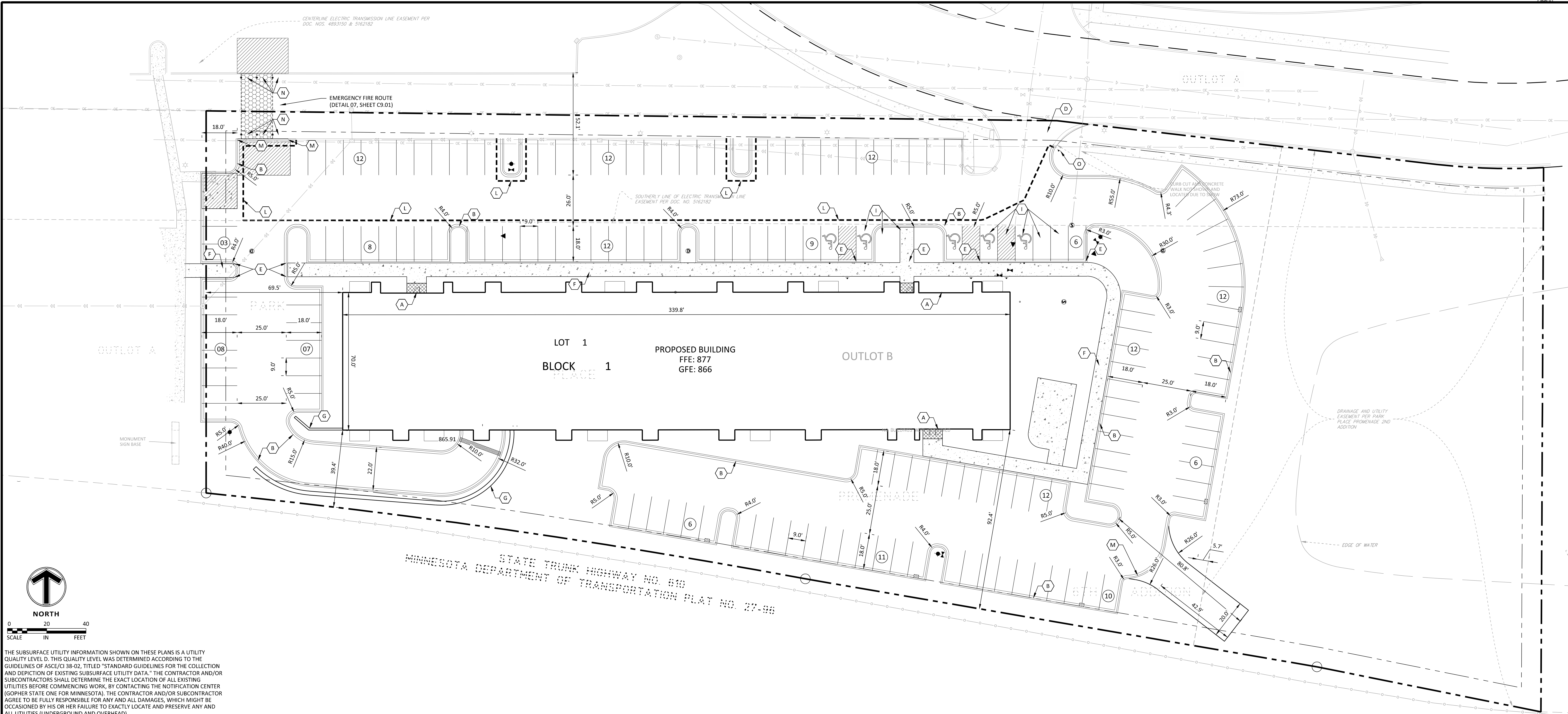
PRELIMINARY 05/05/2023
 DESIGN REVIEW
 PERMIT SUBMITTAL
 CONSTRUCTION DOCUMENTS

DRAWN BY EAB
 DESIGNED BY JRM
 CHECKED BY JDB
 PROJECT NO. 52001
Sambatek
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 Engineering | Surveying | Planning | Environmental

SITE CONTEXT PLAN
 THE DORAN GROUP
 610 WEST BUILDING 5
 PRELIMINARY SITE DEVELOPMENT PLANS
 BROOKLYN PARK, MN

SHEET
C3.01

24.15 (LMS TECH) | JOSEPH BAILEY | 6/7/2023 2:26:08 PM | C:\WORK\PROJECTS\2023\610 WEST BUILDING 5\01 SITE CONTEXT



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DEVELOPMENT NOTES

1. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
4. ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
5. ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
7. SEE ARCHITECTURAL PLANS FOR Pylon SIGN DETAILS
8. LIGHT STANDARD LOCATIONS ARE FOR REFERENCE ONLY, SITE LIGHTING PLAN IS DESIGN BUILD BY CONTRACTOR. CONTRACTOR SHALL CONFIRM LIGHT STANDARD LOCATION WITH LIGHTING VENDOR.
9. REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
10. ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE HAVE BEEN DESIGNED WITH A MAXIMUM LONGITUDINAL SLOPE OF 4.5%, AND A MAXIMUM CROSS SLOPE OF 1.5%. THIS IS LESS THAN THE ADA CODE MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.00% (1:50). THE MAXIMUM DESIGN SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE IS 1.5%, LESS THAN THE ADA CODE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE OF 2.00% (1:50). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT AND COORDINATE WITH GRADING CONTRACTOR.
11. "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.

CIVIL 3D MODEL LIMITATIONS

SAMBATEK'S DELIVERABLE AND GOVERNING DOCUMENTS FOR CONSTRUCTION SHALL BE A HARD COPY AND/OR PDF PLAN SHEETS. IF A CIVIL 3D MODEL IS GENERATED IN THE PROCESS OF PREPARING THE PLAN SHEETS, IT IS AS A DESIGN TOOL ONLY AND NOT AS A SEPARATE DELIVERABLE. AT THE OWNER'S REQUEST, WE WILL RELEASE OUR CIVIL 3D MODEL FOR THE CONTRACTOR'S USE; HOWEVER, ITS USE IS AT THE CONTRACTOR'S RISK AND SHALL NOT BE USED FOR STAKING OF CURB, SIDEWALK, OR OTHER HARD SURFACE IMPROVEMENTS. IF A CIVIL 3D MODEL FOR STAKING HARD SURFACE IMPROVEMENTS IS REQUIRED, WE CAN PROVIDE A SUPPLEMENTAL AGREEMENT FOR REFINEMENT AND PREPARATION OF THE CIVIL 3D MODEL.

LEGEND

PROPOSED	EXISTING	BOUNDARY LINE	STANDARD DUTY ASPHALT PAVING
		EASEMENT LINE	HEAVY DUTY ASPHALT PAVING
		BUILDING LINE	CONCRETE PAVING
		RETAINING WALL	CONCRETE SIDEWALK
		WETLAND	PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS)
		TREE LINE	GRASS PAVER
		SAW CUT LINE	
		SIGN	
		BOLLARD	
		PARKING STALL COUNT	
		KEY NOTE	
		LIGHT POLE (BY OTHERS)	

DEVELOPMENT SUMMARY

AREA	86,249 SF	1.98 AC	ZONING	TCZD
OUTLOT A	151,126 SF	3.70 AC	EXISTING ZONING	TCZD
LOT 1, BLOCK 1	247,375 SF	5.68 AC	PROPOSED ZONING	
GROSS SITE AREA				
PARKING SUMMARY			GREEN SPACE REQUIREMENTS	
STANDARD PROVIDED	153 STALLS		MAX IMPERVIOUS	101,930 SF
ADA PROVIDED	05 STALLS		PROPOSED PERVIOUS	68,697 SF
UNDERGROUND PROVIDED	98 STALLS		PROPOSED IMPERVIOUS	92,429 SF
TOTAL PARKING PROVIDED	216 STALLS			

KEY NOTES

- A. BUILDING, STOOPS, STAIRS (SEE ARCHITECTURAL PLANS)
- B. B-612 CONCRETE CURB AND GUTTER
- C. B-618 CONCRETE CURB AND GUTTER
- D. CONCRETE APRON
- E. FLAT CURB SECTION
- F. CONCRETE SIDEWALK
- G. SEGMENTAL BLOCK RETAINING WALL
- H. ADA ACCESS LOCATION
- I. ACCESSIBLE STALL STRIPING
- J. ACCESSIBLE PARKING SIGN
- K. TRANSFORMER
- L. SAWCUT PAVEMENT
- M. D-412 SURMOUNTABLE CONCRETE CURB AND GUTTER
- N. BREAKAWAY BOLLARD
- O. STOP SIGN

NO	DATE	BY	CKD	APPR	COMMENT
	05/05/2023	EAB	JRM	JDB	ENTITLEMENT PACKAGE
	06/02/2023	TLL	TLL	JDB	AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Print Name: JOSEPH BAILEY
Date: 05/05/2023 License #: 58666

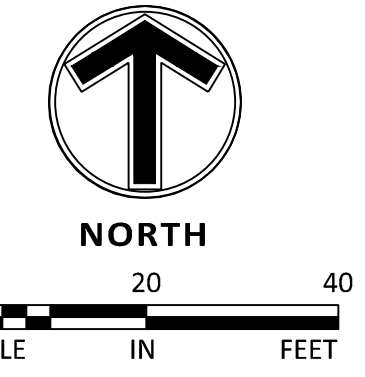
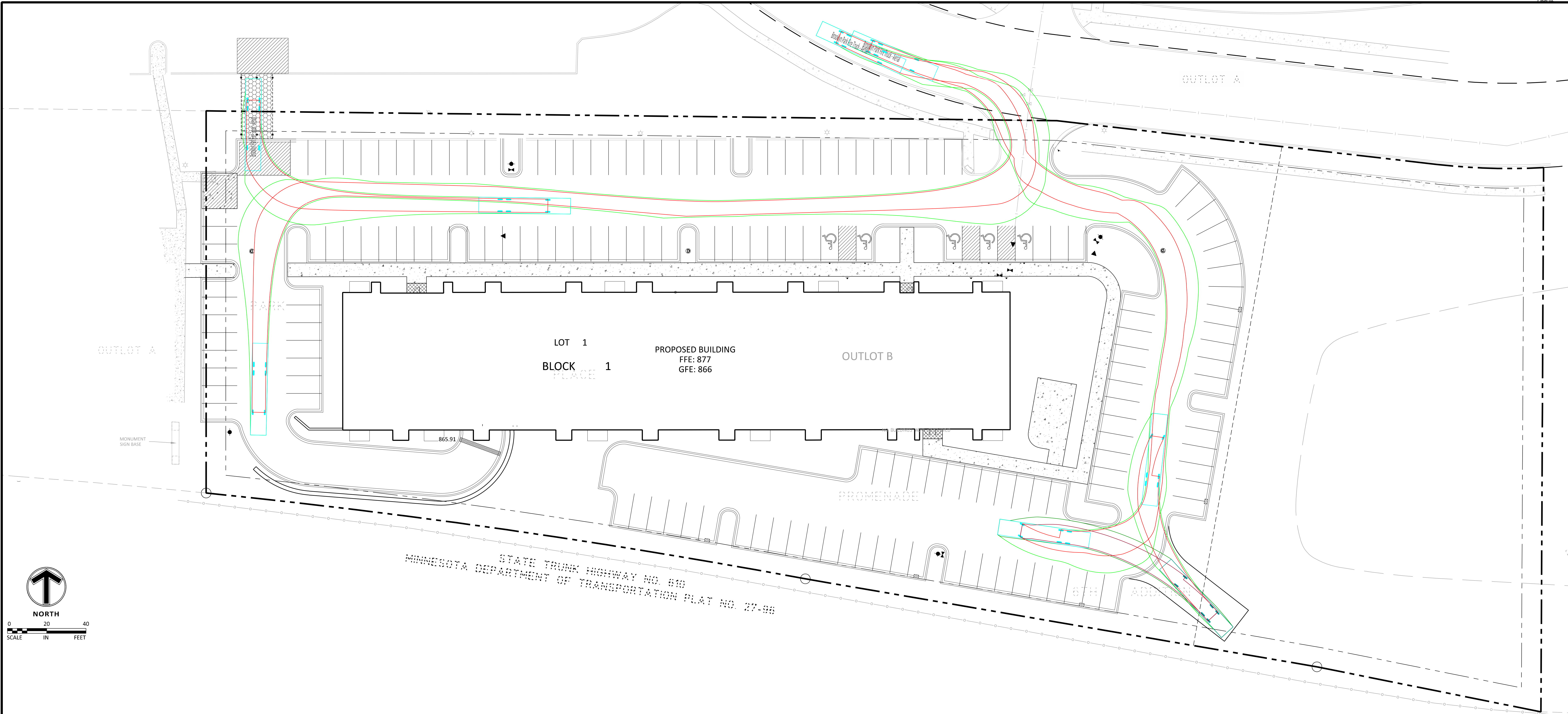
PRELIMINARY	05/05/2023	DRAWN BY	EAB
DESIGN REVIEW		DESIGNED BY	JRM
PERMIT SUBMITTAL		CHECKED BY	JDB
CONSTRUCTION DOCUMENTS		PROJECT NO.	52001



SITE PLAN
THE DORAN GROUP
610 WEST BUILDING 5
PRELIMINARY SITE DEVELOPMENT PLANS
BROOKLYN PARK, MN

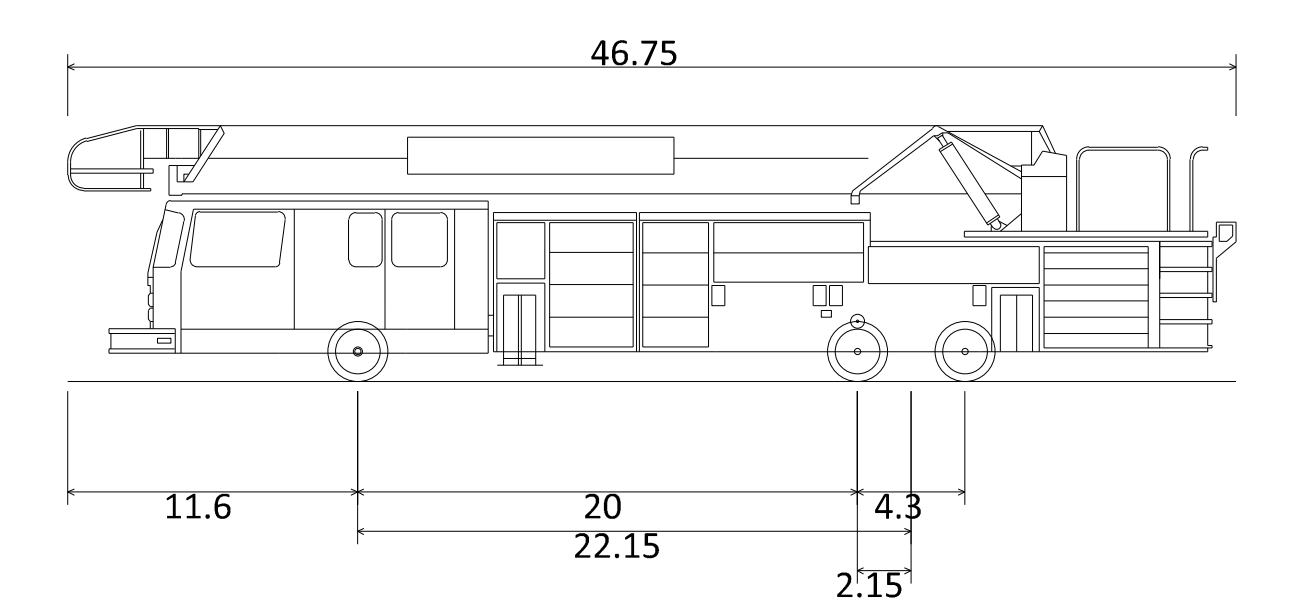
SHEET
C3.02

24.LS (LMS) TECH | JOSEPH BAILEY | 6/7/2023 11:51:28 AM | PROJECTS\2023\05\05\23\050523-050523-SITE DEVELOPMENT PLANS



LEGEND

PROPOSED	EXISTING	BOUNDARY LINE	
		BOUNDARY LINE	
		CONCRETE CURB	
		EASEMENT LINE	
		BUILDING LINE	CONCRETE PAVING
		RETAINING WALL	CONCRETE SIDEWALK
		WETLAND	PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS)
		TREE LINE	GRASS PAVER
		SAW CUT LINE	
		SIGN	
		BOLLARD	
		LIGHT POLE (BY OTHERS)	



Brooklyn Park Fire Truck	
Overall Length	46.750ft
Overall Width	8.000ft
Overall Body Height	10.227ft
Min Body Ground Clearance	0.657ft
Track Width	6.830ft
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	38.200ft

24.15 LMS TECH | JOSEPH BAILEY | 6/7/2023 10:38:19 AM | PROJECTS\2021\CAD\DWG\2021-23-05-FIRE-TRUCK-TURNING-MOVEMENT

NO	DATE	BY	CKD	APPR	COMMENT
	05/05/2023	EAB	JRM	JDB	ENTITLEMENT PACKAGE
	06/02/2023	TLL	TLL	JDB	AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: JOB MITZEL

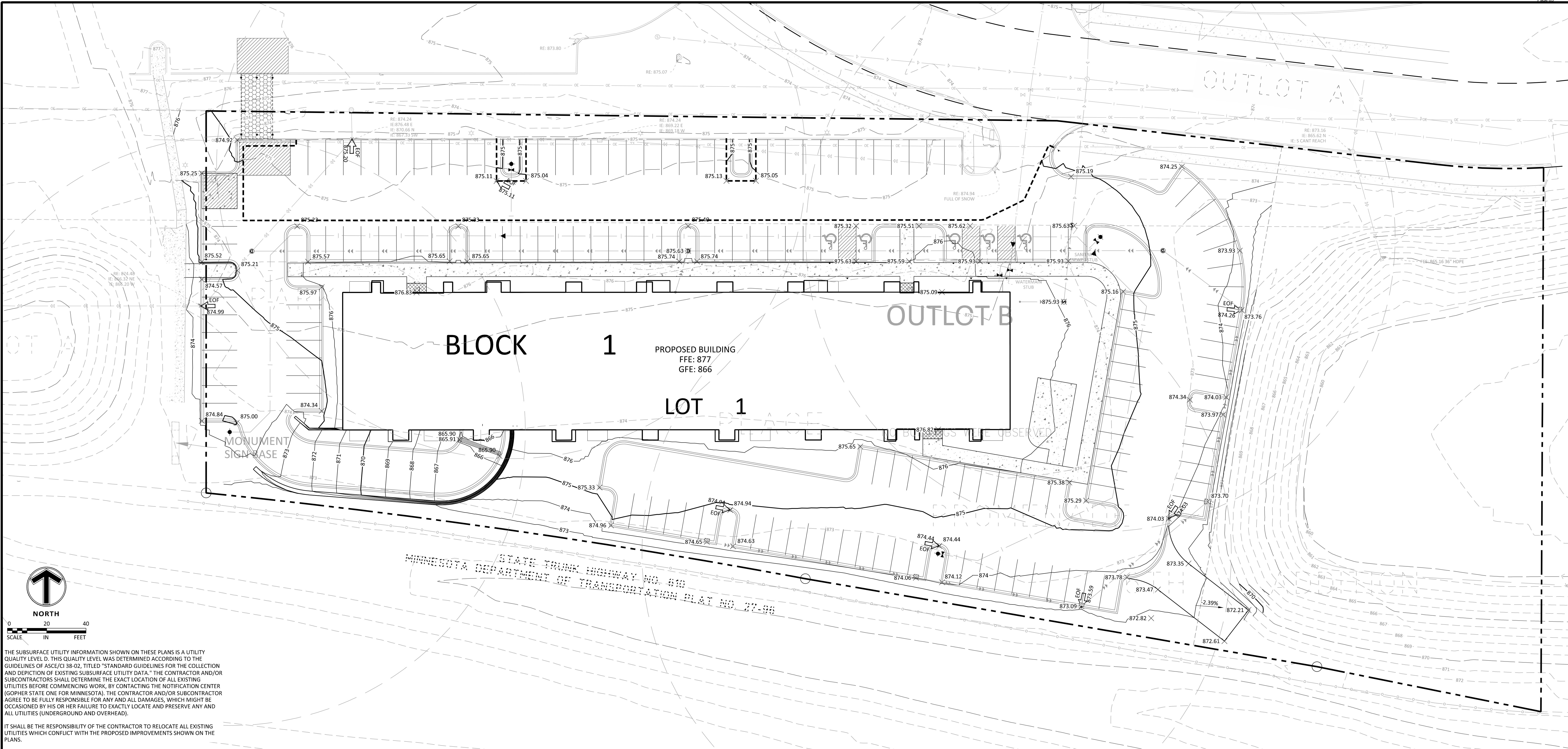
Date: 05/05/2023 License # 58666

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DESIGN REVIEW
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CONSTRUCTION DOCUMENTS

DRAWN BY EAB
DESIGNED BY JRM
CHECKED BY JDB
PROJECT NO. 52001



FIRE TRUCK TURNING MOVEMENT PLAN
THE DORAN GROUP
610 WEST BUILDING 5
PRELIMINARY SITE DEVELOPMENT PLANS
BROOKLYN PARK, MN



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND	
PROPOSED	EXISTING

GRADING NOTES
SEE SHEET C4.02 FOR GRADING NOTES.

NO	DATE	BY	CKD	APPR	COMMENT
	05/05/2023	EAB	JRM	JDB	ENTITLEMENT PACKAGE
	06/02/2023	TLL	TLL	JDB	AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

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Print Name: JDB WITZEL

PRELIMINARY	05/05/2023
DESIGN REVIEW	
PERMIT SUBMITTAL	
CONSTRUCTION DOCUMENTS	

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EAB
DESIGNED BY
JRM
CHECKED BY
JDB
PROJECT NO.
52001



GRADING PLAN
THE DORAN GROUP
610 WEST BUILDING 5
PRELIMINARY SITE DEVELOPMENT PLANS
BROOKLYN PARK, MN

SHEET
C4.01

24.LS (LMS) TECH | JOSEPH BAILEY | 5/25/2023 11:39:28 AM | PROJECTS\2001-C4.01-SHEET\2001-C4.01-GRADING\DWG\C4.01-GRADING PLAN

GRADING NOTES

- PROPOSED CONTOURS ARE TO FINISHED SURFACE ELEVATION. SPOT ELEVATIONS ALONG PROPOSED CURB DENOTE GUTTER GRADE.
- CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB.
- ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.00% (1:50). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE IN 2.00% (1:4850). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
- CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
 - A GEOTECHNICAL ENGINEERING SOILS REPORT HAS BEEN COMPLETED BY:
 - COMPANY:
 - ADDRESS:
 - PHONE:
 - DATE:
 - CONTRACTOR SHALL OBTAIN A COPY OF THE SOILS REPORT.
- CONTRACTOR SHALL COMPLETE DEWATERING AS REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION.
- PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL SHALL BE PERFORMED ON THE STREET AND PARKING AREA SUBGRADE. CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
- REPLACE ALL SUBGRADE SOIL DISTURBED DURING THE CONSTRUCTION THAT HAVE BECOME UNSUITABLE AND WILL NOT PASS A TEST ROLL. REMOVE UNSUITABLE SOIL FROM THE SITE AND IMPORT SUITABLE SOIL AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
- EXISTING TREES AND OTHER NATURAL VEGETATION WITHIN THE PROJECT AND/OR ADJACENT TO THE PROJECT ARE OF PRIME CONCERN TO THE CONTRACTOR'S OPERATIONS AND SHALL BE A RESTRICTED AREA. CONTRACTOR SHALL PROTECT TREES TO REMAIN AT ALL TIMES. EQUIPMENT SHALL NOT NEEDLESSLY BE OPERATED UNDER NEARBY TREES AND EXTREME CAUTION SHALL BE EXERCISED WHEN WORKING ADJACENT TO TREES. SHOULD ANY PORTION OF THE TREE BRANCHES REQUIRE REMOVAL TO PERMIT OPERATION OF THE CONTRACTOR'S EQUIPMENT, CONTRACTOR SHALL OBTAIN THE SERVICES OF A PROFESSIONAL TREE TRIMMING SERVICE TO TRIM THE TREES PRIOR TO THE BEGINNING OF OPERATION. SHOULD CONTRACTOR'S OPERATIONS RESULT IN THE BREAKING OF ANY LIMBS, THE BROKEN LIMBS SHOULD BE REMOVED IMMEDIATELY AND CUTS SHALL BE PROPERLY PROTECTED TO MINIMIZE ANY LASTING DAMAGE TO THE TREE. NO TREES SHALL BE REMOVED WITHOUT AUTHORIZATION BY THE ENGINEER. COSTS FOR TRIMMING SERVICES SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONSTRUCTION AND NO SPECIAL PAYMENT WILL BE MADE.
 - RESTRICTED AREAS SHALL INCLUDE ALL DESIGNATED TREET AREAS OUTSIDE OF THE DESIGNATED CONSTRUCTION ZONE. ALL VEGETATION WITHIN THE RESTRICTED AREAS SHALL REMAIN.
 - CONTRACTOR SHALL RESTRICT ALL GRADING AND CONSTRUCTION ACTIVITIES TO AREAS DESIGNATED ON THE PLANS. ACTIVITIES WITHIN THE CONSTRUCTION MAY BE RESTRICTED TO A NARROWER WIDTH IN THE FIELD TO SAVE ADDITIONAL TREES AS DIRECTED BY THE OWNER.
 - ACTIVITIES PROHIBITED OUTSIDE OF THE CONSTRUCTION BOUNDARIES WOULD INCLUDE, BUT NOT BE LIMITED TO: SOIL AND OTHER MATERIAL STOCKPILING, EQUIPMENT OR MACHINERY STORAGE, DRIVING OF ANY VEHICLE, LEAKAGE OR SPILLAGE OF ANY "WASHOUT" OR OTHER TOXIC MATERIAL. THE COLLECTION OF OTHER DEBRIS AND SOIL STOCKPILING WILL BE IN AN AREA DETERMINED ON-SITE BY THE ENGINEER.
 - ALL RESTRICTED AREAS SHALL BE FENCED OFF WITH BRIGHT ORANGE POLYETHYLENE SAFETY NETTING AND STEEL STAKES AS SHOWN ON THE TREE PROTECTION DETAIL. AT NO TIME SHALL THIS FENCING BE REMOVED OR ACTIVITY OF ANY KIND TAKE PLACE WITHIN IT. FINAL PLACEMENT OF ALL PROTECTIVE FENCING SHALL BE COMPLETE BEFORE ANY WORK COMMENCES ON-SITE.
 - BEFORE COMMENCING WITH ANY EXCAVATION CONTRACTOR SHALL COMPLETE ALL PREPARATORY WORK REGARDING TREE REMOVAL, ROOT PRUNING, TREE PRUNING AND STUMP REMOVAL TO THE SATISFACTION OF THE OWNER.
 - PREPARATORY WORK SHALL INCLUDE THE FOLLOWING AND SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF THE OWNER'S REPRESENTATIVE:
 - TREE REMOVAL: CONTRACTOR SHALL FELL THE TREES. AT NO TIME SHALL TREES BE BULLDOZED OUT, BUT SHALL BE CUT DOWN AND STUMPS REMOVED SEPARATELY. PRIOR TO THE FELLING OF ALL TREES, PROPER REMOVAL OF A PORTION OR ALL OF THE CANOPY SHALL BE COMPLETED SO THAT TREES IN THE RESTRICTED AREAS SHALL NOT BE INJURED IN THE PROCESS.
 - ROOT PRUNING: BEFORE ANY STUMPS ARE TO BE REMOVED, ALL ROOTS SHALL BE SEVERED FROM ROOTS IN THE RESTRICTED AREAS BY SAW CUTTING WITH A VERMEER DESIGNED FOR ROOT PRUNING, BY HAND, OR WITH A CHAINSAW. TREE ROOTS PROJECTING INTO THE CONSTRUCTION ZONE SHALL BE EXPOSED PRIOR TO ROOT PRUNING WITH SMALL MACHINERY, I.E., BOBCAT.
 - STUMP REMOVAL: AT SUCH TIME THAT ROOTS HAVE BEEN PROPERLY SEVERED, STUMPS MAY BE REMOVED. WHERE REMOVAL OF CERTAIN STUMPS COULD CAUSE DAMAGE TO EXISTING PROTECTED TREES, TREE STUMPS SHALL BE GROUND OUT. ALL STUMP REMOVAL SHALL BE UNDER THE DIRECT SUPERVISION OF THE OWNER'S REPRESENTATIVE.
 - TREE PRUNING: PROPER PRUNING OF TREES IN THE RESTRICTED ZONE SHALL BE DIRECTED BY AND SUPERVISION AT ALL TIMES BY THE OWNER'S REPRESENTATIVE.
 - AN OWNER'S REPRESENTATIVE WILL BE AVAILABLE AT ALL TIMES DURING THE PREPARATORY AND CONSTRUCTION PERIOD.
 - MULCH RATHER THAN SEED OR SOD WILL BE USED AT THE BASE OF QUALITY TREES TO A PERIMETER DETERMINED BY THE OWNER'S REPRESENTATIVE. AREAS TO BE USED FOR EROSION CONTROL PURPOSES WITHIN THE CONSTRUCTION ZONE ARE TO BE DETERMINED BY THE OWNER'S REPRESENTATIVE. NATURAL GROUND COVER WILL BE MAINTAINED WHEREVER POSSIBLE.
 - THE USE OF RETAINING WALLS NEAR TREES, IN ADDITION TO THOSE REQUIRED ON THE PLANS SHALL BE DETERMINED IN THE FIELD, BASED ON TREE LOCATIONS AND TOPOGRAPHY.
- EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
- TRENCH BORROW CONSTRUCTION: IF ALLOWED BY THE OWNER, CONTRACTOR SHALL COMPLETE "TRENCH BORROW" EXCAVATION IN AREAS DIRECTED BY THE ENGINEER IN ORDER TO OBTAIN STRUCTURAL MATERIAL. TREES SHALL NOT BE REMOVED OR DAMAGED AS A RESULT OF THE EXCAVATION, UNLESS APPROVED BY THE ENGINEER. THE EXCAVATION SHALL COMMENCE A MINIMUM OF 10 FEET FROM THE LIMIT OF THE BUILDING PAD. THE EXCAVATION FROM THIS LIMIT SHALL EXTEND AT A MINIMUM SLOPE OF 1 FOOT HORIZONTAL TO 1 FOOT VERTICAL (1:1) DOWNWARD AND OUTWARD FROM THE FINISHED SURFACE GRADE ELEVATION. THE TRENCH BORROW EXCAVATION SHALL BE BACKFILLED TO THE PROPOSED FINISHED GRADE ELEVATION, AND SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE QUALITY COMPACTION METHOD AS OUTLINED IN MN/DOT SPECIFICATION 2105.3F2. SNOW FENCE SHALL BE FURNISHED AND PLACED ALONG THE PERIMETER OF THE TRENCH BORROW AREA WHERE THE SLOPES EXCEED 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1).

INFILTRATION BASIN NOTES

- INFILTRATION BASIN CONSTRUCTION REQUIREMENTS: (INCLUDES ALL DEVICES USING FILTRATION THROUGH A SOIL MEDIUM TO CAPTURE STORM WATER RUNOFF BUT ARE NOT LIMITED TO: INFILTRATION BASINS, INFILTRATION TRENCHES, BIOFILTRATION BASINS, RAINWATER GARDENS, SAND FILTERS, ORGANIC FILTERS, BIORETENTION AREAS, ENHANCED SWALES, DRY STORAGE PONDS WITH UNDERDRAIN DISCHARGE, AND NATURAL DEPRESSIONS (IF USED TO PROVIDE STORMWATER TREATMENT OF NEW IMPERIOUS SURFACE))
 - HEAVY EQUIPMENT SHALL NOT TRAVEL WITHIN THE INFILTRATION BASIN AREA. EXCAVATION WITHIN THE INFILTRATION BASIN SHALL BE PERFORMED BY USE OF A BACKHOE BUCKET WITH TEETH. CONTRACTOR SHALL DISC OR TILL THE SOILS IF REQUIRED BY THE SOILS ENGINEER.
 - INFILTRATION BASIN SHALL BE PROTECTED BY SILT FENCE DURING ALL CONSTRUCTION ACTIVITIES. ALL DEPOSITED SEDIMENT DURING CONSTRUCTION ACTIVITY SHALL BE PROPERLY DISPOSED OF DOWNSTREAM OF INFILTRATION BASIN, IF POSSIBLE.
 - ALL FLARED END SECTION INLETS AND CATCH BASIN MANHOLE INLETS SHALL HAVE INLET EROSION CONTROL PROTECTION IN PLACE UNTIL FINAL STABILIZATION BASIN HAS OCCURRED.
 - PERFORMANCE TESTING OF INFILTRATION BASINS: (TO BE CONDUCTED IF DESIGN INFILTRATION RATE WAS VERIFIED ACCORDING TO ASTM D-3385-03 "STANDARD TEST METHOD FOR INFILTRATION RATE OF SOILS IN FIELD USING DOUBLE-RING INFILTRMETER") ALL COSTS RELATED TO THE PERFORMANCE INFILTRATION TESTING SHALL BE PAID BY THE OWNER, EXCEPT AS NOTED. THE INFILTRATION BASINS WILL BE TESTED IN ACCORDANCE TO THE FOLLOWING PROCEDURE:
 - A MINIMUM OF TWO INFILTRATION TESTS SHALL BE COMPLETED FOR EACH INFILTRATION BASIN (0.5 ACRE FLOOR AREA OR LESS). THE REQUIRED NUMBER OF TESTS SHALL BE VERIFIED WITH THE SOILS ENGINEER AND THE GOVERNING AUTHORITIES.
 - TWO ADDITIONAL TESTS WILL BE REQUIRED FOR EACH 0.5 ACRE OF INFILTRATION BASIN FLOOR AREA.
 - TEST PROCEDURE WILL FOLLOW ASTM D-3385-09 "STANDARD TEST METHOD FOR INFILTRATION RATE OF SOILS IN FIELD USING DOUBLE-RING INFILTRMETER".
 - TEST WILL BE CONDUCTED AT THE FINISHED BASIN FLOOR ELEVATION.
 - TEST WILL BE FOR A PERIOD AS OUTLINED IN ASTM D-3385-09.
 - THE TEST RESULTS WILL BE AVERAGED TO OBTAIN THE INFILTRATION RATE USED FOR ACCEPTANCE.
 - THE LOWEST MEASURED INFILTRATION RATE SHALL EXCEED THE DESIGN INFILTRATION RATE OF 0.8 INCHES/HOUR.
- THE AVERAGE OF THE MEASURED INFILTRATION RATES MUST MEET OR EXCEED THE DESIGN RATE OF 0.8 INCHES/HOUR DIVIDED BY THE CORRECTION FACTOR USED IN CALCULATING THE DESIGN RATE AS NOTED IN TABLE 12.1NF.8 FROM THE LATEST EDITION OF THE MINNESOTA STORMWATER MANUAL. IF THE INFILTRATION RATE AS TESTED DOES NOT MEET OR EXCEED THE REQUIRED RATE AS DETERMINED ABOVE, CONTRACTOR WILL BE REQUIRED TO COMPLETE SOIL CORRECTIVE AND/OR SOIL REPLACEMENT WORK AS NECESSARY WITHIN THE INFILTRATION BASIN AREA AT THE CONTRACTOR'S EXPENSE UNTIL THE INFILTRATION RATE AS TESTED EXCEEDS THE REQUIRED RATE AS DETERMINED ABOVE. SUBSEQUENT RE-TESTING WILL BE REQUIRED UNTIL THE INFILTRATION AS TESTED EXCEEDS THE REQUIRED RATE AS DETERMINED ABOVE. RE-TESTING SHALL BE AT THE CONTRACTOR'S EXPENSE AND WILL BE DEDUCTED FROM THE AMOUNT DUE TO THE CONTRACTOR.

CIVIL 3D MODEL LIMITATIONS

SAMBATEK'S DELIVERABLE AND GOVERNING DOCUMENTS FOR CONSTRUCTION SHALL BE A HARD COPY AND/OR PDF PLAN SHEETS. IF A CIVIL 3D MODEL IS GENERATED IN THE PROCESS OF PREPARING THE PLAN SHEETS, IT IS AS A DESIGN TOOL ONLY AND NOT AS A SEPARATE DELIVERABLE. AT THE OWNER'S REQUEST, WE WILL RELEASE OUR CIVIL 3D MODEL FOR THE CONTRACTOR'S USE. HOWEVER, ITS USE IS AT THE CONTRACTOR'S RISK AND SHALL NOT BE USED FOR STAKING OF CURB, SIDEWALK, OR OTHER HARD SURFACE IMPROVEMENTS. IF A CIVIL 3D MODEL FOR STAKING HARD SURFACE IMPROVEMENTS IS REQUIRED, WE CAN PROVIDE A SUPPLEMENTAL AGREEMENT FOR REFINEMENT AND PREPARATION OF THE CIVIL 3D MODEL REV. DATE

24.LS (LMS TECH) | JOSEPH BAILEY | 5/25/2023 11:39:28 AM
PROJECTS2001 CAD SHEET1352001-C4.02-GRADING PLAN NOTES

NO	DATE	BY	CKD	APPR	COMMENT
	05/05/2023	EAB	JRM	JDB	ENTITLEMENT PACKAGE
	06/02/2023	TLL	TLL	JDB	AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

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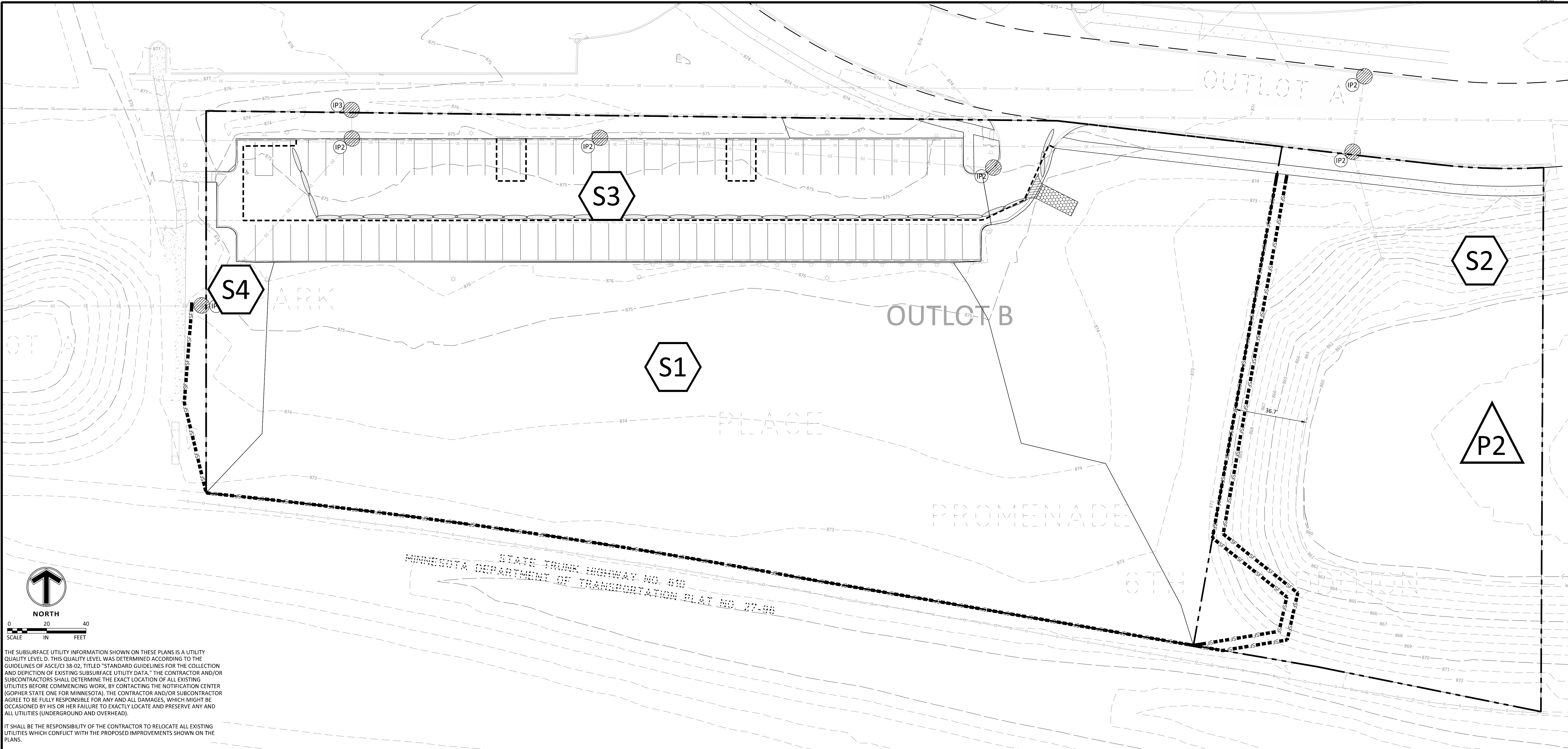
PRELIMINARY	05/05/2023
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PERMIT SUBMITTAL	
CONSTRUCTION DOCUMENTS	

DRAWN BY	EAB
DESIGNED BY	JRM
CHECKED BY	JDB
PROJECT NO.	52001



GRADING PLAN NOTES	
THE DORAN GROUP 610 WEST BUILDING 5 PRELIMINARY SITE DEVELOPMENT PLANS BROOKLYN PARK, MN	

SHEET
C4.02



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IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND	
PROPOSED	EXISTING
	CONCRETE CURB
	STORM SEWER
	DRAINTILE
	CONTOUR
	RIPRAP
	OVERFLOW ELEV.
	BIO-ROLL
	SILT FENCE
	SILT DIKE
	LIMITS OF DISTURBANCE
	SOIL BORING
	DIRECTION OF OVERLAND FLOW
	TEMPORARY DIVERSION DITCH
	CHECK DAM
	LIMITS OF DRAINAGE SUB-BASIN
	INLET PROTECTION DEVICE
	TEMPORARY STONE CONSTRUCTION ENTRANCE
	TEMPORARY SEDIMENT BASIN
	TEMPORARY STABILIZATION MEASURES (SEED, MULCH, MATS OR BLANKETS AS OUTLINED IN THE SWPPP)
	TEMPORARY STORAGE AND PARKING AREA

EROSION CONTROL MATERIALS QUANTITIES		
ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	1100
SILT DIKE	LINEAR FEET	0
BIO-ROLL	LINEAR FEET	410
CONSTRUCTION ENTRANCE	UNIT	1
INLET PROTECTION DEVICE (IP-1)	UNIT	0
INLET PROTECTION DEVICE (IP-2)	UNIT	6
INLET PROTECTION DEVICE (IP-3)	UNIT	1

* REFER TO SHEET CS.03 & CS.04 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

NOTE TO CONTRACTOR

THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MPCA. THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

24.LS (LMS) TECH | JOSEPH BAILEY | 6/7/2023 11:24:50 AM | PROJECTS20201-CAD-SHEETS2020-1-530-PROLOG-DWG-C5.01 PHASE I EROSION CONTROL PLAN

NO	DATE	BY	CKD	APPR	COMMENT
05/05/2023	EAB	JRM	JDB		ENTITLEMENT PACKAGE
06/02/2023	TLL	TLL	JDB		AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: JOSEPH BAILEY
 License # 58666

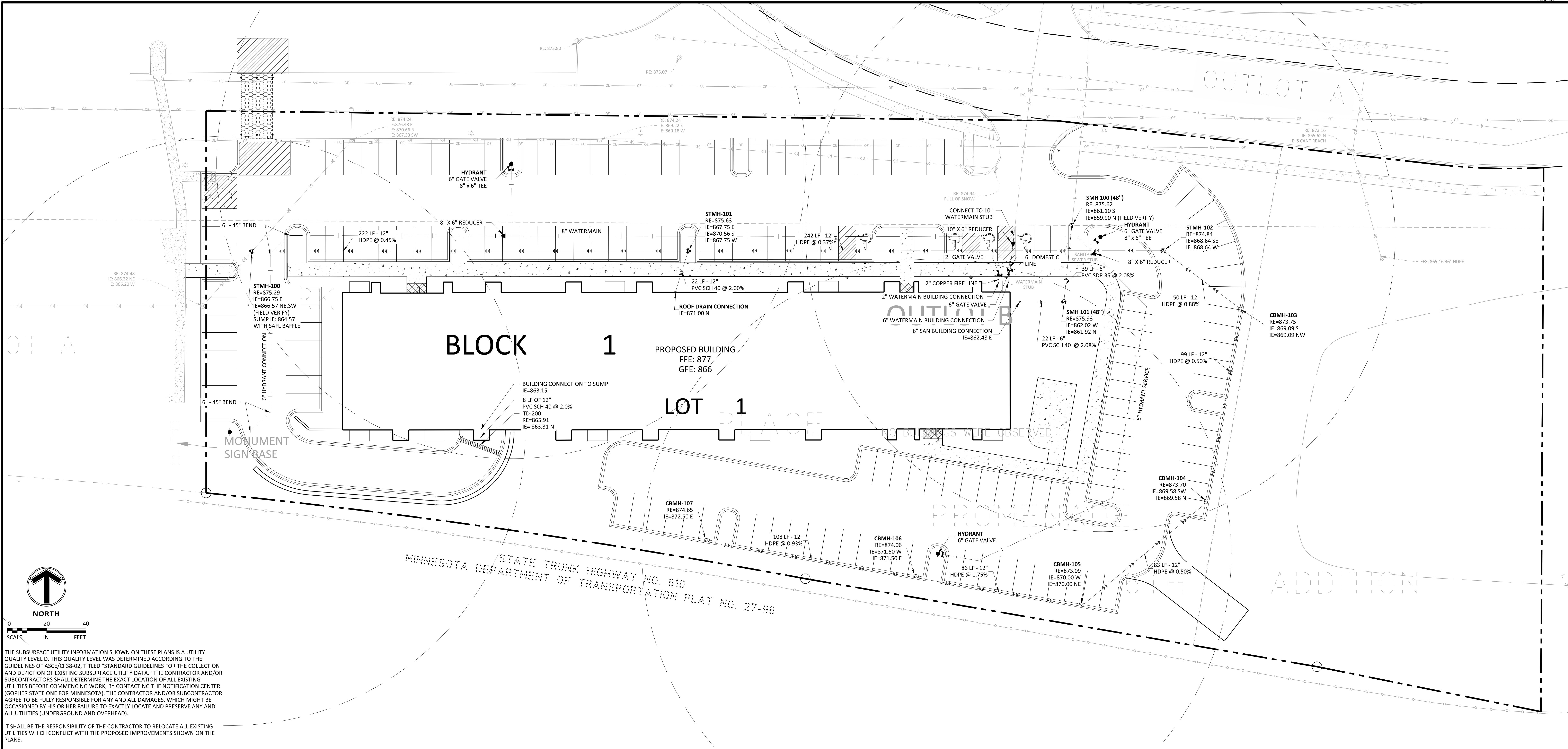
PRELIMINARY
05/05/2023
DESIGN REVIEW
PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

DRAWN BY
EAB
DESIGNED BY
JRM
CHECKED BY
JDB
PROJECT NO.
52001



PHASE I- EROSION CONTROL PLAN
 THE DORAN GROUP
 610 WEST BUILDING 5
 PRELIMINARY SITE DEVELOPMENT PLANS
 BROOKLYN PARK, MN

SHEET
C5.01



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND	
PROPOSED	EXISTING

UTILITY CONSTRUCTION NOTES

- THE UTILITY IMPROVEMENTS FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD UTILITIES SPECIFICATIONS" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), EXCEPT AS MODIFIED HEREIN. CONTRACTOR SHALL OBTAIN A COPY OF THESE SPECIFICATIONS.
 - ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO CITY, DEPARTMENT OF LABOR AND INDUSTRY AND MINNESOTA DEPARTMENT OF HEALTH REQUIREMENTS.
 - CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP WATERMAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE THE LIABILITY OF CONTRACTOR.
 - A MINIMUM VERTICAL SEPARATION OF 18 INCHES, AND HORIZONTAL SEPARATION OF 10-FEET, BETWEEN OUTSIDE PIPE AND/OR STRUCTURE WALLS, IS REQUIRED AT ALL WATERMAIN AND SEWER MAIN (BUILDING, STORM AND SANITARY) CROSSINGS.
- ALL MATERIALS SHALL BE AS SPECIFIED IN CEAM SPECIFICATIONS EXCEPT AS MODIFIED HEREIN.
 - ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
 - ALL SANITARY SEWER TO BE PVC SDR-35, UNLESS NOTED OTHERWISE.
 - ALL SANITARY SEWER SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
 - ALL WATERMAIN TO BE DUCTILE IRON - CLASS 52, OR PVC C-900, UNLESS NOTED OTHERWISE.
 - ALL WATERMAIN TO HAVE 7.5-FEET OF COVER OVER TOP OF WATERMAIN.
 - PROVIDE THRUST BLOCKING AND MECHANICAL JOINT RESTRAINTS ON ALL WATERMAIN JOINTS PER CITY STANDARDS.
- WHERE A SEWER LINE CROSSES A WATER SERVICE, THE WATER SERVICE SHALL NOT CONTAIN ANY JOINTS OR CONNECTIONS DUAL 10 FEET OF THE CROSSING.
- ALL STORM SEWER PIPE TO BE SMOOTH INTERIOR DUAL WALL HDPE PIPE WITH WATERTIGHT GASKETS, UNLESS NOTED OTHERWISE.
 - ALL HDPE SEWER WITHIN 10 FEET OF A BUILDING OR WATERLINE SHALL BE POLYETHYLENE PIPE CONFORMING TO THE MINNESOTA PLUMBING CODE
 - ALL STORM SEWER PIPE FOR ROOF DRAIN SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
 - RIP RAP SHALL BE Mn/DOT CLASS 3.
- COORDINATE ALL BUILDING SERVICE CONNECTION LOCATIONS AND INVERT ELEVATIONS WITH MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL BUILDING SERVICE CONNECTIONS (STORM, SANITARY, WATER) WITH FIVE FEET OR LESS COVER ARE TO BE INSULATED FROM BUILDING TO POINT WHERE 5-FEET OF COVER IS ACHIEVED.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL AREAS OUTSIDE THE PROPERTY BOUNDARIES THAT ARE DISTURBED BY UTILITY CONSTRUCTION SHALL BE RESTORED IN KIND. SODDED AREAS SHALL BE RESTORED WITH 6 INCHES OF TOPSOIL PLACED BENEATH THE SOD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL SOILS TESTING SHALL BE COMPLETED BY AN INDEPENDENT SOILS ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE SOILS ENGINEER. THE UTILITY BACKFILL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND SOIL INSPECTIONS WITH THE SOILS ENGINEER. A GEOTECHNICAL ENGINEERING REPORT HAS BEEN COMPLETED BY COMPANY:

ADDRESS:
PHONE:
DATED:
CONTRACTOR SHALL OBTAIN A COPY OF THIS SOILS REPORT.
- CONTRACTOR SHALL SUBMIT 2 COPIES OF SHOP DRAWINGS FOR MANHOLE AND CATCH BASIN STRUCTURES TO SAMBATEK. CONTRACTOR SHALL ALLOW 5 WORKING DAYS FOR SHOP DRAWING REVIEW.
- CONTRACTOR AND MATERIAL SUPPLIER SHALL DETERMINE THE MINIMUM DIAMETER REQUIRED FOR EACH STORM SEWER STRUCTURE.

NO	DATE	BY	CKD	APPR	COMMENT
	05/05/2023	EAB	JRM	JDB	ENTITLEMENT PACKAGE
	06/02/2023	TLL	TLL	JDB	AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

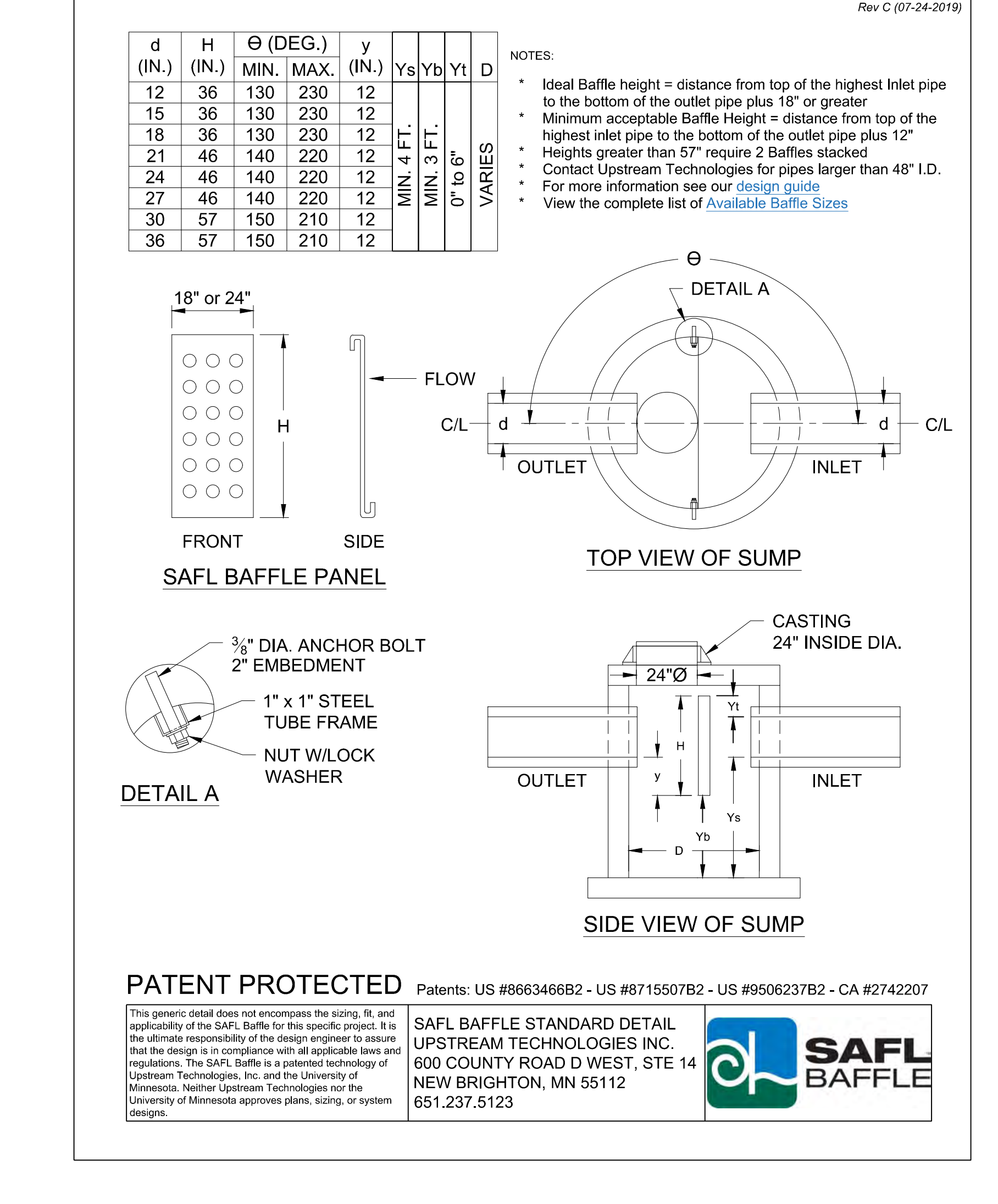
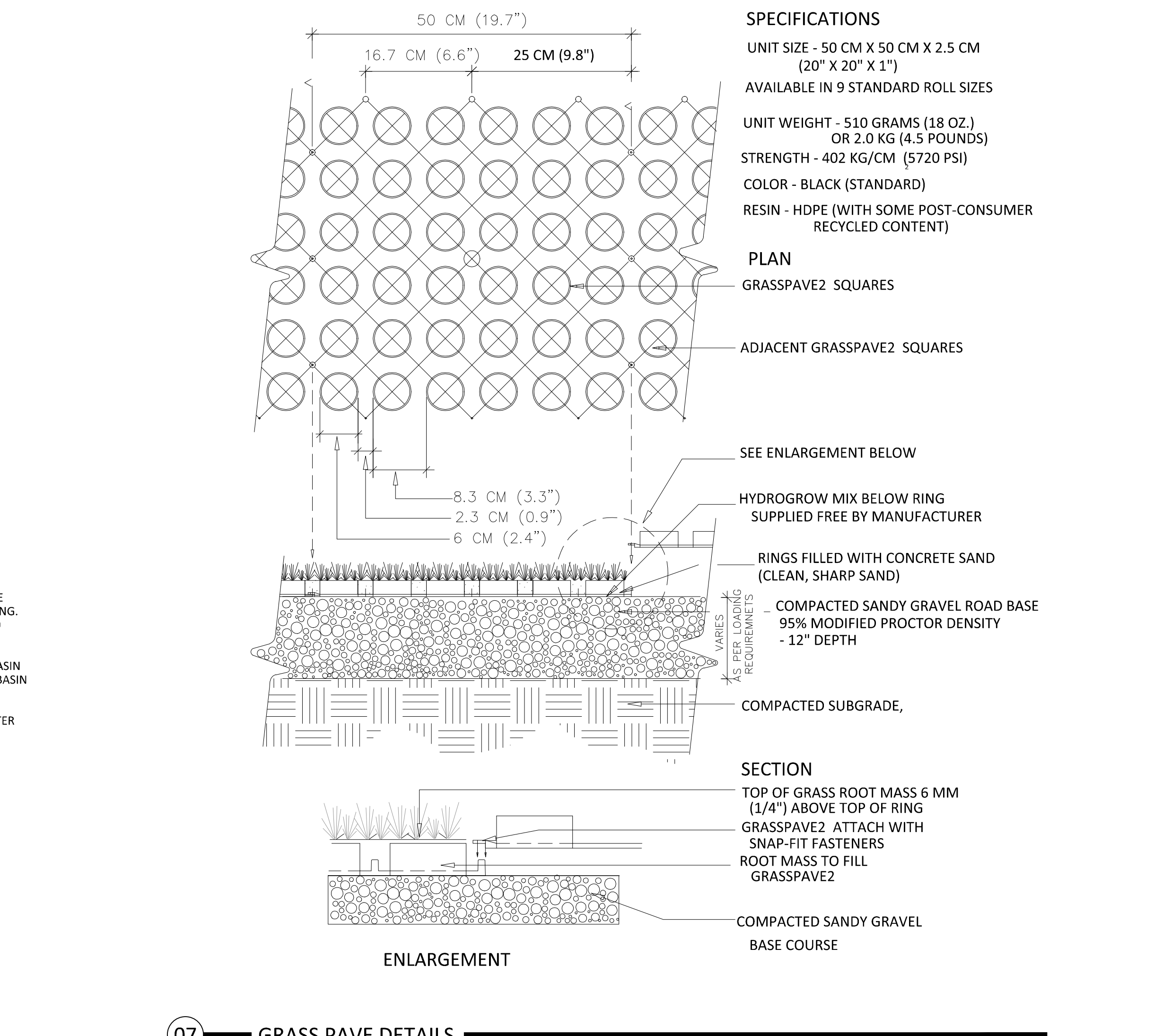
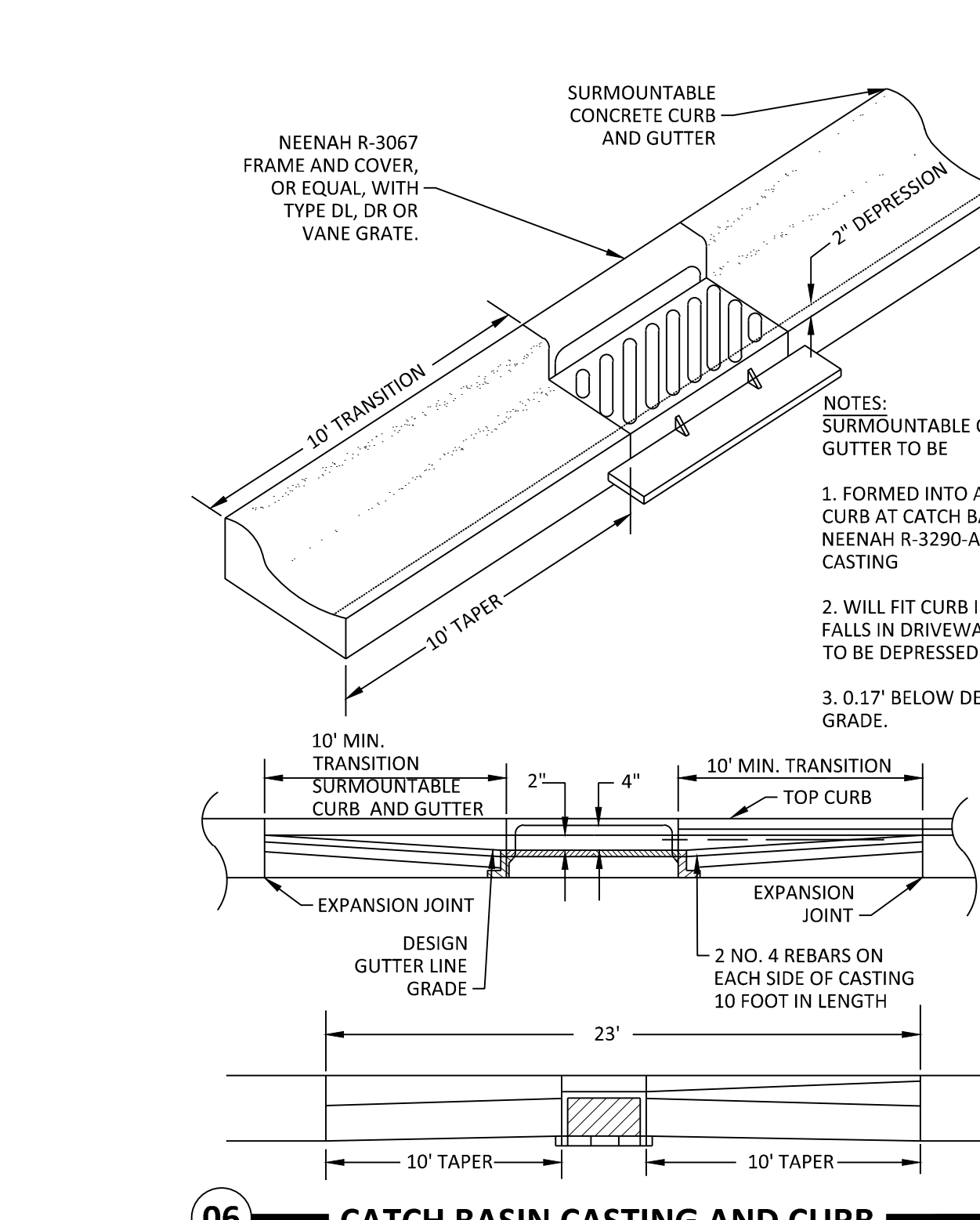
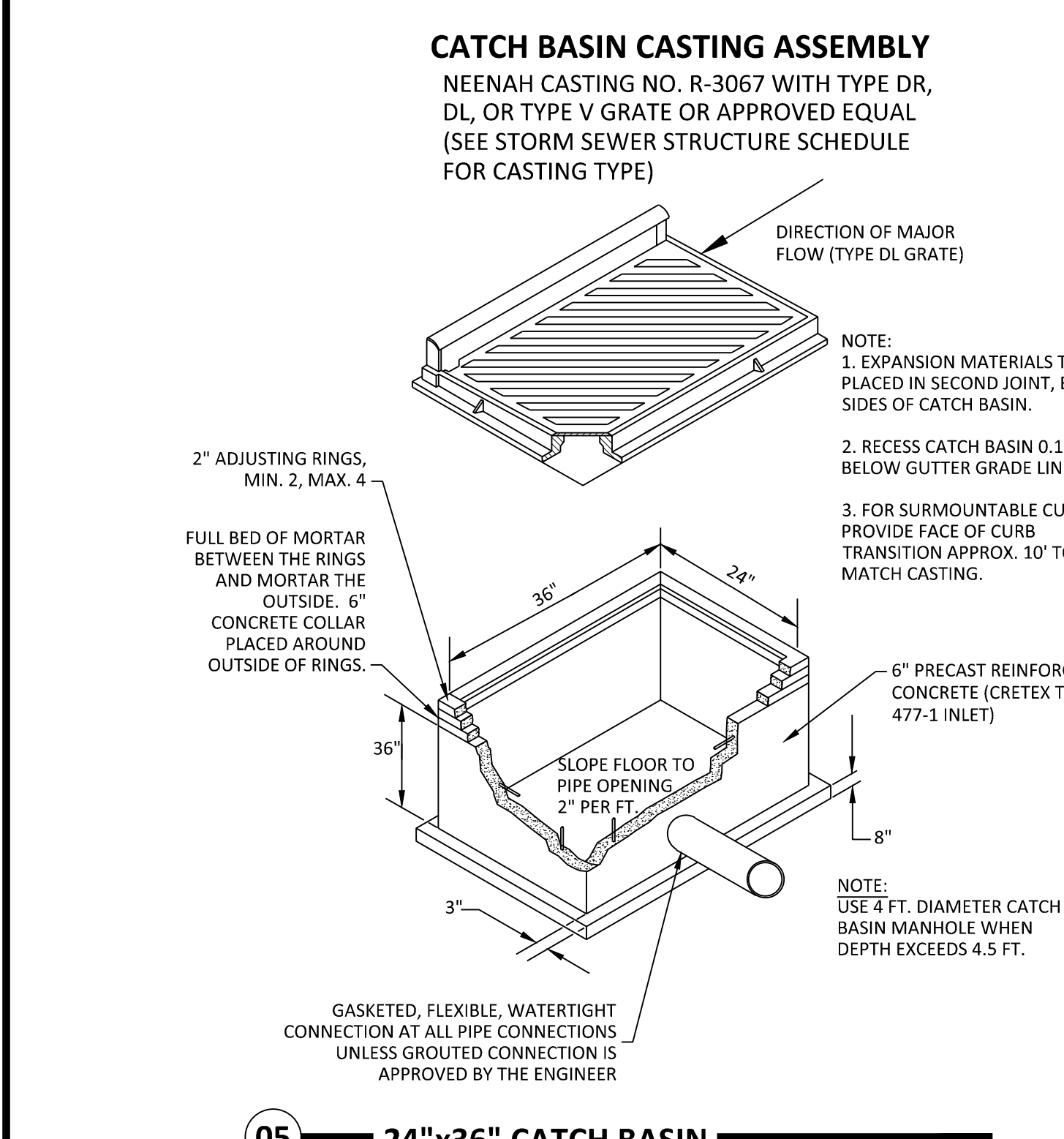
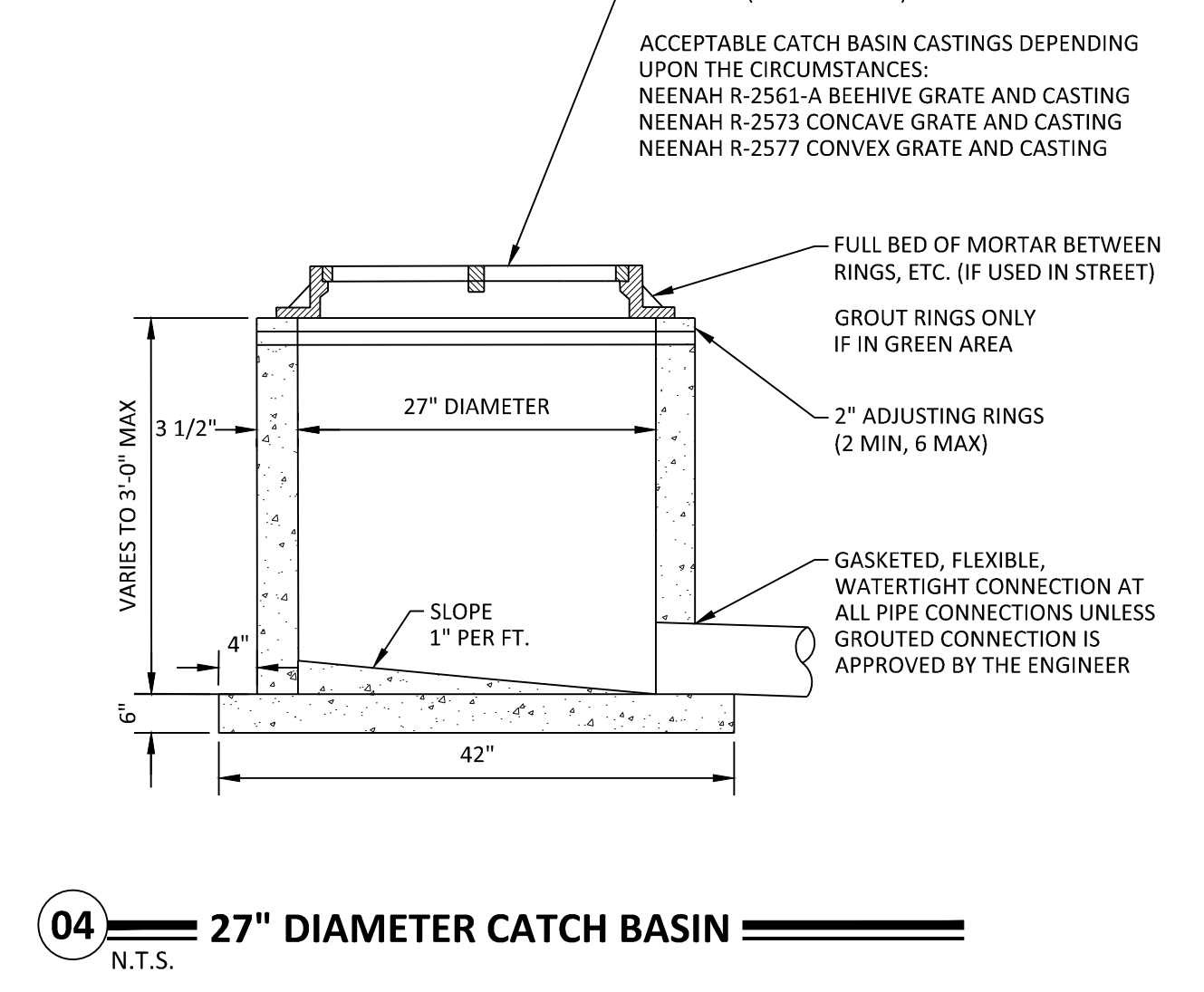
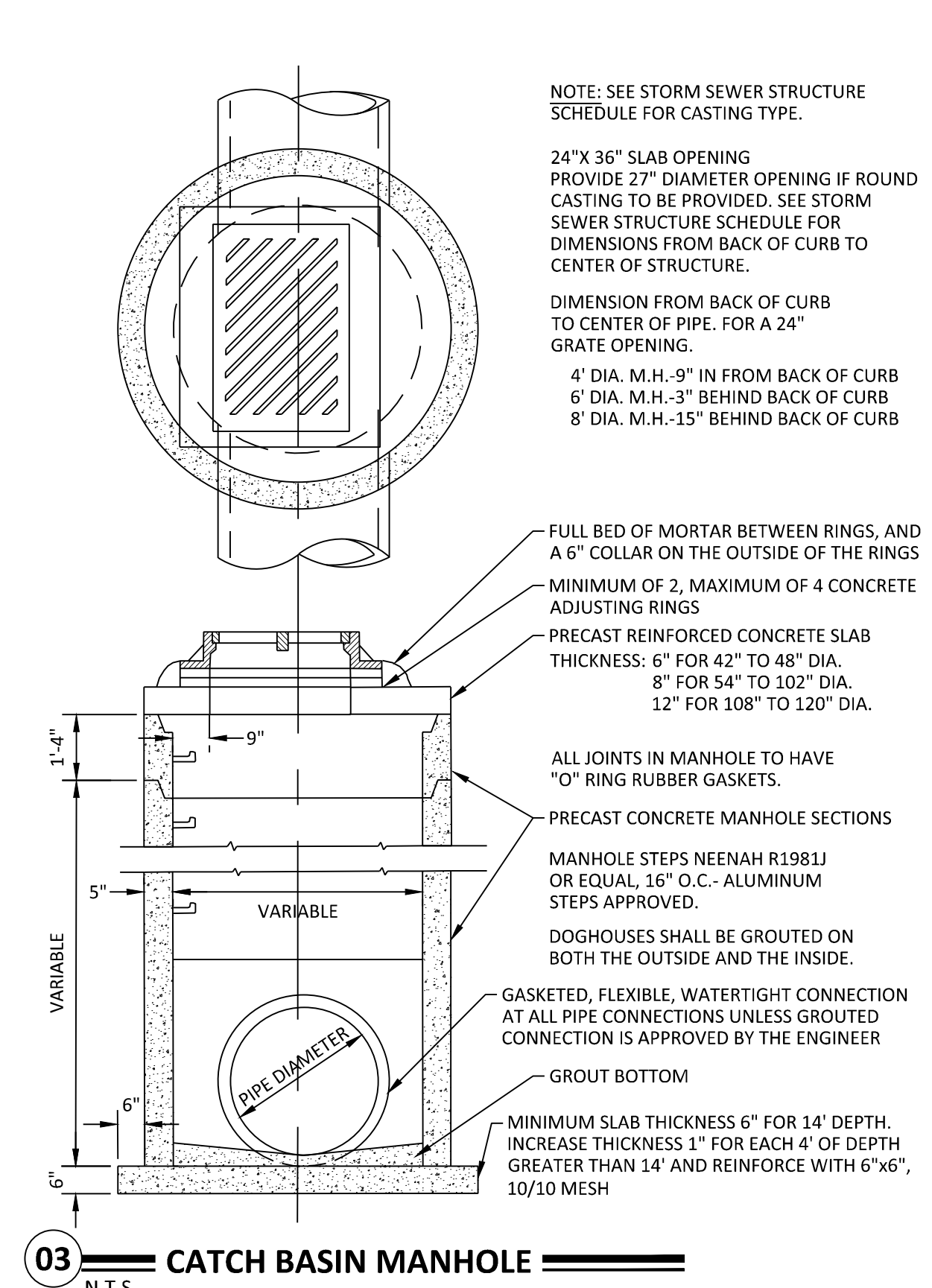
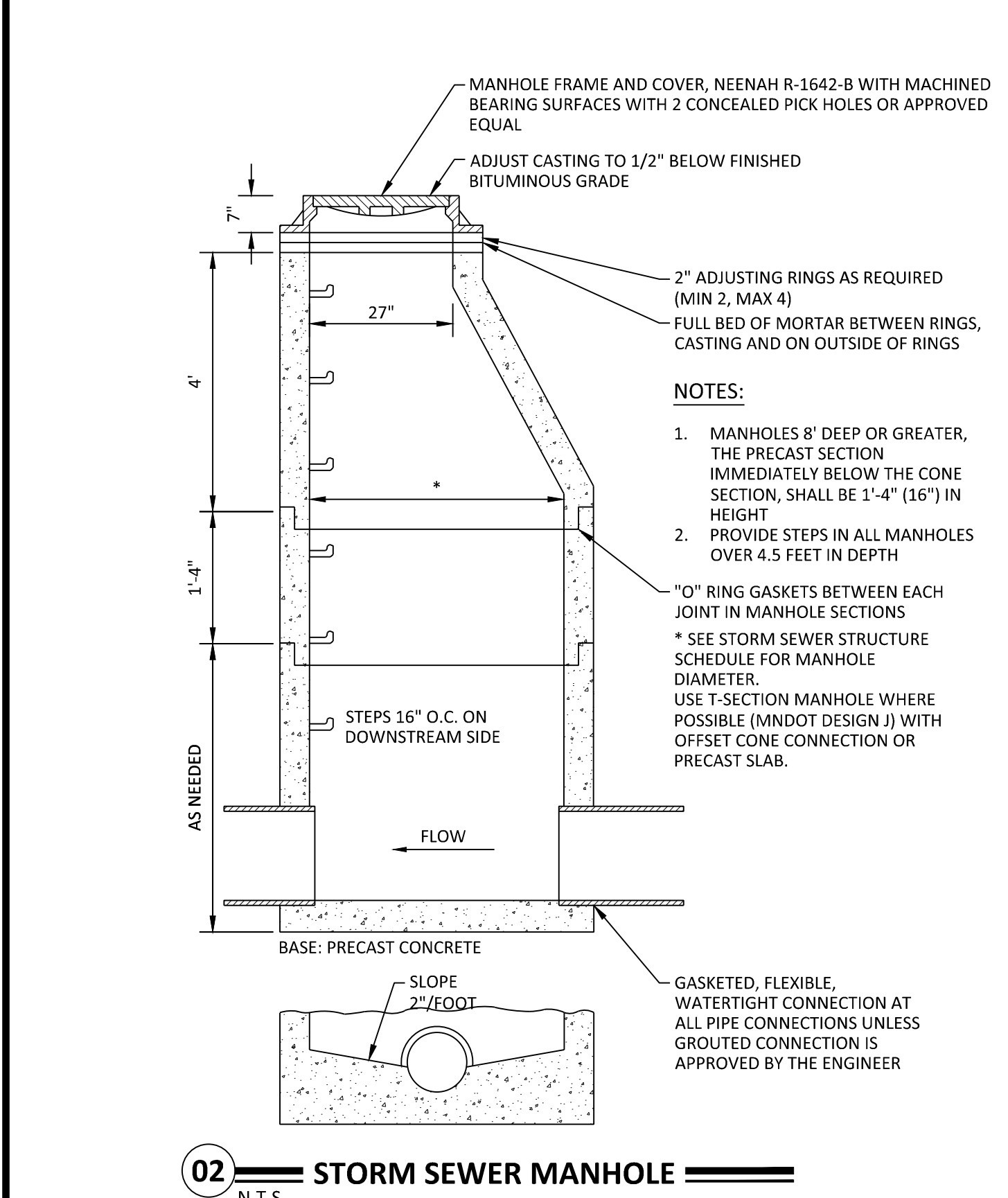
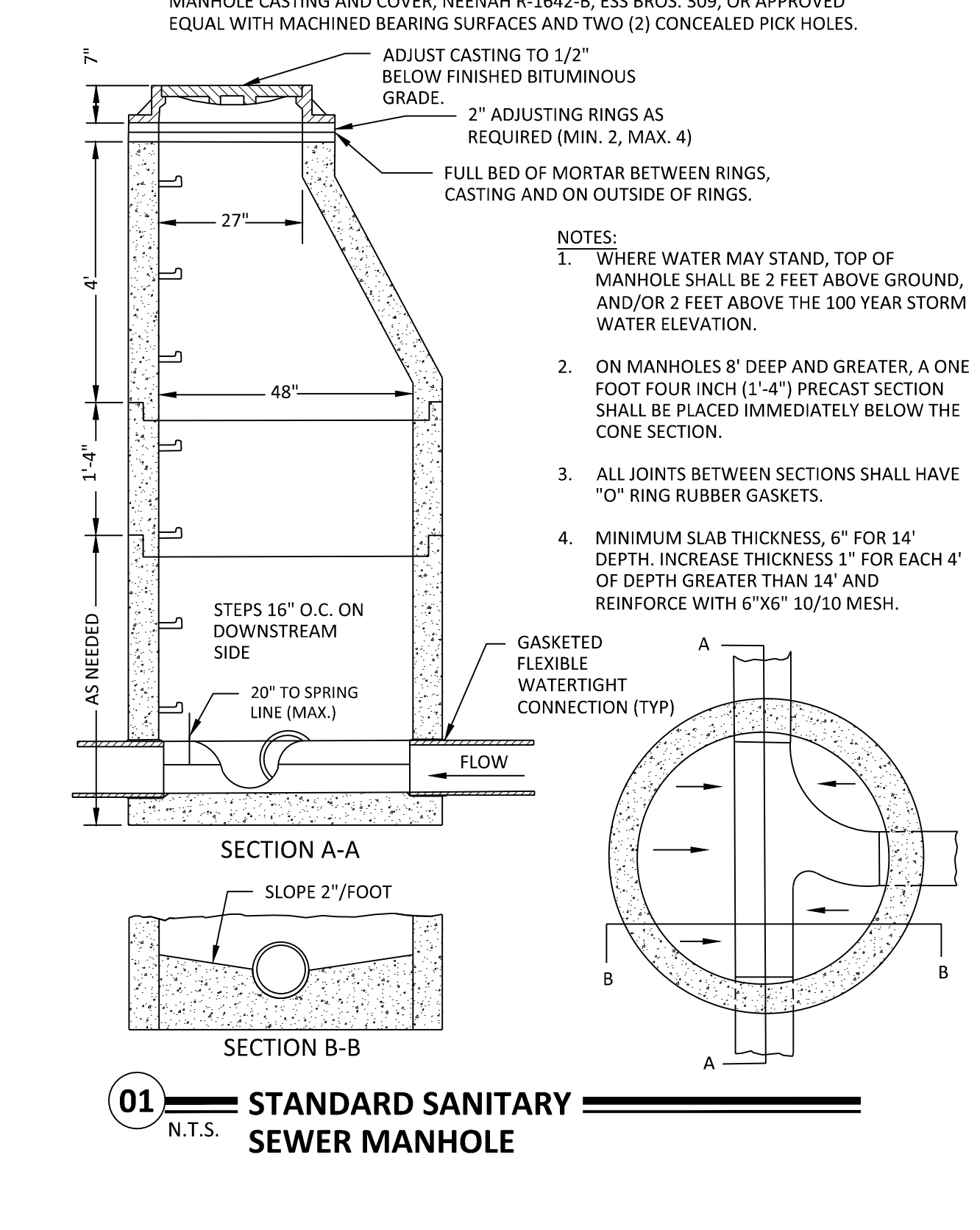
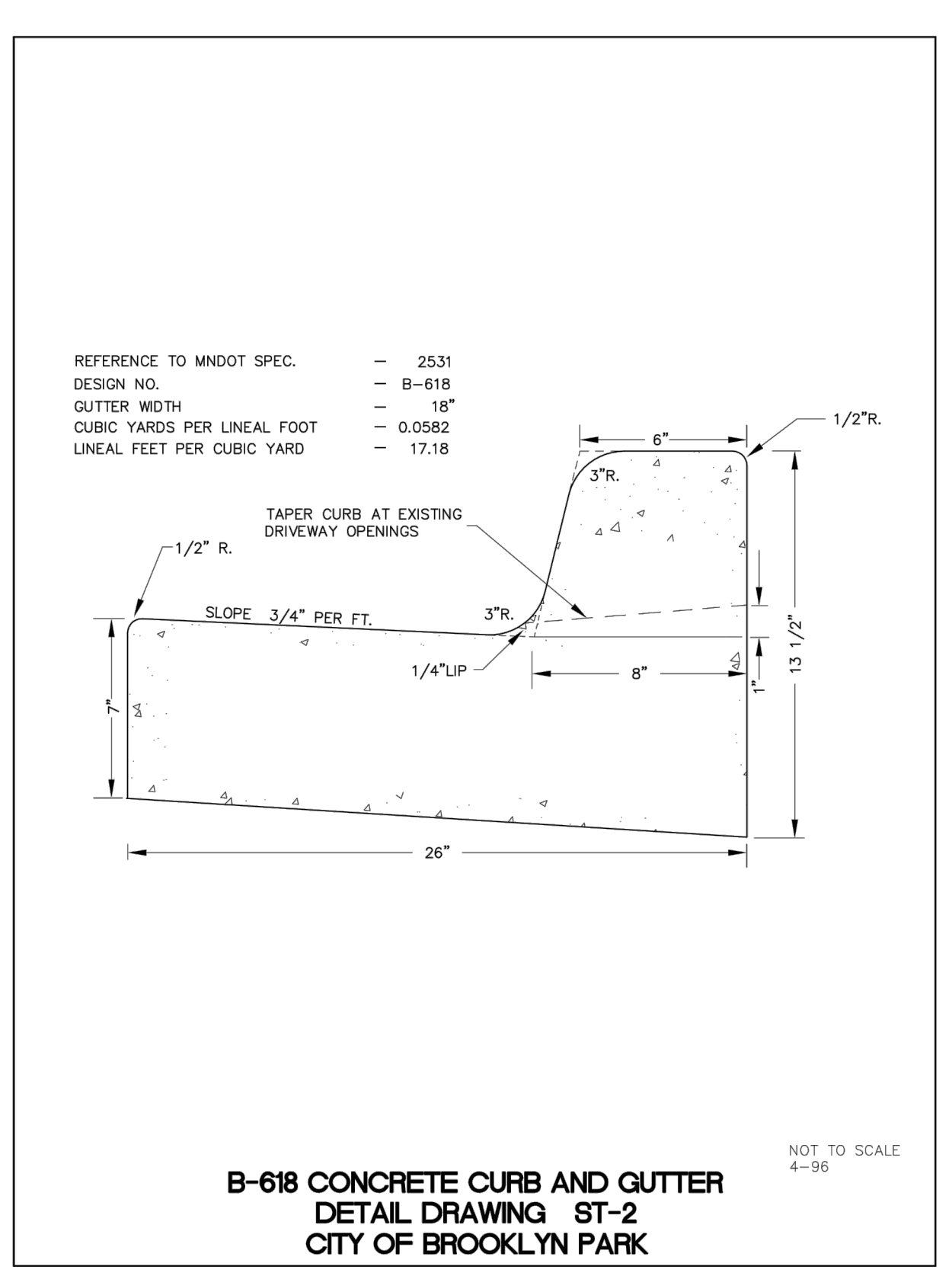
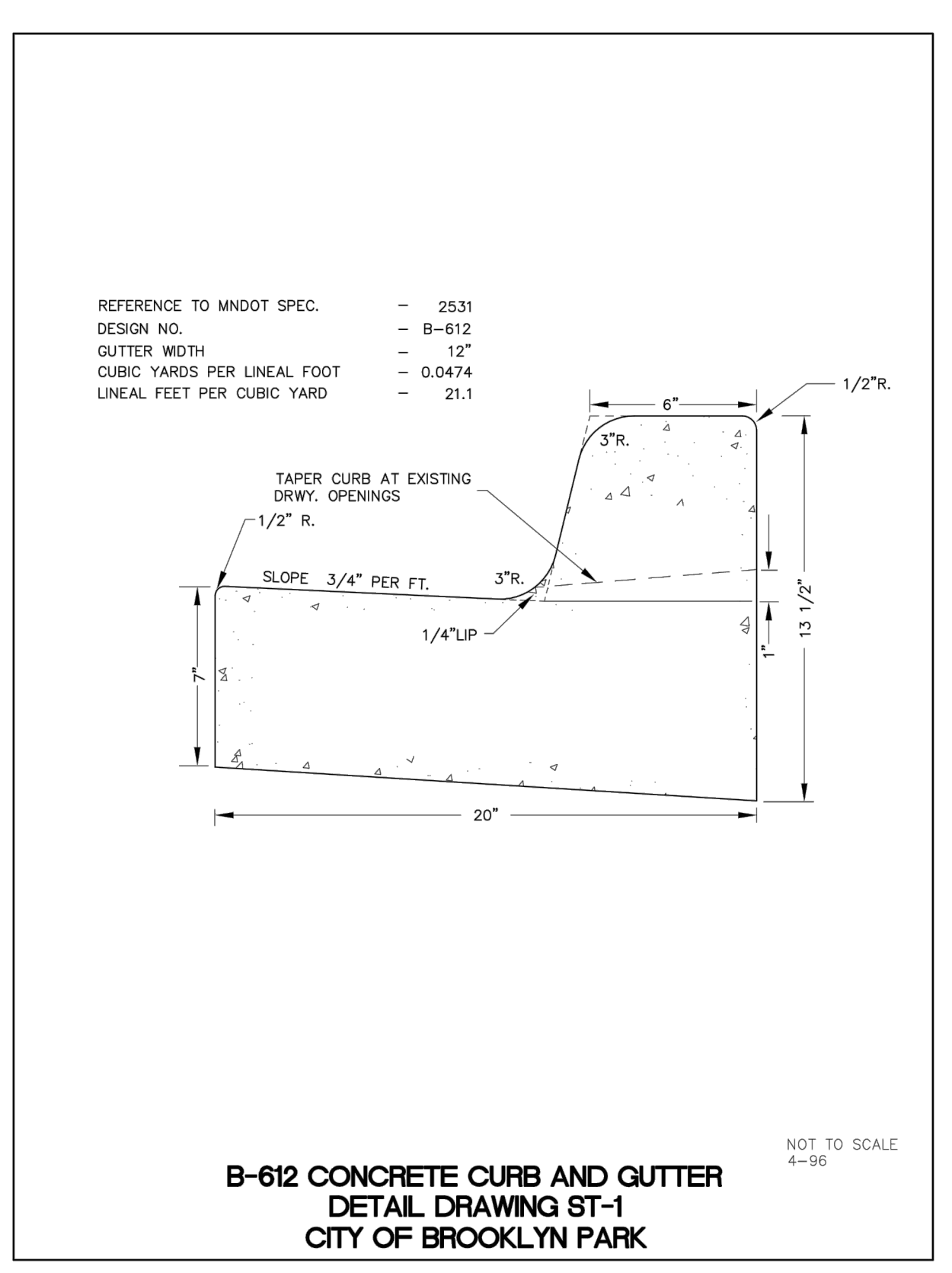
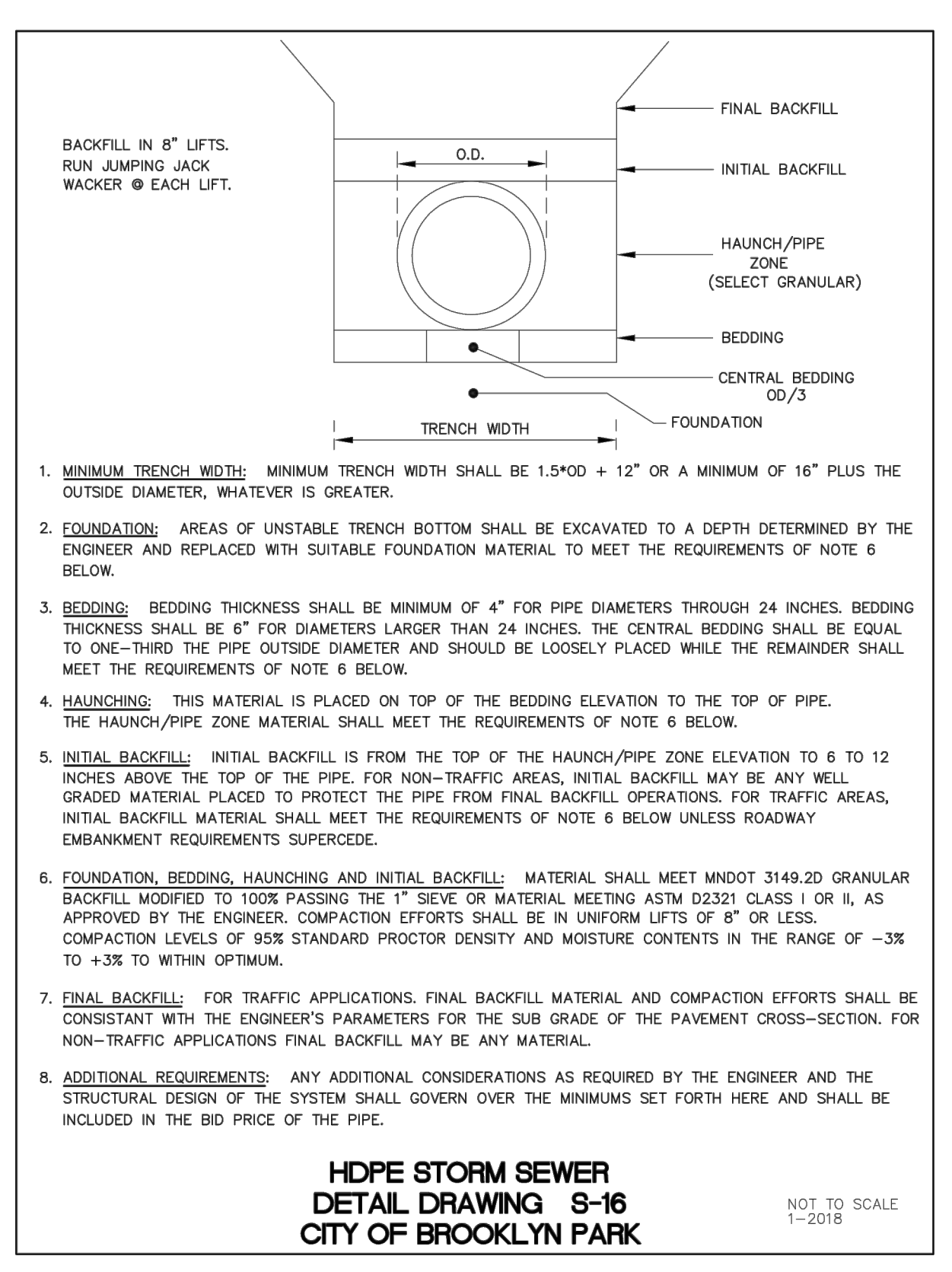
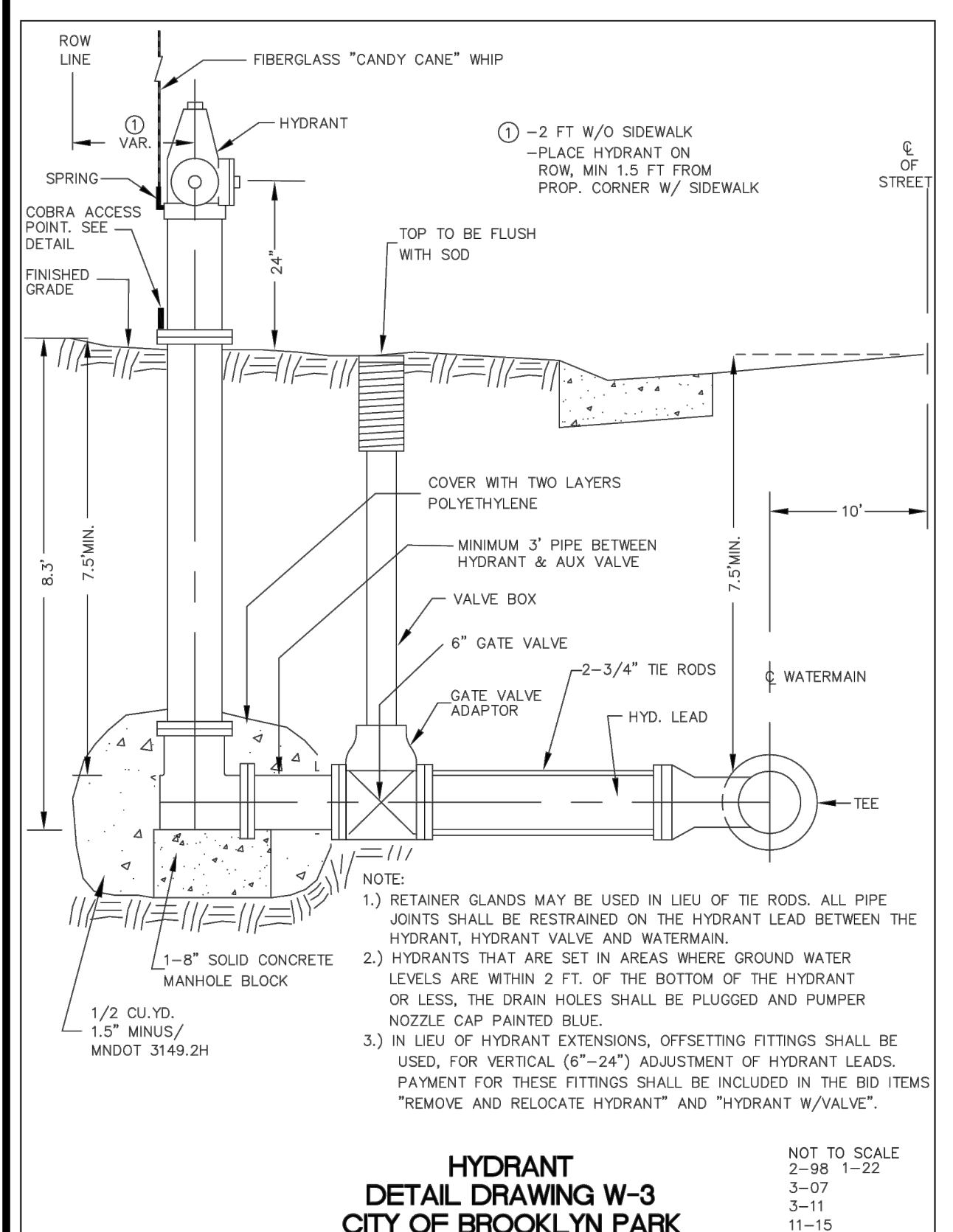
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Print Name: JUD WITZEL
 Date: 05/05/2023 License #: 58666

PRELIMINARY	05/05/2023	DRAWN BY	EAB
DESIGN REVIEW		DESIGNED BY	JRM
PERMIT SUBMITTAL		CHECKED BY	JDB
CONSTRUCTION DOCUMENTS		PROJECT NO.	52001

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UTILITY PLAN
 THE DORAN GROUP
 610 WEST BUILDING 5
 PRELIMINARY SITE DEVELOPMENT PLANS
 BROOKLYN PARK, MN

SHEET
C6.01



NO	DATE	BY	CHKD	APPR	COMMENT
05/05/2023	EAB	JRM	JDB		ENTITLEMENT PACKAGE
06/02/2023	TLL	TLL	JDB		AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

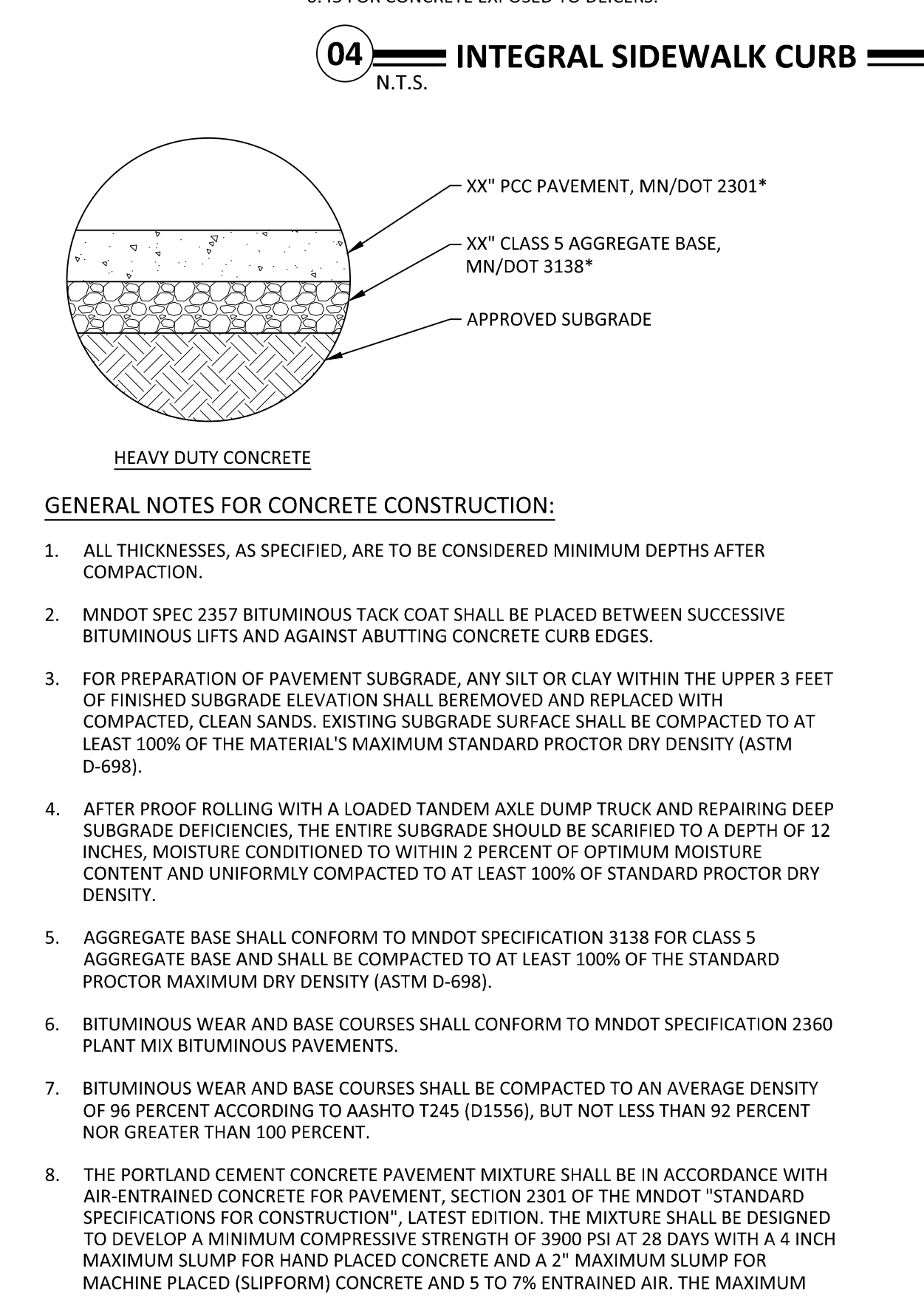
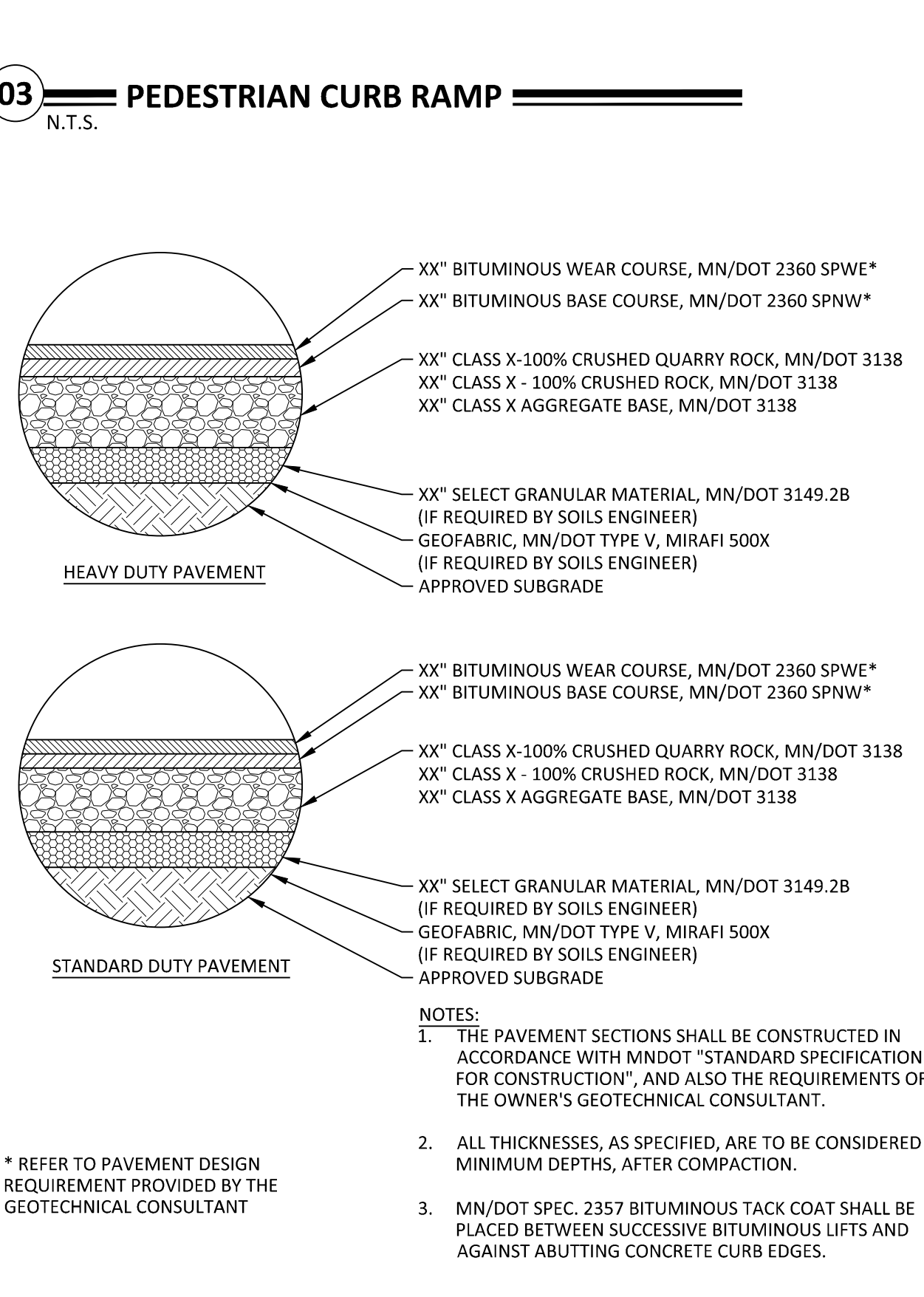
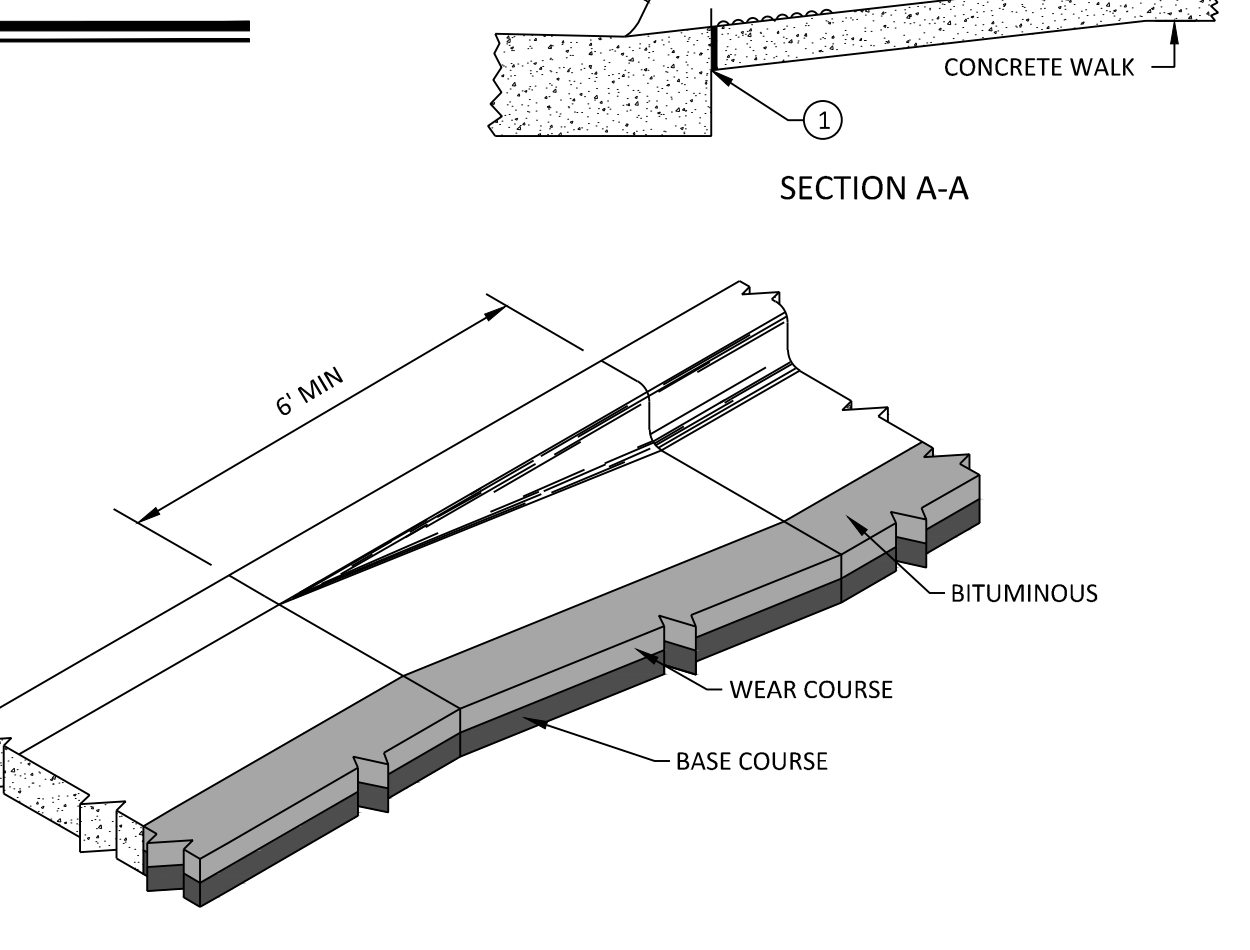
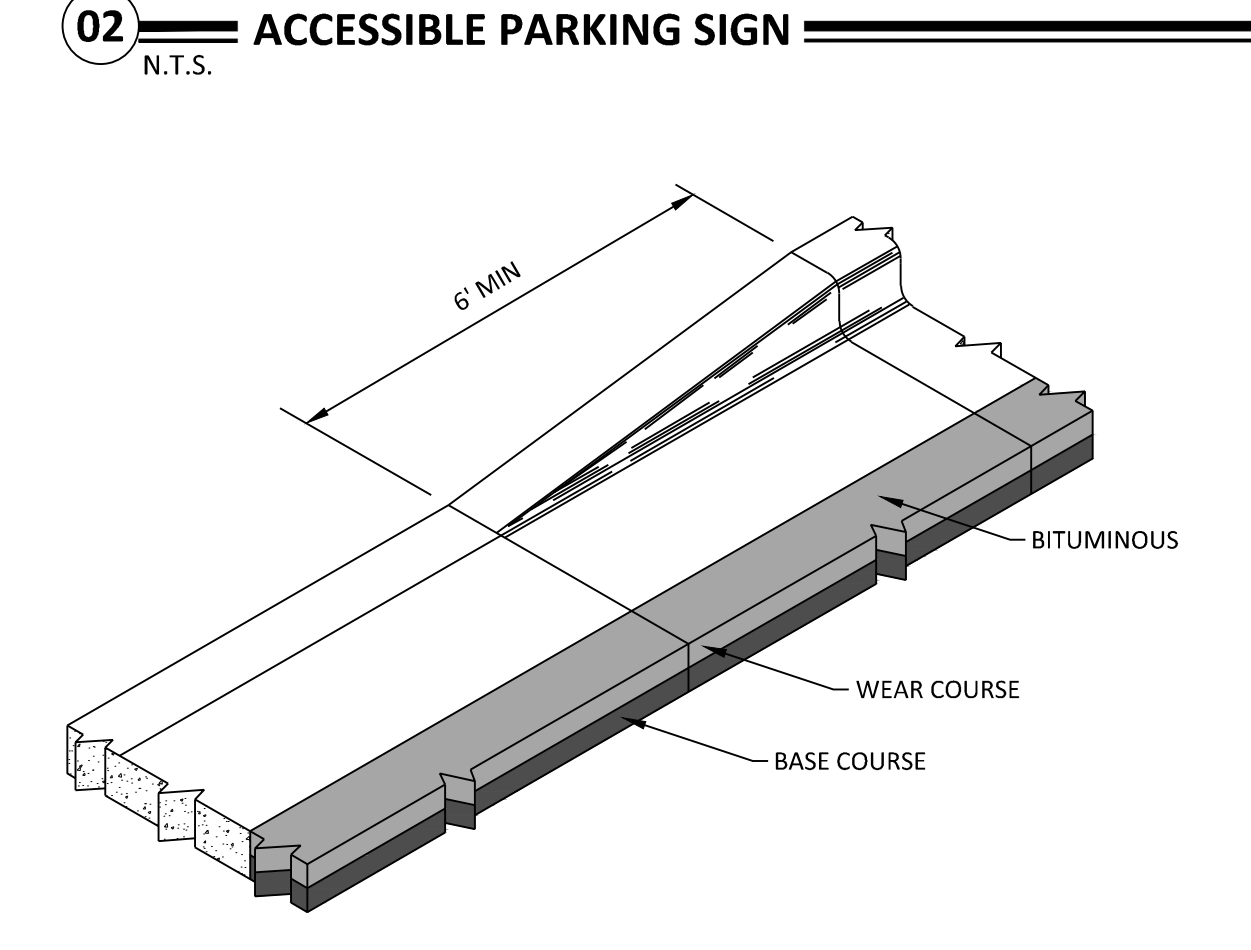
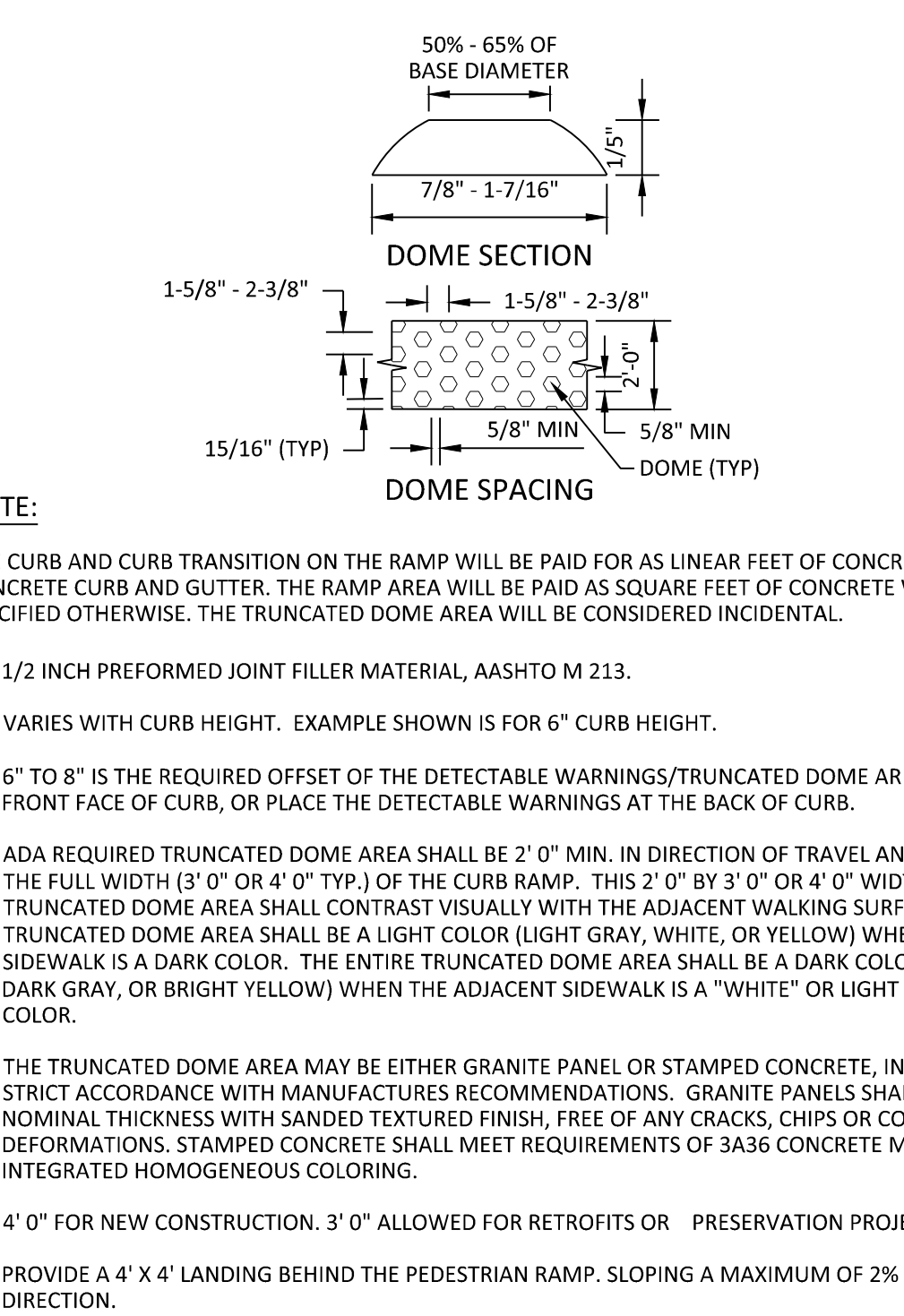
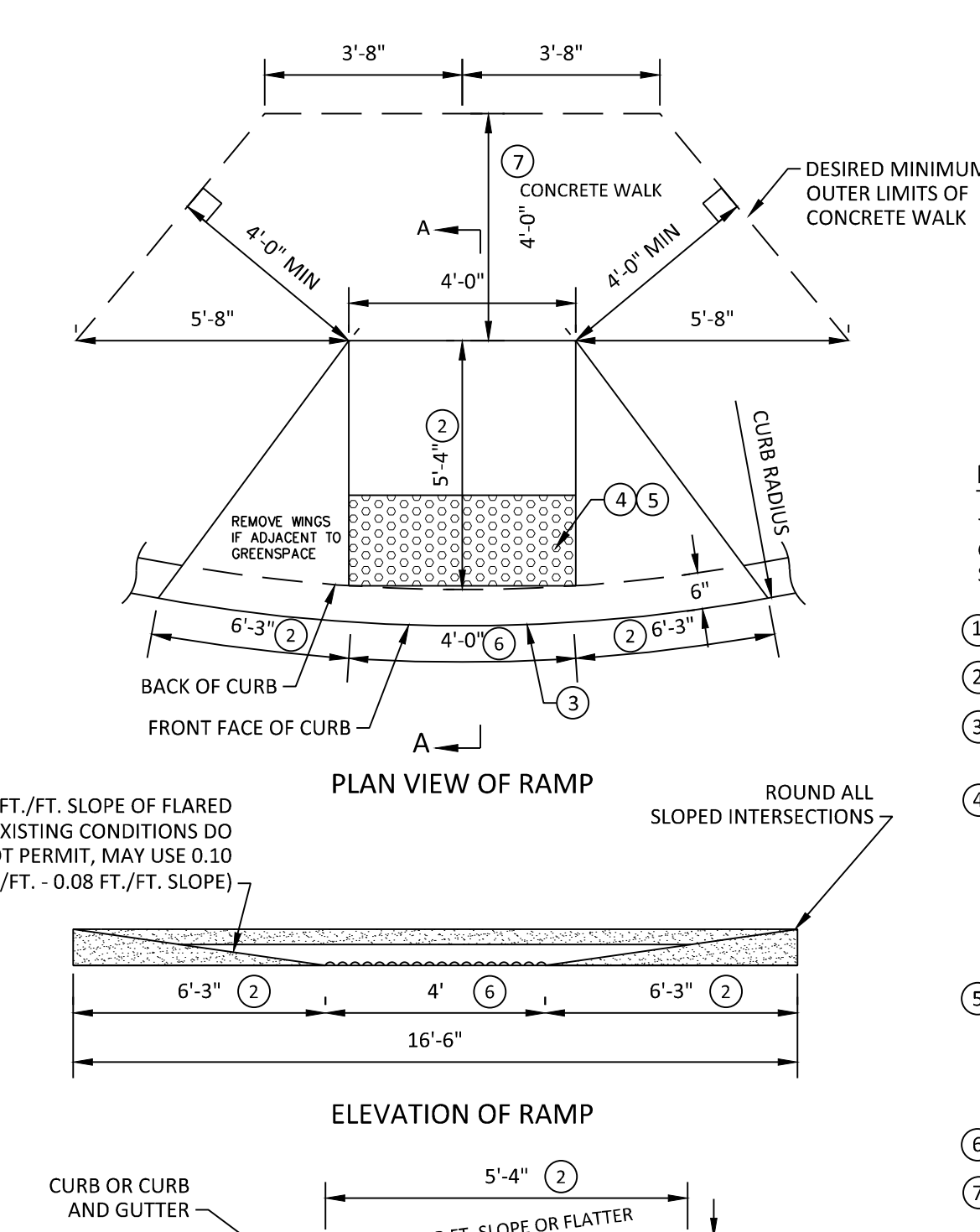
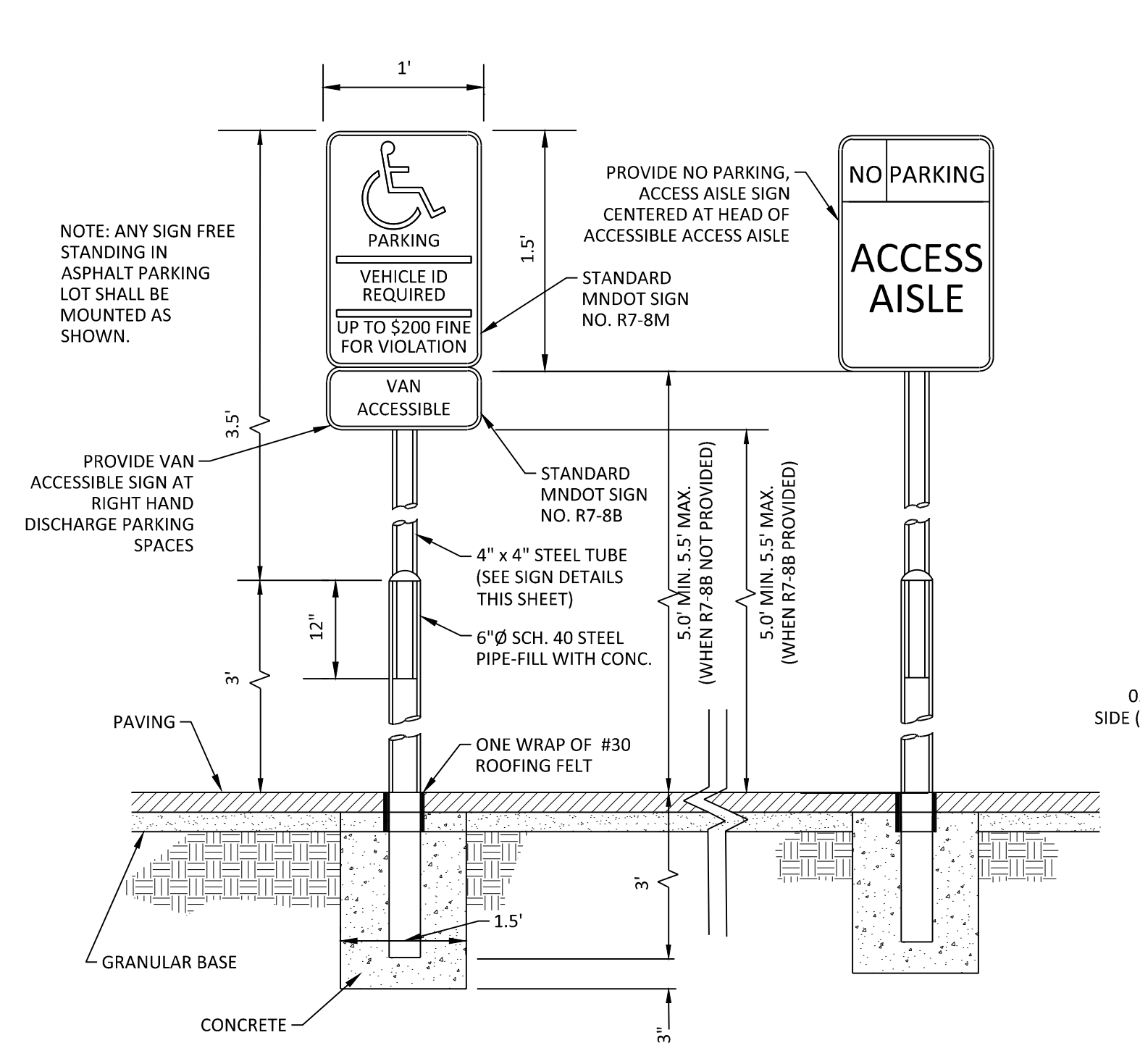
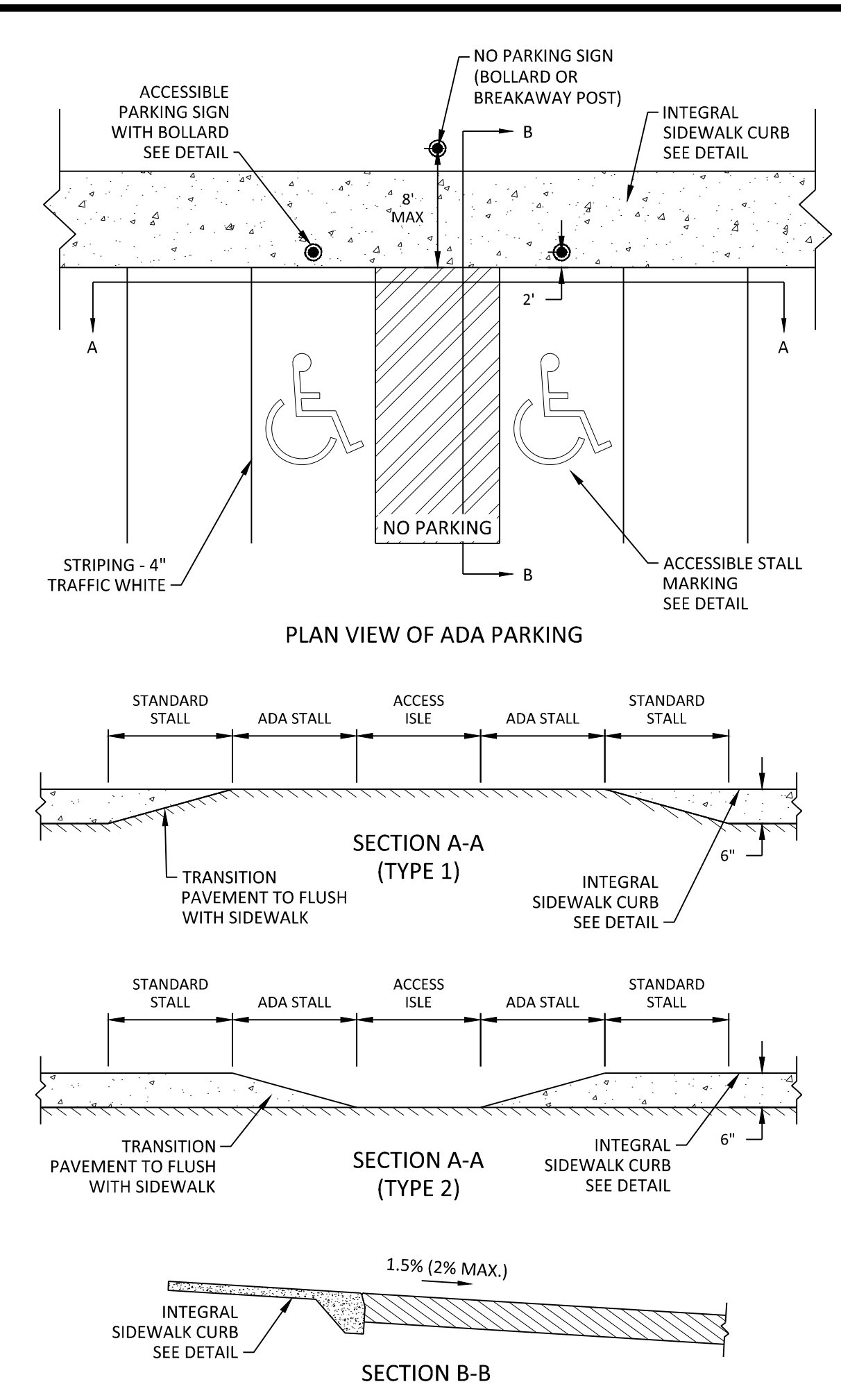
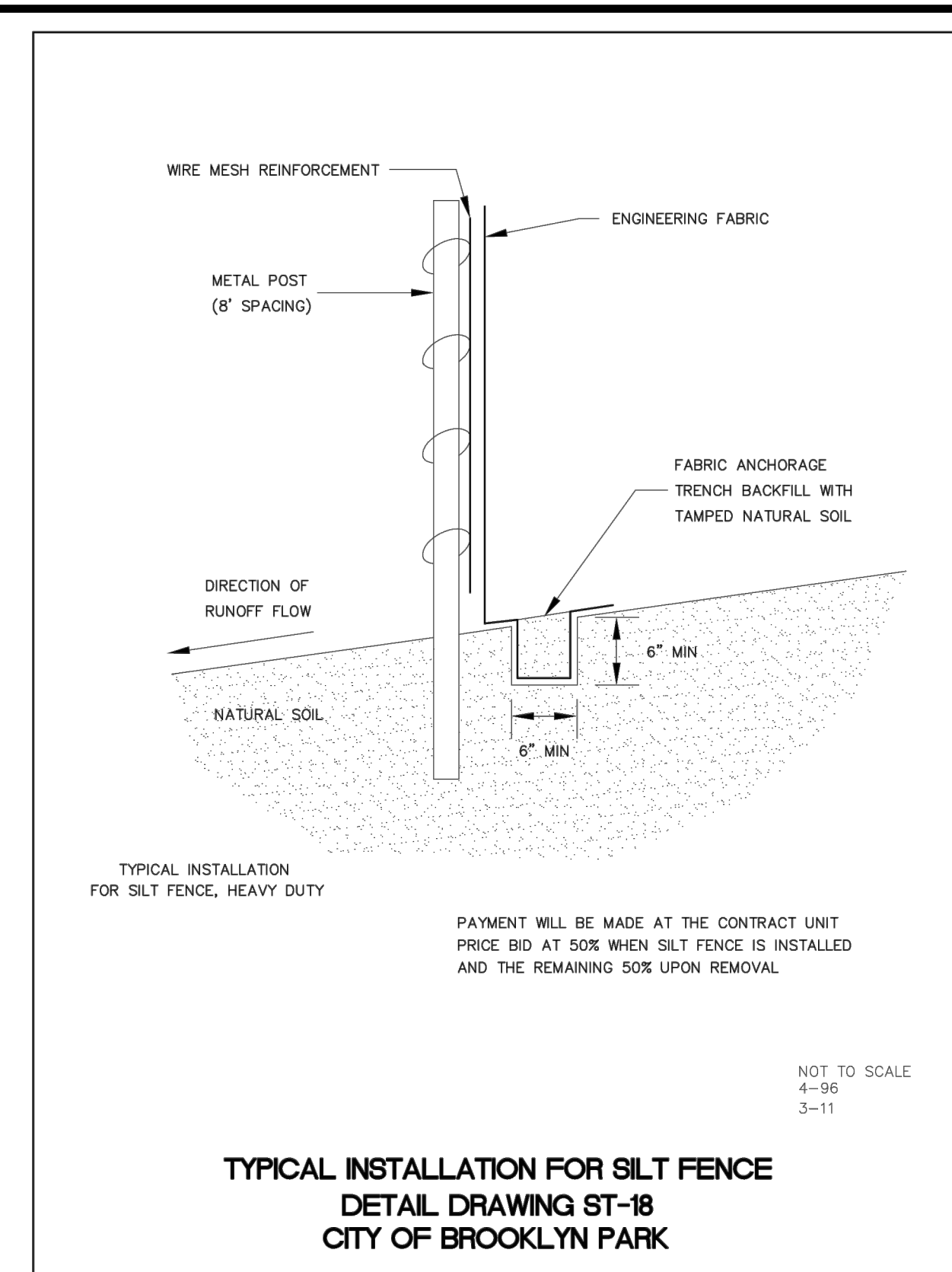
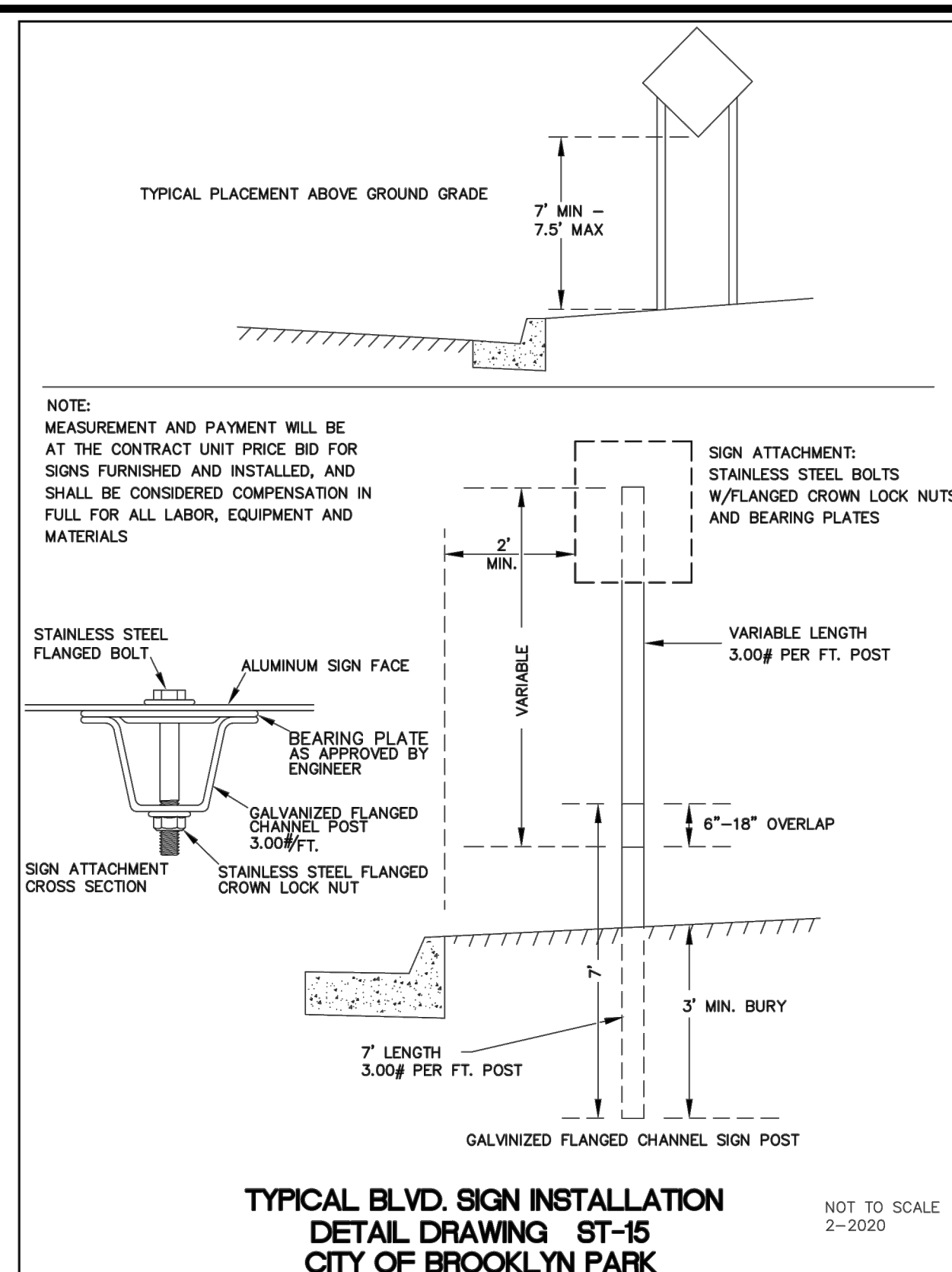
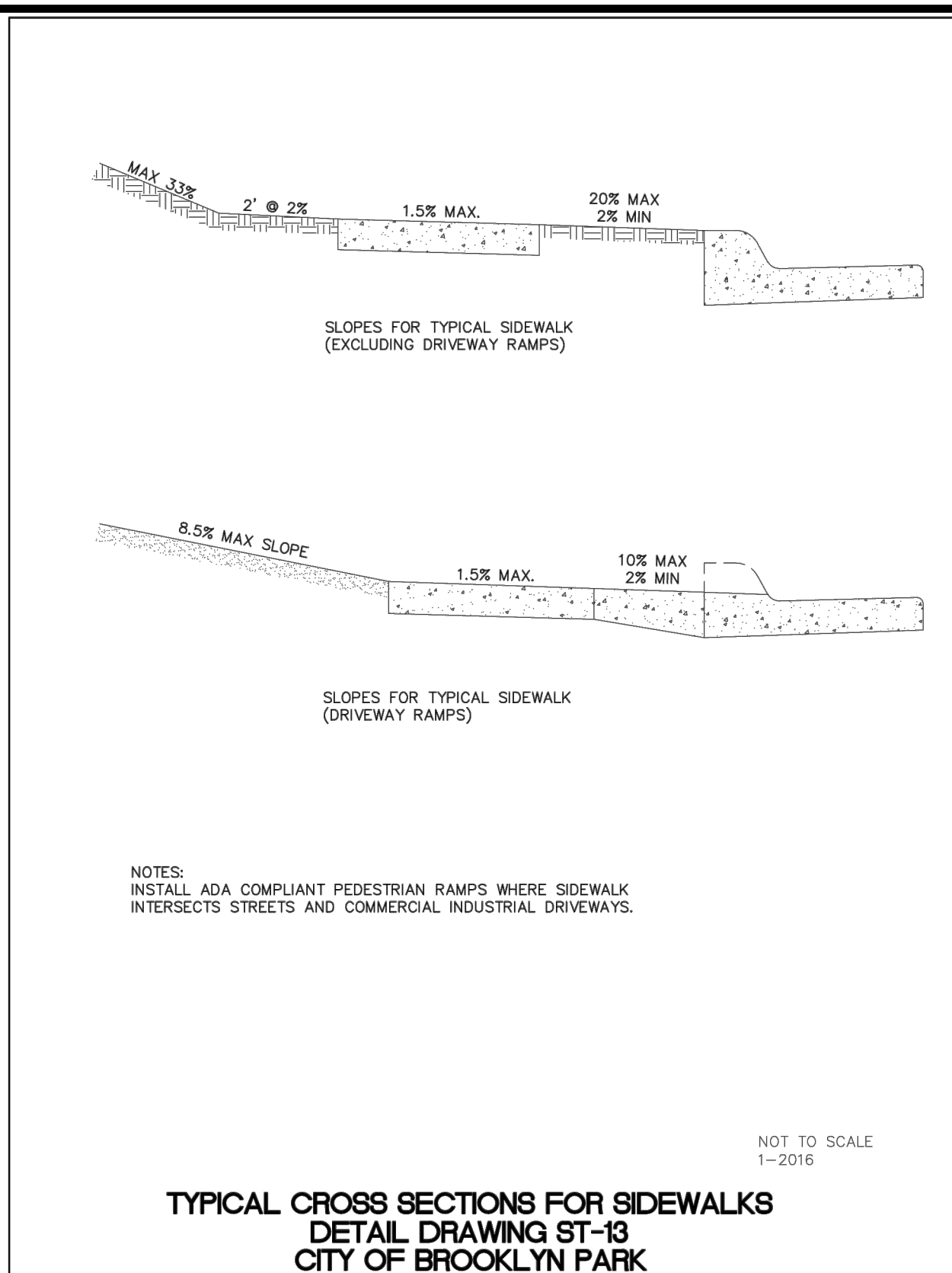
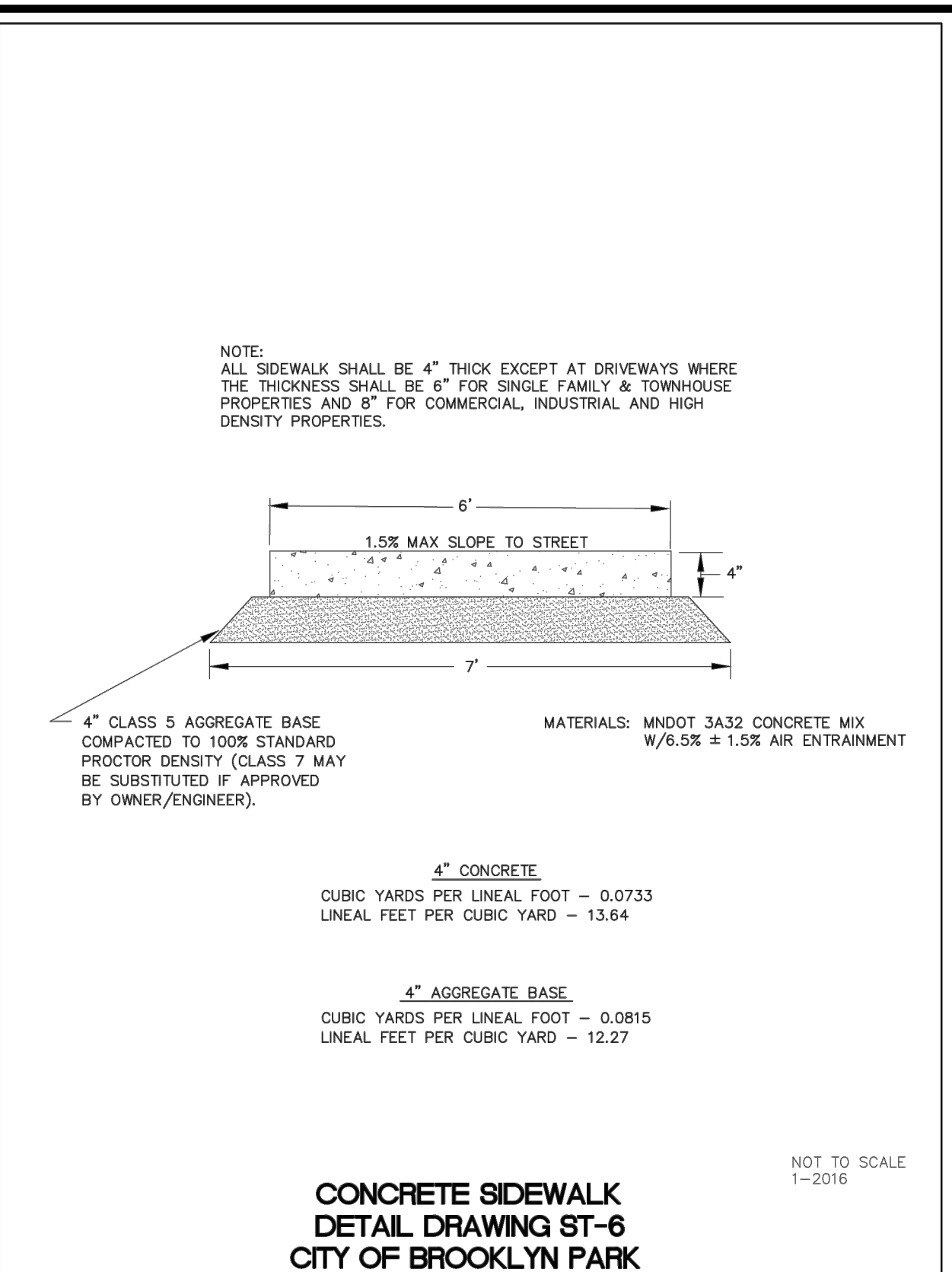
Print Name: **JOSEPH BAILEY**

Date: **05/05/2023** License # **58666**

PRELIMINARY	05/05/2023	DRAWN BY	EAB
DESIGN REVIEW		DESIGNED BY	JRM
PERMIT SUBMITTAL		CHECKED BY	JDB
CONSTRUCTION DOCUMENTS		PROJECT NO.	52001

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DETAILS
THE DORAN GROUP
610 WEST BUILDING 5
PRELIMINARY SITE DEVELOPMENT PLANS
BROOKLYN PARK, MN



24.15 LMS TECH | JOSEPH BAILEY | 5/26/2023 9:47:33 AM | PROJECTS20201-C9.02-015-DWG-C9.02-02-DETAILS

NO	DATE	BY	CKD	APPR	COMMENT
05/05/2023	EAB	JRM	JDB		ENTITLEMENT PACKAGE
06/02/2023	TLL	TLL	JDB		AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: JOSEPH BAILEY

Date: 05/05/2023 License # 58666

PRELIMINARY	05/05/2023
DESIGN REVIEW	
PERMIT SUBMITTAL	
CONSTRUCTION DOCUMENTS	

DRAWN BY
EAB

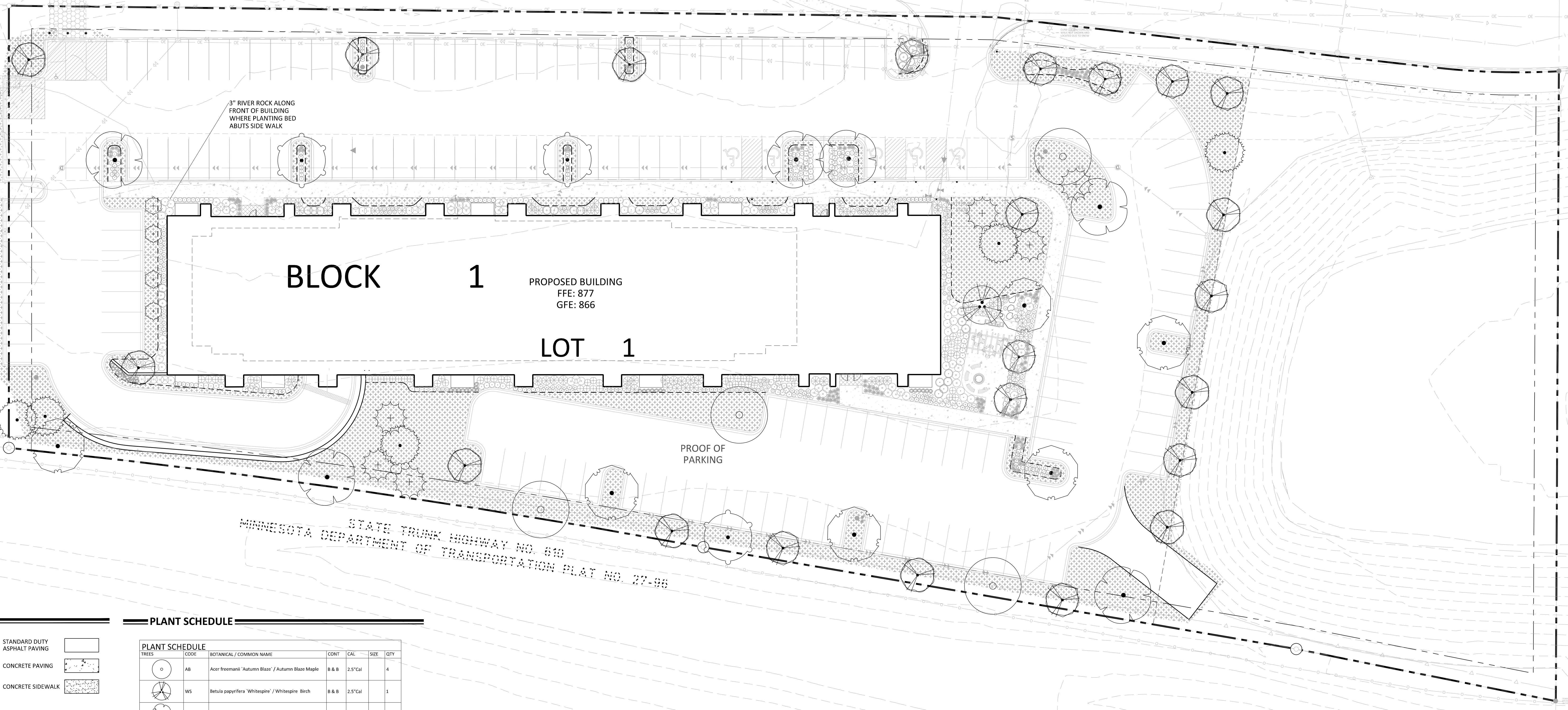
DESIGNED BY
JRM

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JDB

PROJECT NO.
52001

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DETAILS
THE DORAN GROUP
610 WEST BUILDING 5
PRELIMINARY SITE DEVELOPMENT PLANS
BROOKLYN PARK, MN



STATE TRUNK HIGHWAY NO. 610
MINNESOTA DEPARTMENT OF TRANSPORTATION PLAT NO. 27-96

LEGEND

PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
PROPERTY LIMIT	---	---
CURB & GUTTER	---	---
EASEMENT	---	---
BUILDING	---	---
RETAINING WALL	---	---
WETLAND LIMITS	---	---
TREELINE	---	---
LANDSCAPE EDGING	---	---
STORM SEWER	---	---
SANITARY SEWER	---	---
FORCEMAIN (SAN.)	---	---
WATERMAIN	---	---
YARDDRAIN	---	---
LIMITS OF DISTURBANCE	---	---
TREE PROTECTION FENCE	---	---
TREE TO BE REMOVED	---	---
SIGN	---	---
PIPE BOLLARD	---	---
RIPRAP	---	---

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
○	AB	Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple	B & B	2.5" Cal	4'	4
○	WS	Betula papyrifera 'Whitespire' / Whitespire Birch	B & B	2.5" Cal	1'	1
○	HB	Cornus occidentalis / Common Hackberry	B & B	2.5" Cal	6'	6
○	IH	Gleditsia triacanthos 'Imperial' / Imperial Honeylocust	B & B	2.5" Cal	3'	3
○	RP	Quercus robur x wari 'Long' / Regal Prince Oak	B & B	2.5" Cal	4'	4
○	BL	Tilia americana 'Boulevard' / Boulevard Linden	B & B	2.5" Cal	6'	6
CONIFERS	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
○	BF	Abies balsamea / Balsam Fir	B & B	6"	6'	6
○	WP	Pinus strobus / White Pine	B & B	6"	6'	5
ORV. TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
○	ML	Malus x 'Red Splendor' / Red Splendor Crabapple	B & B	2" Cal	12'	12
○	JL	Syringa reticulata / Japanese Tree Lilac	B & B	2" Cal	10'	10
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
○	TUR HIG	Turf Sod Highland Sod / Sod	Sod			

BROOKLYN PARK LANDSCAPE CODE

§ 152.373 LANDSCAPING STANDARDS

(c) Planned Community Development District (PCDD) and Planned Unit Development (PUD) sites shall use the B1 Zoning District landscaping requirements; Town Center (TC) shall use the B3 Zoning District landscaping requirements; however can be modified through the Site Plan Review Process.

CALCULATIONS	REQUIRED	PROPOSED
OPEN SPACE	20% (32,225SF)	54% (88,220 SF)
ONE OVERSTORY TREE PER 3,000 SF OF OPEN SPACE REQUIREMENT	11	11
ONE CONIFEROUS TREE PER 3,000 SF OF OPEN SPACE REQUIREMENT	11	11
ONE ORNAMENTAL TREE PER 3,500 SF OF OPEN SPACE REQUIREMENT	22	22
ONE SHRUB PER 100 SF OF OPEN SPACE REQUIREMENT	322	322
ONE STREET TREE PER 70 FT OF ROAD FRONTAGE	13	13
ONE TREE PER PARKING ISLAND	20	•
TWO SHRUBS PER PARKING ISLAND	40	•

*FULFILLED BY OTHER LANDSCAPE REQUIREMENTS

24.LS (LMS) TECH | JOSEPH BAILEY | 5/20/2023 11:25:52 AM | PROJECTS\2020\610 WEST BUILDING L1-L5 LSCP DWG\LOT TREES AND GROUND COVER

NO	DATE	BY	CKD	APPR	COMMENT
05/05/2023	EAB	JRM	JDB		ENTITLEMENT PACKAGE
06/02/2023	TLL	TLL	JDB		AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect in the laws of the State of Minnesota.

Print Name: _____

Date: _____ License # _____

NOT FOR CONSTRUCTION

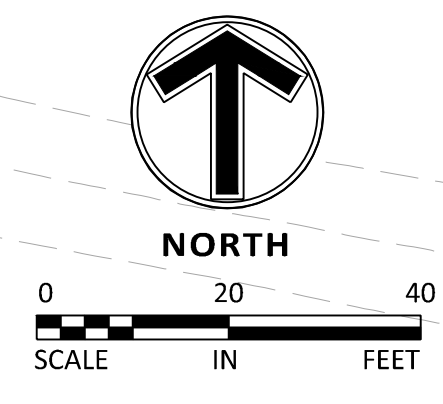
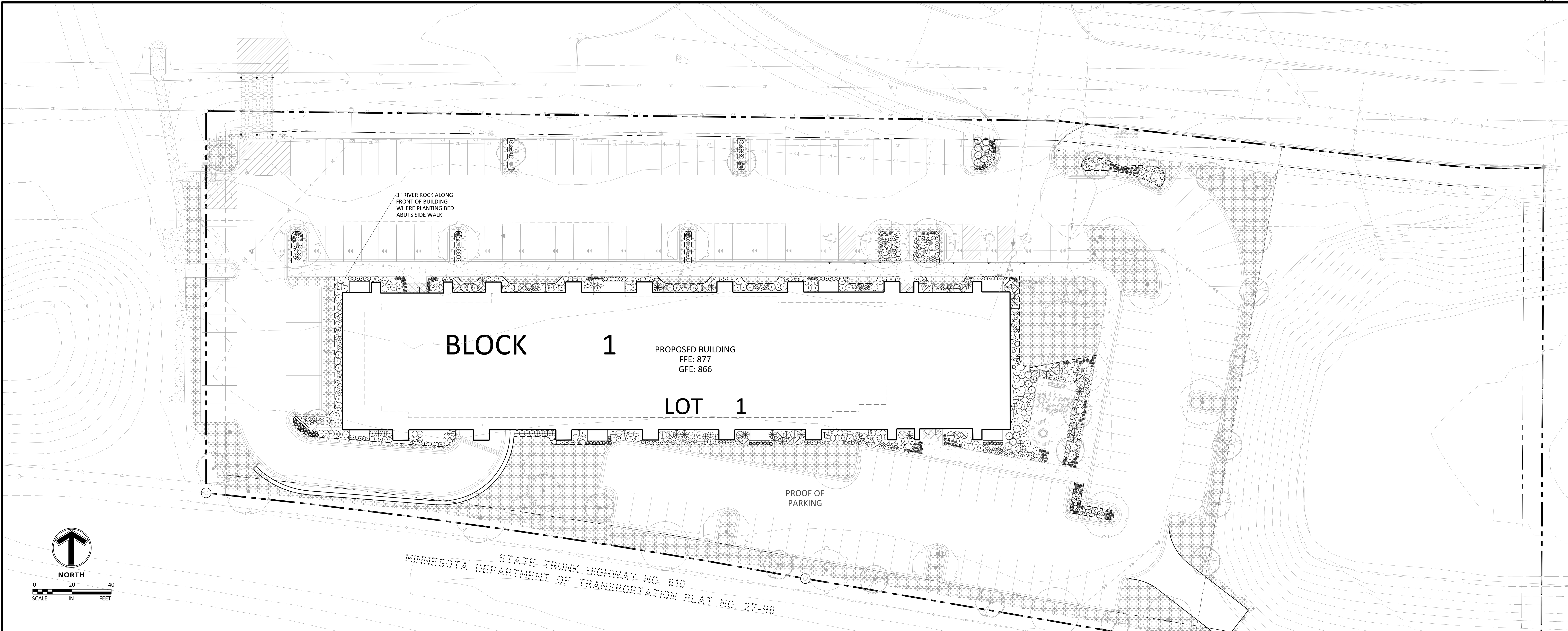
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DESIGN REVIEW	DESIGNED BY
PERMIT SUBMITTAL	CHECKED BY
CONSTRUCTION DOCUMENTS	PROJECT NO. 52001

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LANDSCAPE PLAN

THE DORAN GROUP
610 WEST BUILDING 5
PRELIMINARY SITE DEVELOPMENT PLANS
BROOKLYN PARK, MN

SHEET
L1.01



LEGEND

PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING	CONCRETE PAVING	CONCRETE SIDEWALK
PROPERTY LIMIT				
CURB & GUTTER				
EASEMENT				
BUILDING				
RETAINING WALL				
WETLAND LIMITS				
TREELINE				
LANDSCAPE EDGING				
STORM SEWER				
SANITARY SEWER				
FORCEMAIN (SAN.)				
WATERMAIN				
YARDDRAIN				
LIMITS OF DISTURBANCE				
TREE PROTECTION FENCE				
TREE TO BE REMOVED				
SIGN				
PIPE BOLLARD				
RIPRAP				

BROOKLYN PARK LANDSCAPE CODE

§ 152.373 LANDSCAPING STANDARDS
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ONE STREET TREE PER 70 FT OF ROAD FRONTAGE	13	13
ONE TREE PER PARKING ISLAND	20	•
TWO SHRUBS PER PARKING ISLAND	40	•

*FULFILLED BY OTHER LANDSCAPE REQUIREMENTS

PLANT SCHEDULE

SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
⊕	BH	Diervilla lonicera / Dwarf Bush Honeysuckle	5 gal	62
○	LH	Hydrangea paniculata 'Jane' / Little Lime Hydrangea	5 gal	41
⊗	BJ	Juniperus sabinna 'Broadmoor' / Broadmoor Juniper	5 gal	59
○	CJ	Juniperus sabinna 'Monna' / Calgary Carpet Juniper	5 gal	24
○	TN	Physocarpus opulifolius 'SMPTW' / Tiny Wine Ninebark	5 gal	79
○	AC	Ribes alpinum 'Pumilum' / Dwarf Alpine Currant	5 gal	52
○	HA	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	10 gal	5
GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
○	BGG	Bouteloua gracilis 'Blonde Ambition' / Blue Grama	1 gal	61
⊗	KFG	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	37
○	PDS	Sporobolus heterolepis / Prairie Dropseed	1 gal	144
PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
⊗	BDL	Hemerocallis x 'Baja' / Baja Daylily	1 gal	157
⊗	CCB	Heuchera x 'Lime Marmalade' / Chartreuse Coral Bells	1 gal	49
⊗	GUH	Hosta x 'Guacamole' / Plantain Lily	1 gal	45
⊗	LRS	Perovskia atriplicifolia 'Little Spire' TM / Little Spire Russian Sage	1 gal	151

24.LS.LMS.TECH | JOSEPH BAILEY | 5/30/2023 11:25:52 AM | PROJECTS\20201 CAD\DWG\202011-01-SCF-DWGL1.DWG | 102_SHRUB_PLAN

NO	DATE	BY	CHKD	APPR	COMMENT
	05/05/2023	EAB	JRM	JDB	ENTITLEMENT PACKAGE
	06/02/2023	TLL	TLL	JDB	AFFORDABLE HOUSING PLAN & RESPONSE TO CITY COMMENTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Print Name: _____
Date: _____ License #: _____

NOT FOR CONSTRUCTION

PRELIMINARY 05/05/2023	DRAWN BY
DESIGN REVIEW	DESIGNED BY
PERMIT SUBMITTAL	CHECKED BY
CONSTRUCTION DOCUMENTS	PROJECT NO. 52001

LANDSCAPE PLAN

THE DORAN GROUP
610 WEST BUILDING 5
PRELIMINARY SITE DEVELOPMENT PLANS
BROOKLYN PARK, MN

NOTES

GENERAL NOTES:

- 1. THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
- 2. THE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.

- 22.1. POTTED PLANTS: 4/1 - 6/1, 9/21 - 11/1
- 22.2. DECIDUOUS B&B: 4/1 - 6/1, 9/21 - 11/1
- 22.3. EVERGREEN POTTED PLANTS: 4/1 - 6/1, 9/21 - 11/1

NATIVE SEED MIX NOTES:

- 1. ESTABLISHMENT AND YEAR ONE: MOW THREE(3) TIMES FIRST YEAR ON 30-DAY INTERVALS TO A HEIGHT BETWEEN FIVE AND EIGHT INCHES. DO NOT USE FERTILIZERS. SPOT TREAT INVASIVE WOODY PLANTS OR HAND WEED INDIVIDUAL NOXIOUS WEEDS.
- 2. YEAR TWO: PERFORM ONE MOWING BETWEEN MID-JUNE AND MID-AUGUST. SPOT SPRAY WEEDS AS NEEDED WHERE THEY ARE ESPECIALLY DOMINANT.

PLANTING NOTES:

- 1. NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- 2. A GRANULAR PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AT THE MANUFACTURER'S RECOMMENDED RATE PRIOR TO PLANT INSTALLATION.
- 3. ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.

TURF NOTES:

- 1. TURF ESTABLISHMENT SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROVISIONS OF THE MNDOT 2105 AND 2575 EXCEPT AS MODIFIED BELOW:
- 1. ALL AREAS TO RECEIVE SOD SHALL ALSO RECEIVE 6" OF TOPSOIL PRIOR TO INSTALLING SOD. TOPSOIL SHALL BE FREE OF TREE ROOTS, STUMPS, BUILDING MATERIAL, AND TRASH, AND SHALL BE FREE OF STONES LARGER THAN 1 1/2" INCHES IN ANY DIMENSION.

GENERAL TREE SPECIFICATIONS:

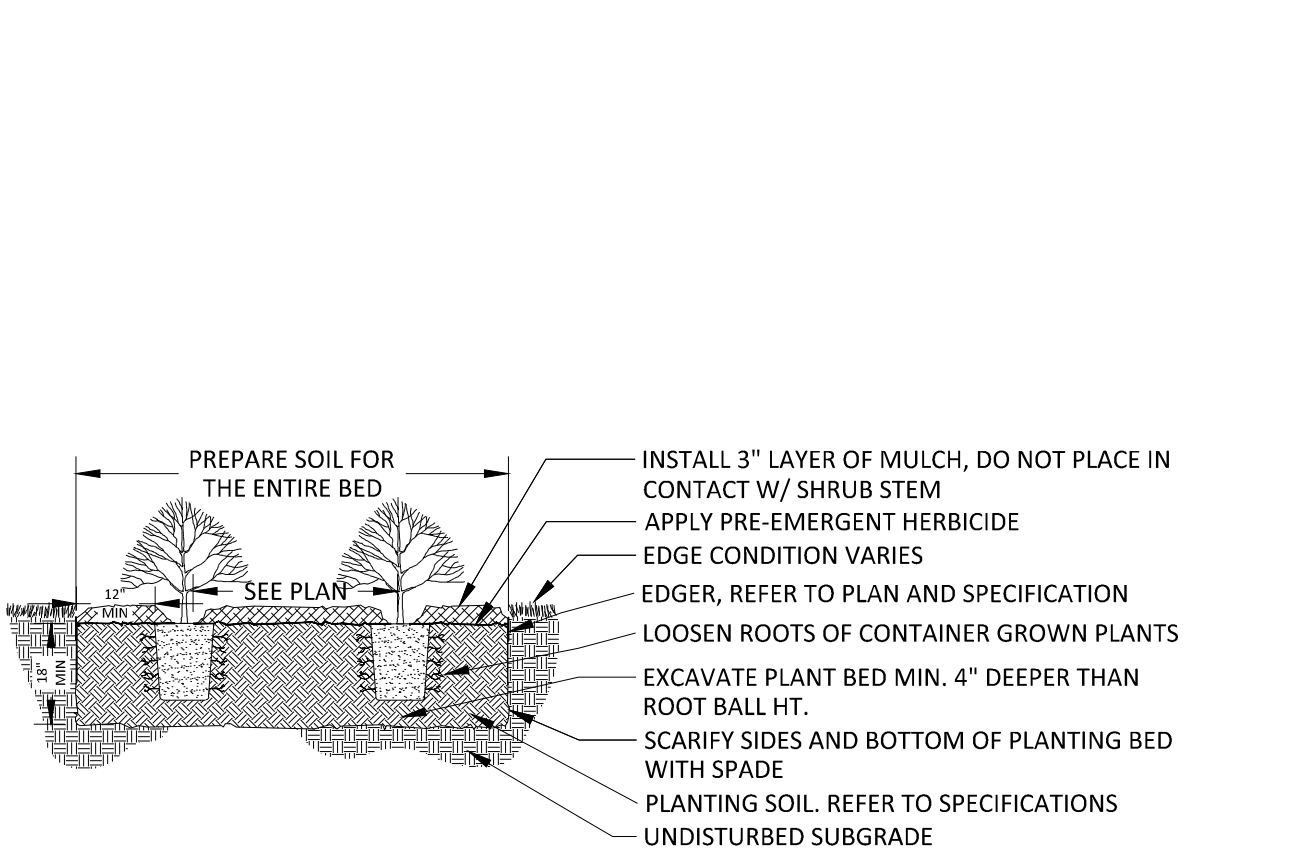
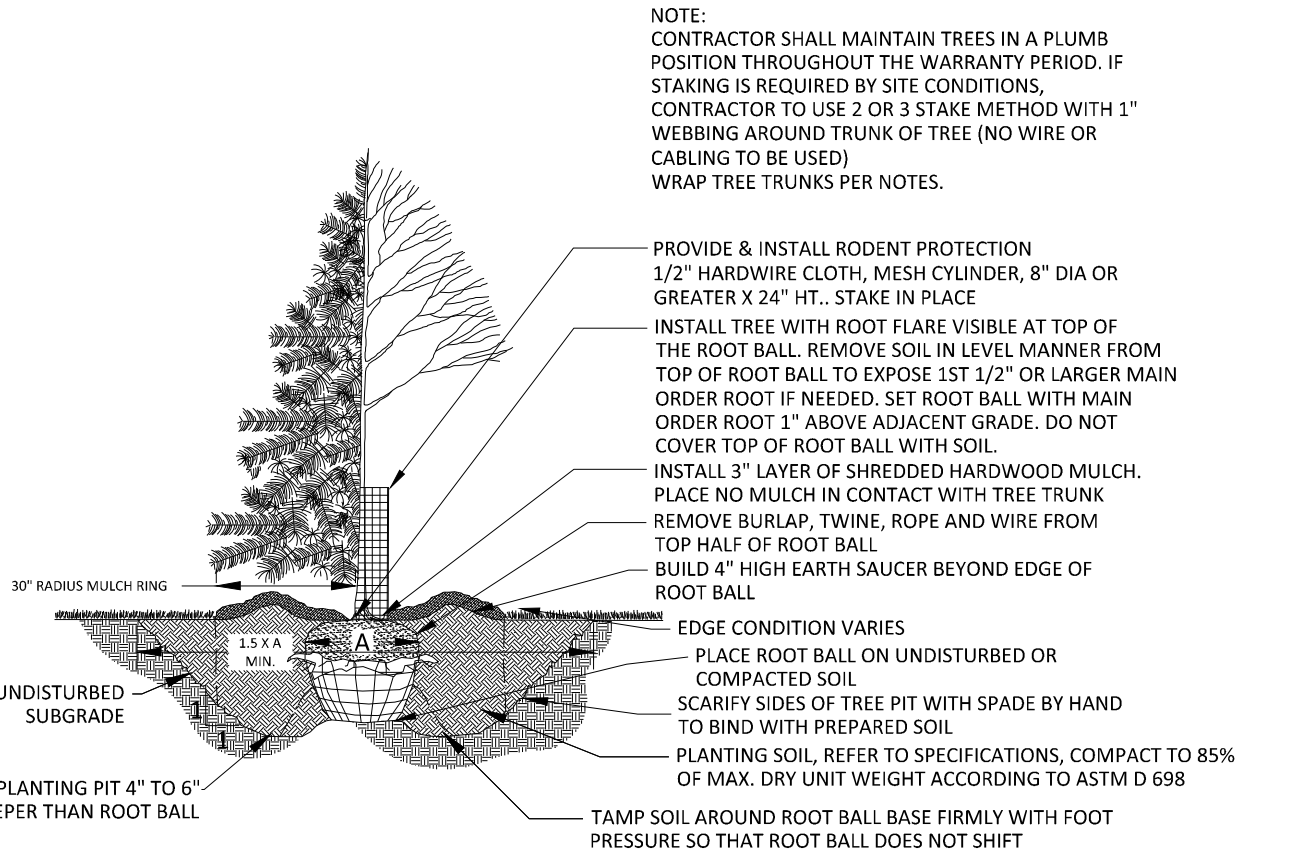
- 1. ALL STREET AND PARKING LOT TREES SHALL BE LIMBED UP TO THE FOLLOWING HEIGHTS: 1.1. 2" CAL. TREES: LOWEST BRANCH 6' HT.
- 1.2. 3" CAL. TREES: LOWEST BRANCH 7' HT.
- 1.3. 4" CAL. TREES: LOWEST BRANCH 8' HT.

IRRIGATION NOTES:

- 1. IRRIGATION SYSTEM TO BE DESIGN/BUILD. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL OF SYSTEM LAYOUT PRIOR TO INSTALLATION.
- 2. ALL SOD TO RECEIVE SPRAY OR ROTOR IRRIGATION HEADS WITH MINIMUM DESIGN OF 1" IRRIGATION PER WEEK.

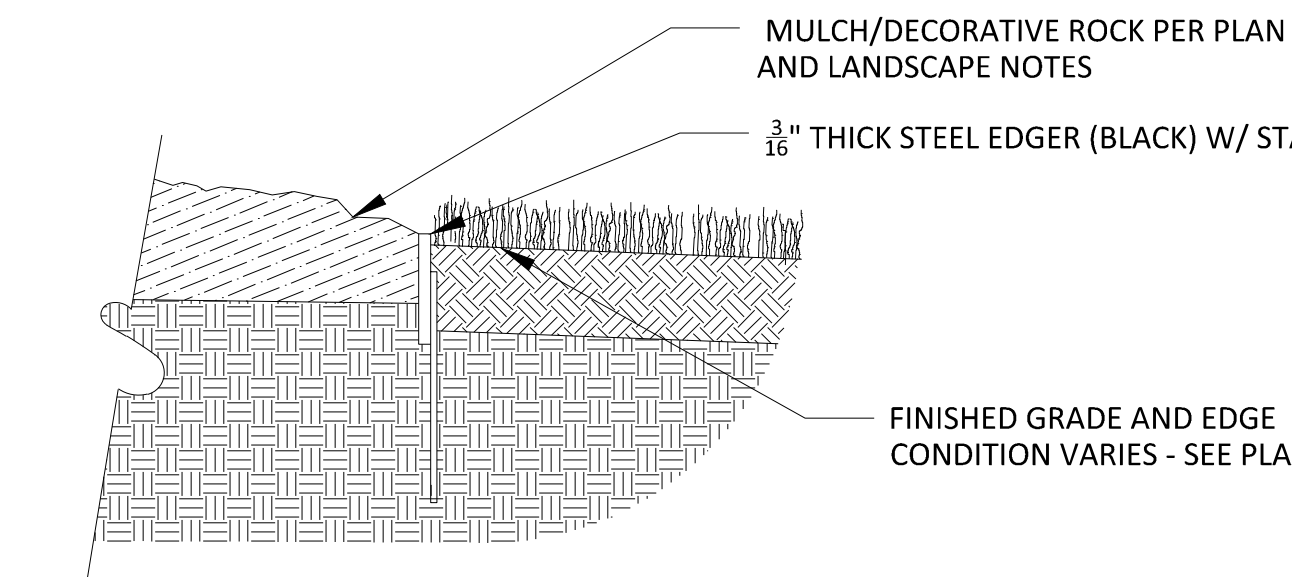
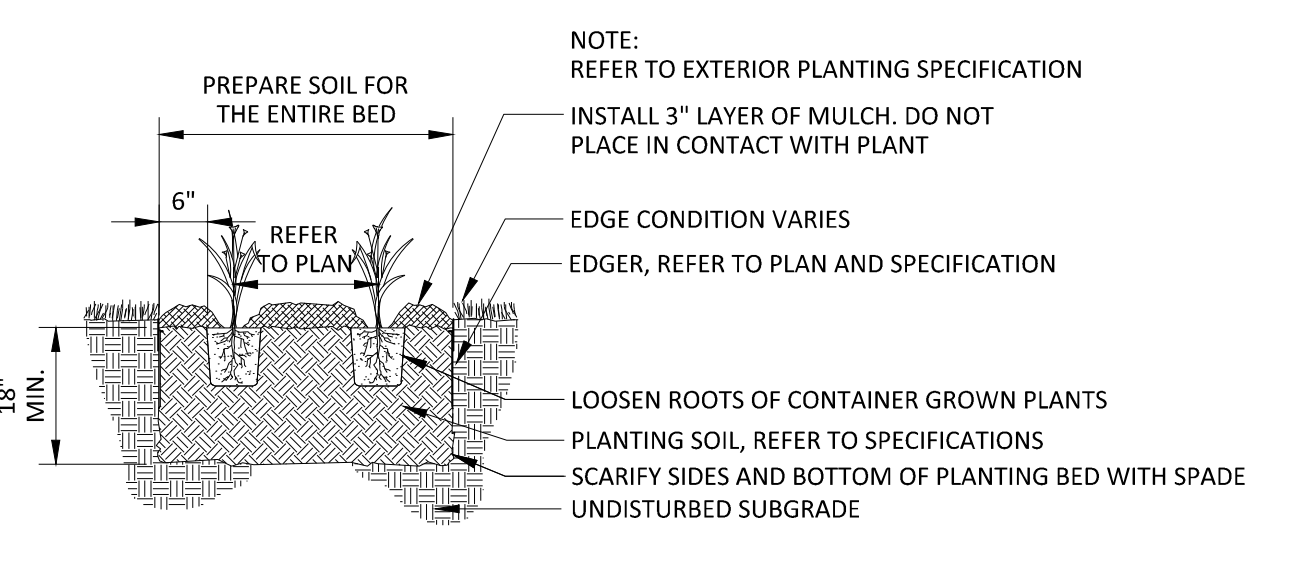
LOW MAINTENANCE FESCUE NOTES:

- 1. DURING GROWING SEASON NEVER MOW SHORTER THAN 3.5 INCHES, PREFERRED MAINTENANCE IS MOW ONCE PER MONTH AT 5" HEIGHT
- 2. DO NOT USE HIGH NITROGEN FERTILIZER ON FESCUE LAWN
- 3. OVERSEED THIN AREAS SPOTS IN FALL



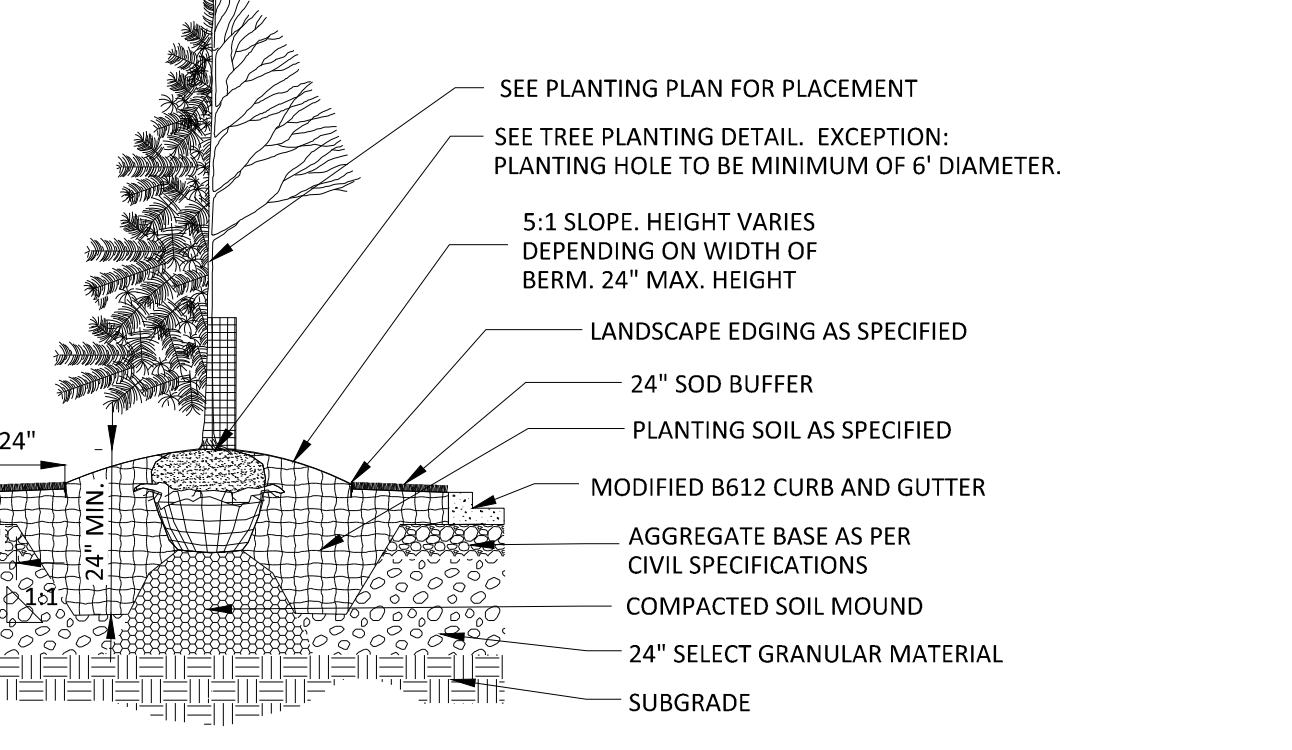
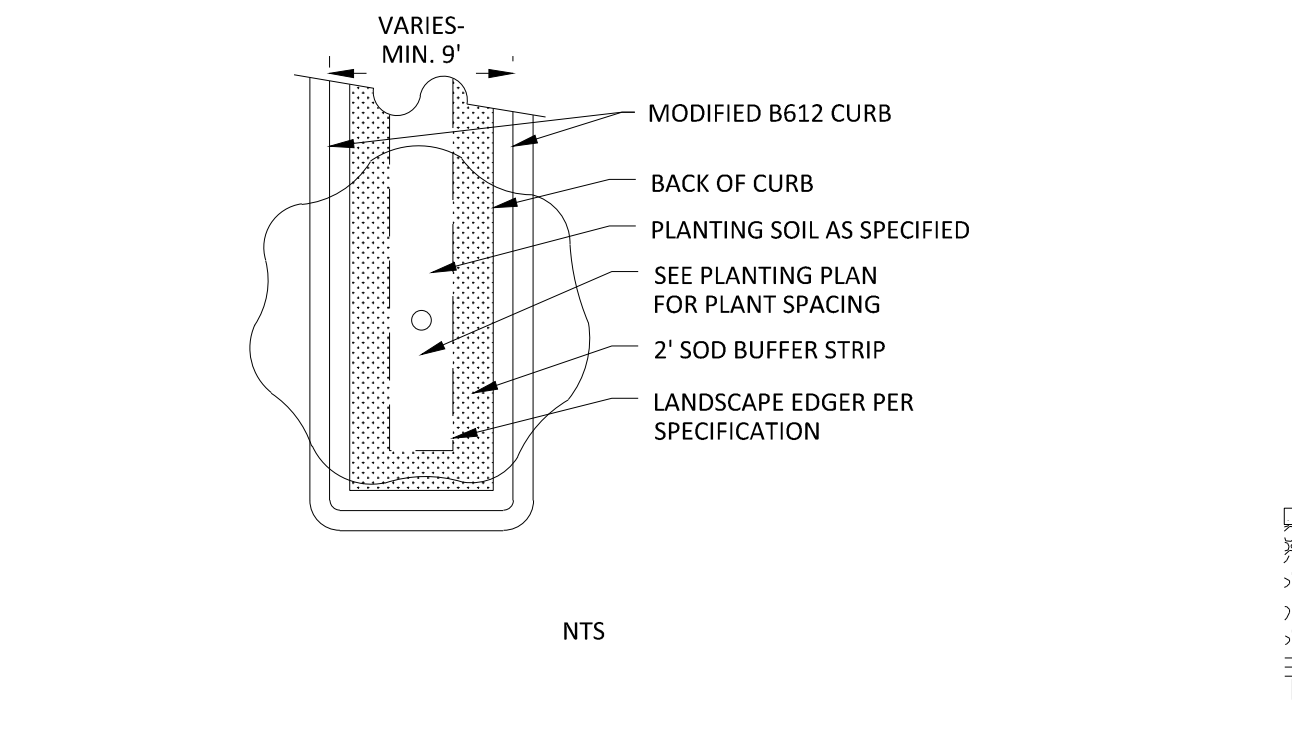
1 TREE PLANTING DETAIL 1/4" = 1'-0" P-01

2 SHRUB PLANTING DETAIL 3/8" = 1'-0" P-02



3 PERENNIAL PLANTING DETAIL 1/2" = 1'-0" P-03

4 STEEL EDGER 1 1/2" = 1'-0" P-06



5 DORAN STANDARD PARKING LOT ISLAND 1/4" = 1'-0" P-20629.04-16

6 DORAN STANDARD SOD BUFFER 1/4" = 1'-0" P-20629.04-17

Table with columns: NO, DATE, BY, CKD, APPR, COMMENT. Includes revision history and a declaration of professional responsibility by the architect.

Project information including drawing title (PATIO LANDSCAPE PLAN), sheet number (SHEET L1.02), and the Sambatek logo with contact information.

Project information including drawing title (PATIO LANDSCAPE PLAN), sheet number (SHEET L1.02), and the Doran Group logo with contact information.

ARCHITECT:



7803 Glenroy Road, Suite 100
Bloomington, MN 55439
952-641-9400

REGISTRATION

XXX XXX

Date: 05/05/2023 REG.#

ISSUE RECORD

No.	Description	Date
1	Entitlement Package	05/05/2023

NOT FOR CONSTRUCTION

NOT FOR PRICING

This progress set is a draft and is provided for the Owner's information only. Further refinement is required prior to completing the Design Development Package.

PROJECT
610W BLDG 5

LOCATION
6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445

PROJECT NUMBER
XX-XXXX

DATE
05/05/2023

PROJECT MANAGER

DRAWN BY

CHECKED BY

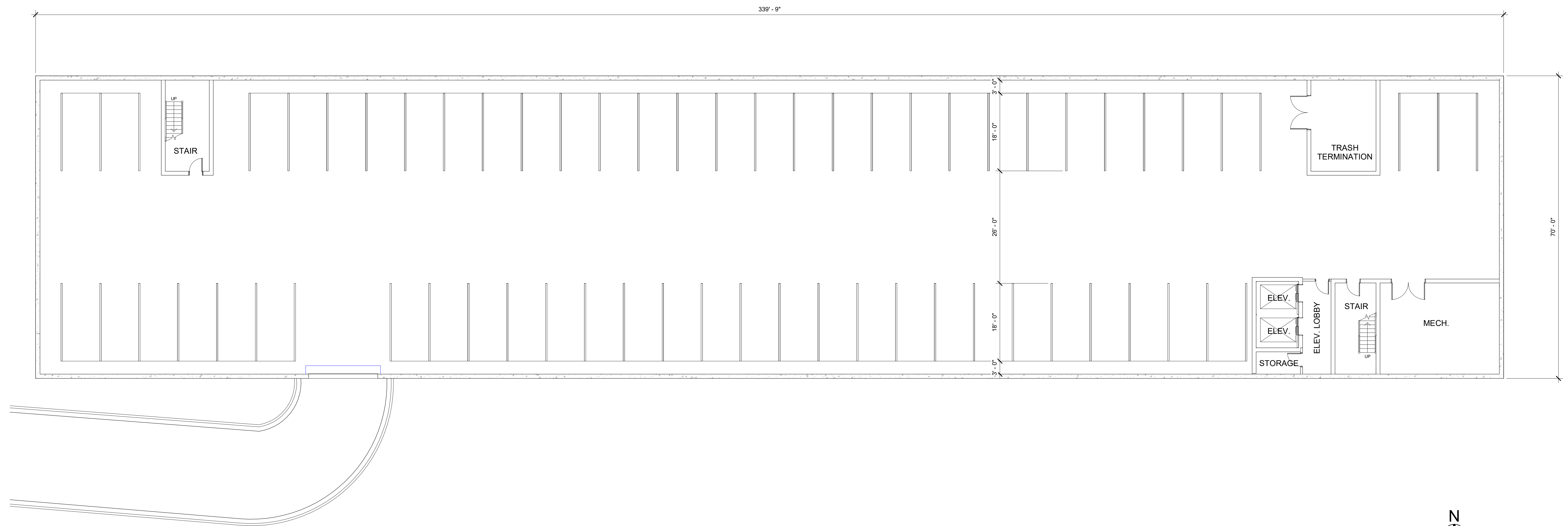
PREPARED FOR



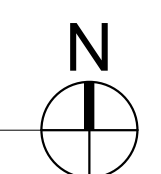
SHEET TITLE
P1 FLOOR PLAN

SHEET NUMBER

A100



① LEVEL P1 PLAN
3/32" = 1'-0"



PARKING SCHEDULE		
Stall Type	Count	Level
P1 STANDARD	58	P1
	58	
	58	

ARCHITECT:



7803 Glenroy Road, Suite 100
Bloomington, MN 55439
952-641-9400

REGISTRATION

XXX XXX

Date: 05/05/2023 REG.#

ISSUE RECORD

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PROJECT
610W BLDG 5

LOCATION
6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445

PROJECT NUMBER
XX-XXXX

DATE
05/05/2023

PROJECT MANAGER

DRAWN BY

CHECKED BY

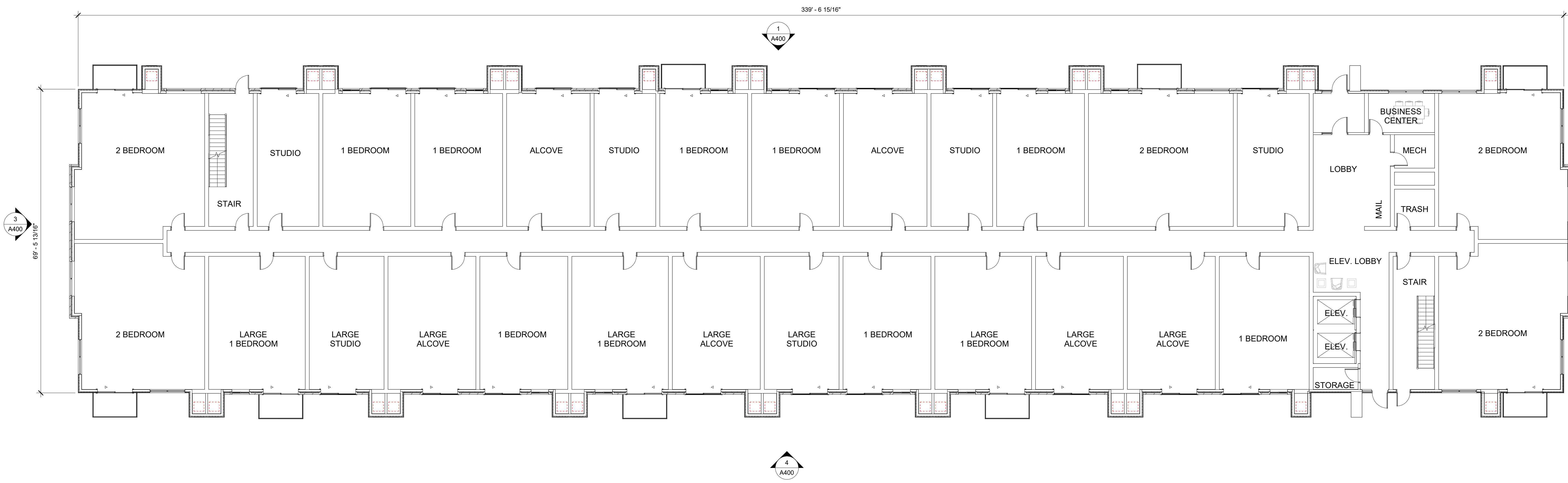
PREPARED FOR



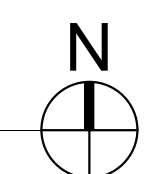
SHEET TITLE
L1 FLOOR PLAN

SHEET NUMBER

A101



1 LEVEL 1 FLOOR PLAN
3/32" = 1'-0"



ARCHITECT:



7803 Glenroy Road, Suite 100
Bloomington, MN 55439
952-641-9400

REGISTRATION

XXX XXX

Date: 05/05/2023 REG.#

ISSUE RECORD

No.	Description	Date
1	Entitlement Package	05/05/2023

NOT FOR CONSTRUCTION

NOT FOR PRICING

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PROJECT
610W BLDG 5

LOCATION
6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445

PROJECT NUMBER
XX-XXXX
DATE
05/05/2023
PROJECT MANAGER

DRAWN BY
CHECKED BY

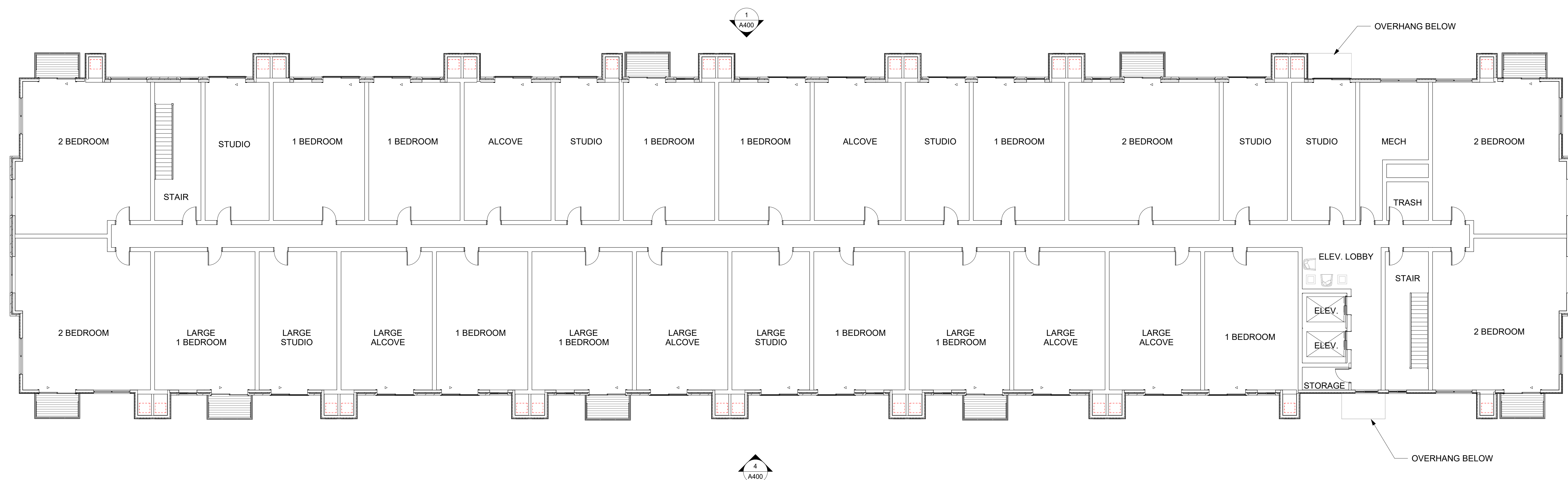
PREPARED FOR



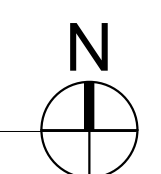
SHEET TITLE
L2 FLOOR PLAN

SHEET NUMBER

A102



① LEVEL 2
3/32" = 1'-0"



NOT FOR CONSTRUCTION
NOT FOR PRICING

This progress set is a draft and is provided for the Owner's information only. Further refinement is required prior to completing the Design Development Package.

PROJECT
610W BLDG 5

LOCATION
6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445

PROJECT NUMBER
XX-XXXX
DATE
05/05/2023
PROJECT MANAGER

DRAWN BY
CHECKED BY

PREPARED FOR

SHEET TITLE
BUILDING ELEVATIONS

SHEET NUMBER

A400



1 EXTERIOR ELEVATION - NORTH
3/32" = 1'-0"



2 EXTERIOR ELEVATION - EAST
3/32" = 1'-0"



3 EXTERIOR ELEVATION - WEST
3/32" = 1'-0"



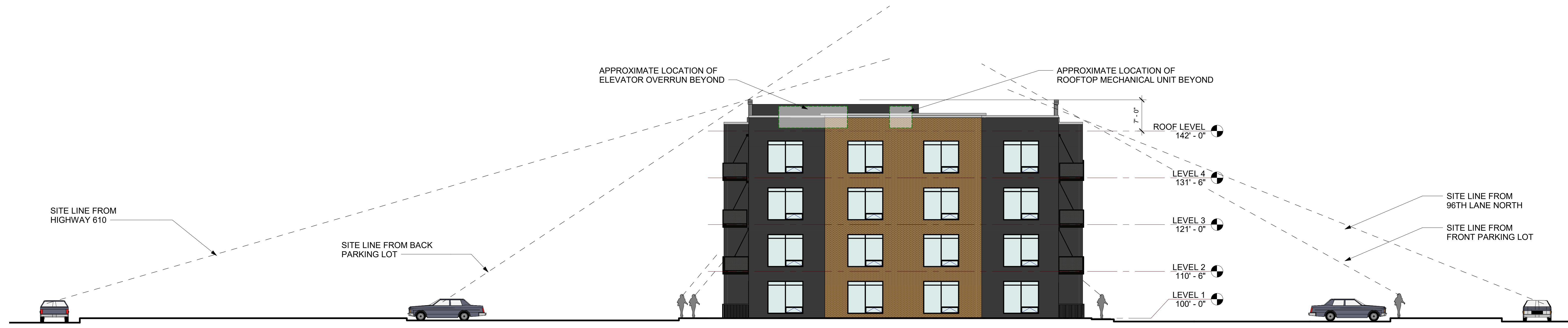
4 EXTERIOR ELEVATION - SOUTH
3/32" = 1'-0"

EXTERIOR MATERIAL KEYNOTE LEGEND

- 1A BRICK - COLOR #1
 - 1B BRICK - COLOR #2
 - 2A PAINTED FIBER CEMENT SIDING - COLOR #1
 - 3A METAL PANEL - COLOR #1
 - 3B METAL PANEL - COLOR #2
 - 4A RESIDENTIAL FIBERGLASS WINDOW
 - 5A PREFINISHED METAL CORNICE BAND
 - 5B PREFINISHED METAL CAP FLASHING
 - 6A ALUMINUM COMPOSITE PANEL IN WHITE
 - 7A ALUMINUM BALCONY RAILING
 - 7B 'JULIET' STYLE BALCONY WITH RAILING
 - 7C SLAB ON GRADE PATIO WITH ALUMINUM RAILING
-

5A 1B 3B 1A EXISTING BUILDING





1 EXTERIOR ELEVATION - EAST SITE LINE DIAGRAM
 3/32" = 1'-0"

NOT FOR CONSTRUCTION

NOT FOR PRICING

This progress set is a draft and is provided for the Owner's information only. Further refinement is required prior to completing the Design Development Package.

PROJECT
 610W BLDG 5

LOCATION
 6501 96TH LANE NORTH
 BROOKLYN PARK, MN 55445

PROJECT NUMBER
 XX-XXXX
 DATE
 05/05/2023
 PROJECT MANAGER

DRAWN BY
 Author
 CHECKED BY
 Checker

PREPARED FOR

SHEET TITLE
 SITE LINE
 DIAGRAMS

SHEET NUMBER

A500



2 EXTERIOR ELEVATION - NORTH SITE DIAGRAM
 3/32" = 1'-0"



Doc No 9149285 06/19/2008 09:59 AM
Certified filed and or recorded on above date:
Office of the County Recorder
Hennepin County, Minnesota
Michael H. Cunniff, County Recorder
TransID 414053

Deputy 11
Fees
\$35.50 DOC
\$10.50 SUR
\$2.00 COPY
\$48.00 Total

JUN 19 2008

HENNEPIN COUNTY MN.
DEPUTY

08-119-21-14-0050, 0051, 0052 08-119-21-41-0006
09-119-21-23-0010, -0011, -0012, -0013, -0014, -0015
" 32-0014, -0015, -0016

① RECIPROCAL ROAD EASEMENT

This Reciprocal Road Easement ("Easement") is made this 17th day of June, 2008, by and between PPP I, LLC, a Minnesota limited liability company ("PPP") and Park Place Promenade III, LLC, a Minnesota limited liability company ("Park Place").

RECITALS

WHEREAS, PPP is the fee owner of real property in Hennepin County, Minnesota, legally described as Outlot A, Park Place Promenade ("Street 1"); and

WHEREAS, Street 1 is a private roadway that currently serves Lots 1 - 4, Block 2, Park Place Promenade, Lot 1, Block 3, Park Place Promenade, and Lots 1 and 2, Block 1, and Outlot A, Park Place Promenade 3rd Addition (collectively referred to as "Park Place Lots").

WHEREAS, Park Place is the fee owner of real property in Hennepin County, Minnesota, legally described as Outlot A, Park Place Promenade 2nd Addition ("Street 2"); and

WHEREAS, Street 2 is a private roadway that currently serves Lot 1, Block 1, Park Place Promenade 2nd Addition, and Outlots B and C, Park Place Promenade 2nd Addition (collectively referred to as "Park Place II Lots"); and

WHEREAS, in consideration of the grant of the reciprocal easements as set forth herein: (i) PPP agrees to grant a road easement over Street 1 in favor of the Park Place II Lots; and (ii) Park Place agrees to grant an easement over Street 2 in favor of the Park Place Lots;

NOW, THEREFORE, in consideration of the premises, the mutual covenants and agreements herein set forth, and for other good and valuable consideration, PPP and Park Place each agree to the terms and conditions of this Reciprocal Easement Agreement.

1. **Incorporation of Recitals.** The Recitals set forth above are hereby incorporated herein by reference.

RETURN TO Box 104
First American Title Insurance Co.
National Commercial Services
801 Nicollet Mall, Suite 1900
Minneapolis, MN 55402
NCS 349366 MPLS (JLE) SH

2. **Street 1 Easement.** PPP hereby declares, creates and grants in favor of the Park Place II Lots a non-exclusive easement for vehicular and pedestrian ingress and egress on, over, across and through Street 1 ("Street 1 Easement").

3. **Street 2 Easement.** Park Place hereby declares, creates and grants in favor of the Park Place Lots a perpetual non-exclusive easement for vehicular and pedestrian ingress and egress on, over, across and through Street 2 ("Street 2 Easement").

4. **Covenant to Run with Land.** The burdens and benefits of the Street 1 Easement and Street 2 Easement are intended, so far as may be, to attach and run with the land and be binding upon all parties (and all heirs, successors and assigns) having any right, title or interest in Street 1 and Street 2, and will benefit the Park Place Lots (as to the Street 2 Easement) and the Park Place II Lots (as to the Street 1 Easement).

5. **Maintenance.**

a. Street 1 will be maintained by the owners of the Park Place Lots pursuant to the terms and conditions of that certain Operation and Easement Agreement dated October 20, 2005, recorded of record November 29, 2005, as Document No. 8703697 in the Office of the Hennepin County Recorder and filed of record on November 28, 2005, as Document No. 4193393 in the Office of the Hennepin Registrar of Titles, as amended by that certain First Amendment to Operation dated January 18, 2007, recorded of record on February 9, 2007, as Document No. 8934882 in the Office of the Hennepin County Recorder and February 15, 2007, as Document No. 4358451 in the Office of the Hennepin County Registrar of Title, as further amended by that certain Second Amendment to Operation and Easement Agreement dated December 18, 2007, recorded of record April 10, 2008, as Document No. 9119937 in the Office of the Hennepin County Recorder and April 10, 2008, as Document No. 4485938 in the Office of the Hennepin County Registrar of Title (collectively referred to as "OEA").

b. Street 2 will be maintained by the owners of the Park Place II Lots pursuant to that certain Operation and Easement Agreement (Phase II) dated February 19, 2008, recorded of record on March 31, 2008, as Document No. 9115401 in the Office of the Hennepin County Recorder and on March 31, 2008, as Document No. 4482541 with the Hennepin County Registrar of Titles, as such document may be amended from time to time ("Phase II OEA").

6. **Authority.** PPP hereby represents and warrants that it has authority to execute this Easement granting the Street 1 Easement and that apart from the OEA, except for the first mortgage lien in favor of Union Bank & Trust Company, there are no liens or encumbrances on Street 1. Park Place hereby warrants that it has authority to execute this Easement granting the Street 2 Easement, and that apart from the Phase II OEA, except for the first mortgage lien in favor of M&I Marshall & Ilsey Bank, there are no liens or encumbrances on Street 2.

7. **Governing Law/Severability.** This instrument shall be construed in accordance with the laws of the State of Minnesota, including, without limitation, matters affecting title to all

real property described herein. If any provision of this instrument, or portion thereof, or the application thereof of to any person or circumstances, shall, to any extent be held invalid, inoperative or unenforceable, the remainder of this instrument, or the application of such provision or portion thereof to any other persons or circumstances, shall not be affected thereby; and each provision of this instrument shall be valid and enforceable to the fullest extent permitted by law.

8. **Recording/Amendments.** The parties agree that the rights, benefit, duties and obligations created by this Easement vest immediately upon execution thereof and this Easement shall be filed with the Office of the County Recorder and the Registrar of Titles of Hennepin County, Minnesota. This Easement may only be terminated, modified, or amended with the written consent of all parties subject to this Easement. No termination, modification or amendment will be effective until a written instrument has been recorded in the Office of the County Recorder and the Registrar of Titles of Hennepin County, Minnesota.

9. **Headings.** The headings of articles in this Easement are for convenience of reference only and will not in any way limit or define the content, substance or effect of the articles.

10. **Status of Parties.** The parties have not become and do not intend to become partners or joint venturers and nothing herein shall be construed or applied to constitute the parties as partners or joint venturers.

11. **Dedication.** Nothing contained in this Easement will be deemed to be a gift or dedication of any portion of Street 1 or Street 2 to the general public or for any public purpose whatsoever, it being the intention of the parties, that this Easement will be strictly limited to and for the purpose expressed in this Easement.

12. **Counterparts.** This Easement may be executed in any number of counterparts, each of which shall be deemed an original, but all of which shall constitute one and the same instrument.

IN WITNESS WHEREOF, the undersigned have executed this Reciprocal Road Easement effective the date and year first above written.

[SIGNATURES APPEAR ON NEXT PAGES]

PPP I, LLC,
a limited liability company

By: [Signature]
Print Name: Gary Janisch
Print Title: Secretary

PARK PLACE PROMENADE III, LLC,
a limited liability company

By: _____
Print Name: _____
Print Title: _____

STATE OF Minnesota)
)ss.
COUNTY OF Hennepin)

The foregoing instrument was acknowledged before me this 27th day of May,
2008, by Gary Janisch, the Secretary of PPP I, LLC, a
Minnesota limited liability company, on behalf of the limited liability company.

Kelly Lienke
Notary Public
(SEAL)



STATE OF _____)
)ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this ___ day of _____,
2008, by _____, the _____ of Park Place Promenade
III, LLC, a Minnesota limited liability company, on behalf of the limited liability company.

Notary Public
(SEAL)

THIS INSTRUMENT WAS DRAFTED BY:

Anthony J. Gleekel, Esq.
Siegel, Brill, Greupner, Duffy & Foster, P.A.
1300 Washington Square
100 Washington Avenue South
Minneapolis, MN 55401
(612) 337-6100

24564/001/Reciprocal Road Easement 5.29.08 FINAL

CONSENT TO RECIPROCAL ROAD EASEMENT

The undersigned, Union Bank & Trust Company, a Nebraska state banking corporation ("Mortgagee") is a holder of a mortgage ("Mortgage"), executed by PPP I, LLC, a Minnesota limited liability company ("Mortgagor"), in favor of Mortgagee, dated January 3, 2006. Said Mortgage was recorded on January 31, 2006 in the office of the County Recorder of Hennepin County, Minnesota as Document No. 8740772 and in the office of the Registrar of Titles of Hennepin County on February 6, 2006 as Document No 4222674.

The Mortgage constitutes a valid and subsisting first lien upon the property legally described in the attached Exhibit A. The Mortgagee desires to waive any objection it may have to the execution and acknowledgment of the foregoing Reciprocal Road Easement ("Easement"), by the parties thereof, and desires further to consent to the recording of the foregoing Easement in the office of the County Recorder and Registrar of Titles in and for Hennepin County, Minnesota.

NOW, THEREFORE, in consideration of One Dollar (\$1.00) and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Mortgagee, for itself, its successors, and assigns, hereby consents to the foregoing Easement, and to all the terms, covenants, easements and conditions contained in said Easement, and consents to the recording of said Easement in the office of the County Recorder and Registrar of Titles in and for Hennepin County, Minnesota. In addition, Mortgagee, for itself, its successors and assigns, agrees that the Mortgage shall be, and the same hereby is made, subject to the foregoing Easement with the same force and effect as though the foregoing Easement had been executed, delivered and recorded prior to the date of the Mortgage.

IN WITNESS WHEREOF, this Consent has been executed by the undersigned as of
this 28th day of May, 2008.

Union Bank & Trust Company
a Nebraska state banking corporation

By: *Karen J. Cenovic*
Its *President / Omaha*

STATE OF Nebraska)
)SS.
COUNTY OF Douglas)

The foregoing instrument was acknowledged before me this 28th day of May,
2008, by *Karen J. Cenovic* the *President / Omaha* of Union Bank & Trust
Company, a Nebraska state banking corporation.

Greg T. Nelson
Notary Public

THIS INSTRUMENT WAS DRAFTED BY:

Gerstein-Timm, PLLC
100 Prairie Center Drive, Suite 210
Eden Prairie, MN 55344



Exhibit A

Lots 1 and 3, Block 1, Lots 1,2 and 4, Block 2, Park Place Promenade and Outlot A, Park Place Promenade

610 WEST BUILDING 5

6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445

Mixed rate apartment building with approximately 115 units spread over 4 floors. 15% of those units will be affordable to 60% Area Median Income

BUILDING INFORMATION	
CONSTRUCTION TYPE: TYPE V-A OVER I-A (WITH AUTOMATIC SPRINKLER SYSTEM)	BUILDING HEIGHT: 42'-0" (NIC PARAPETS AND ELEVATOR OVERRUN)

PROJECT PROPOSED LAND USE		
SITE INFORMATION: CURRENT ZONE	TOWN CENTER	PROPOSED BUILDING INFORMATION PARKING COUNTS REQUIRED
LAND USE	MEDIUM/HIGH DENSITY	2 SPACES PER UNIT PLUS 1/2 SPACE PER UNIT FOR GUESTS = 288 PARKING SPACES
OUTLOT B PARCEL AREA	3.70 ACRES	PROPOSED
OUTLOT A PARCEL AREA	1.98 ACRES	LEVEL P1 58 STALLS ON GRADE 184
TOTAL	5.68 ACRES	TOTAL 222 (1.9 SPACES / UNIT)
SETBACKS	NONE REQUIRED	IN THE DORAN GROUP'S EXPERIENCE, A PARKING COUNT OF 1.5-1.8 STALLS PER UNIT WILL PROVIDE SUFFICIENT PARKING FOR A MULTIFAMILY HOUSING DEVELOPMENT SUCH AS THIS.

GROSS FLOOR AREA					
LEVEL	PARKING	COMMONS	MECHANICAL	UNITS	TOTAL AREA
LEVEL P1	21,829	929	1,025	0	23,783
LEVEL 1	0	3,643	238	20,362	24,243
LEVEL 2	0	2,779	505	20,959	24,243
LEVEL 3	0	2,779	505	20,959	24,243
LEVEL 4	0	2,779	505	20,959	24,243
TOTAL	21,829	12,909	2,778	83,239	120,755
TOTAL GROSS FLOOR AREA = 120,755 SF					
TOTAL GROSS FLOOR AREA (NIC LEVEL P1 PARKING) = 96,972 SF					

UNIT COUNT							
LEVEL	STUDIO	ALCOVE	1 BEDROOM	2 BEDROOM	UNIT COUNT	BED COUNT	*AFFORDABLE UNITS
LEVEL 1	6	6	11	5	28	33	5
LEVEL 2	7	6	11	5	29	34	5
LEVEL 3	7	6	11	5	29	34	4
LEVEL 4	7	6	11	5	29	34	4
TOTAL	27 (24%)	24 (21%)	44 (38%)	20 (17%)	115	135	18 (15%)
*MIXED INCOME HOUSING, OPTION 3: 15% OF TOTAL PROJECT UNITS AT 60% AREA MEDIAN INCOME.							

610 WEST BUILDING 5

6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445

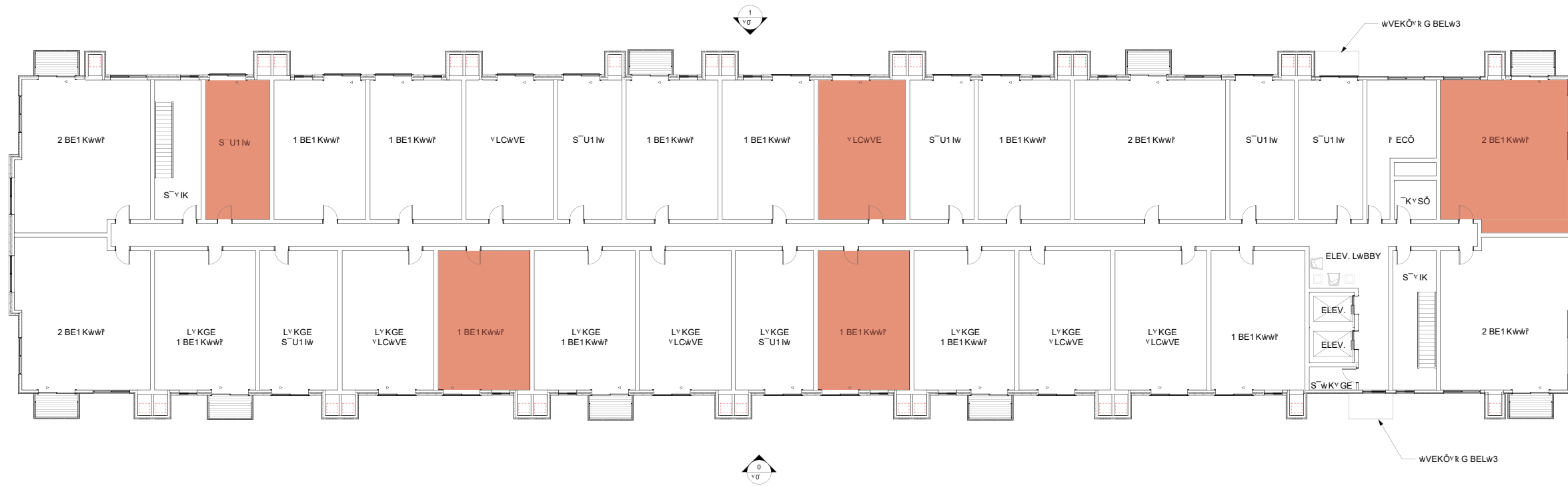


1 LEVEL 1 FLWwK PLYR
C22: 1F

INDICATES AFFORDABLE UNIT:

610 WEST BUILDING 5

6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445



1 LEVEL 2
6622 : 1F :



INDICATES AFFORDABLE UNIT:

610 WEST BUILDING 5

6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445



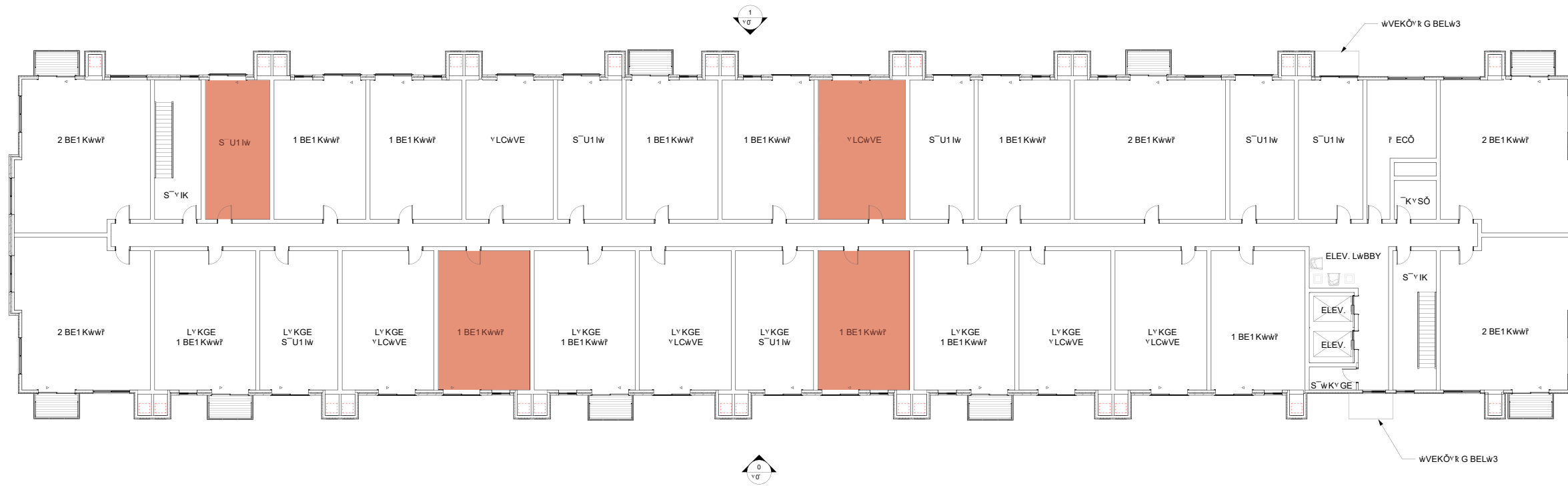
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INDICATES AFFORDABLE UNIT:

610 WEST BUILDING 5

6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445



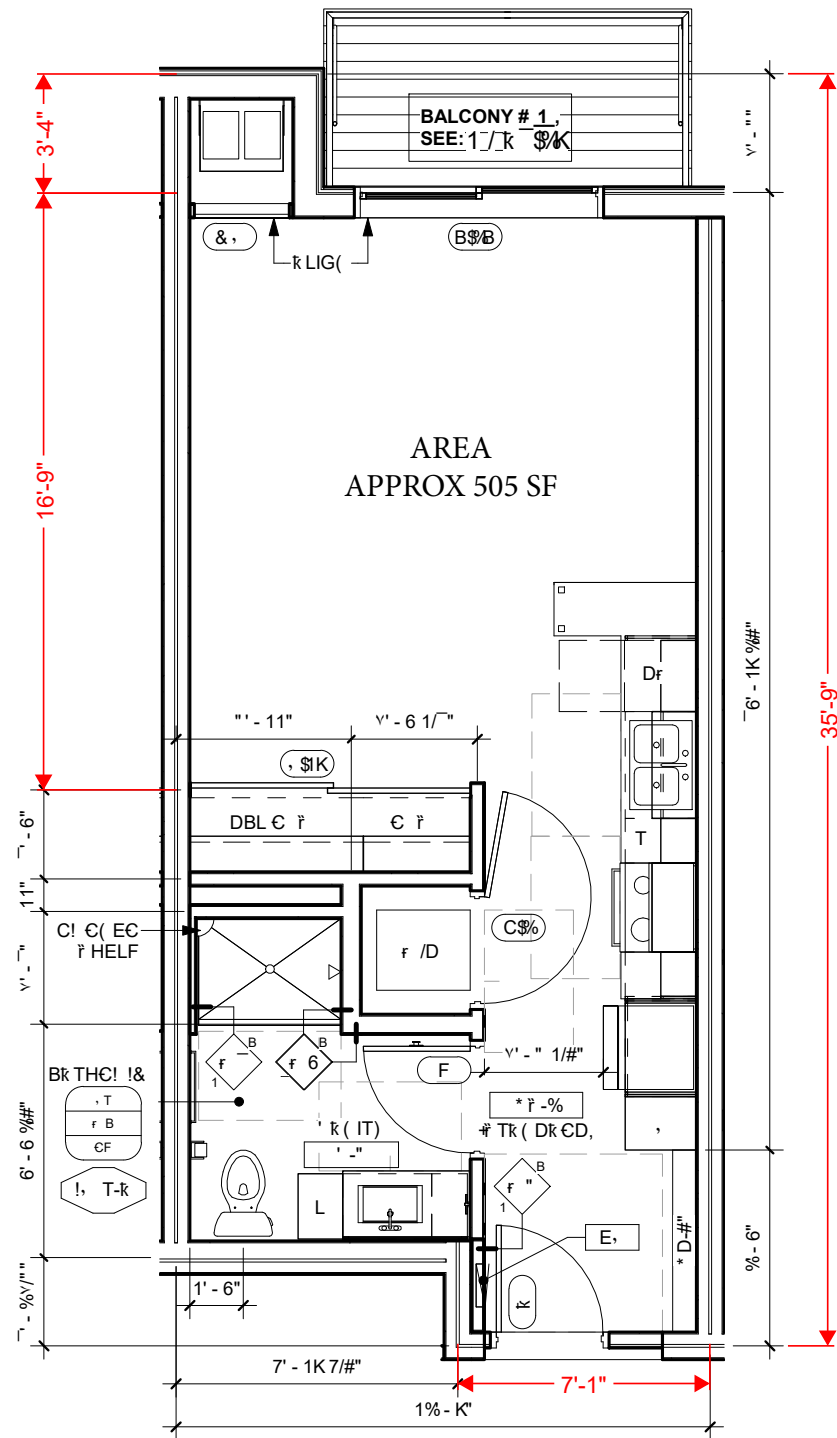
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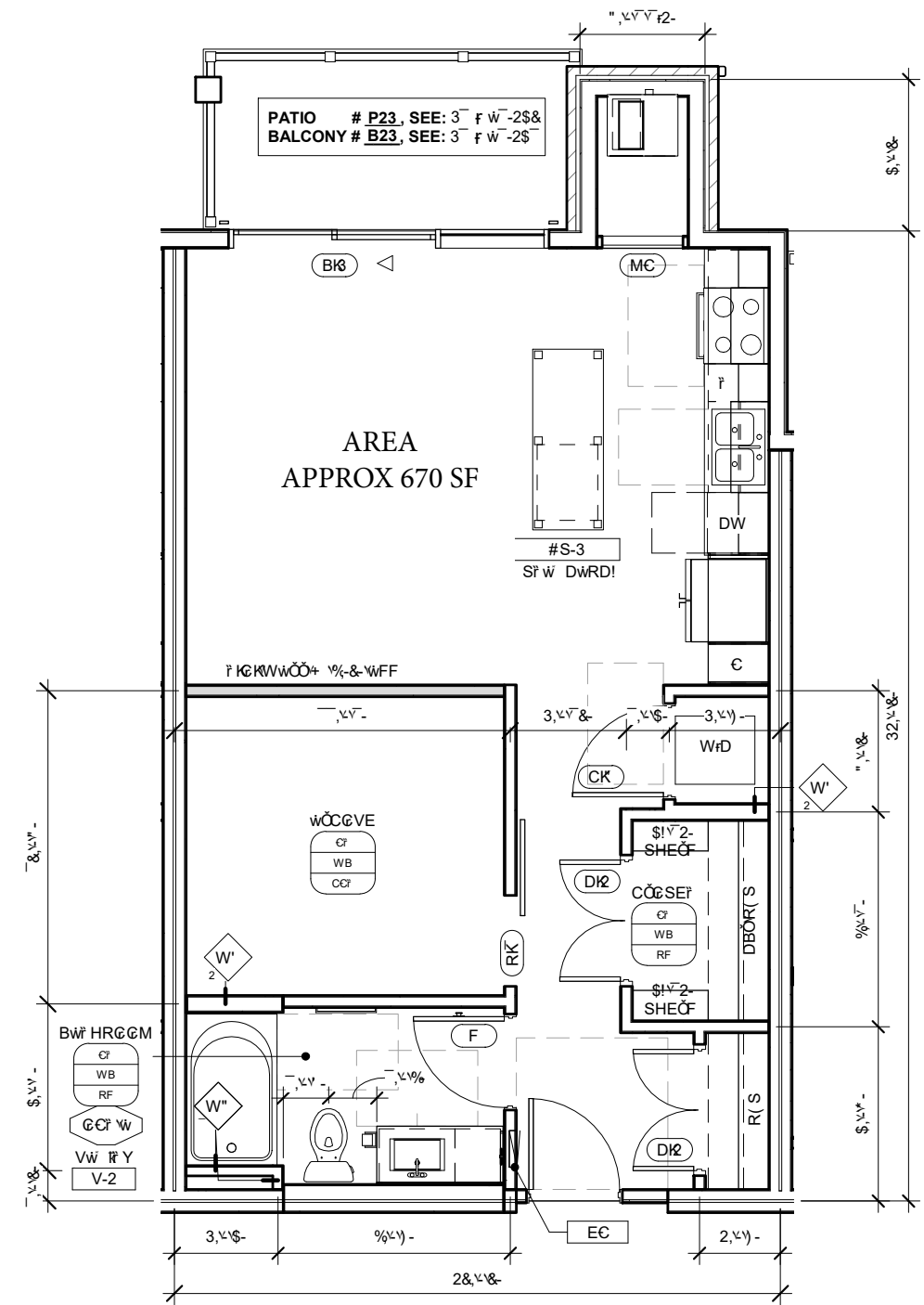
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610 WEST BUILDING 5

6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445



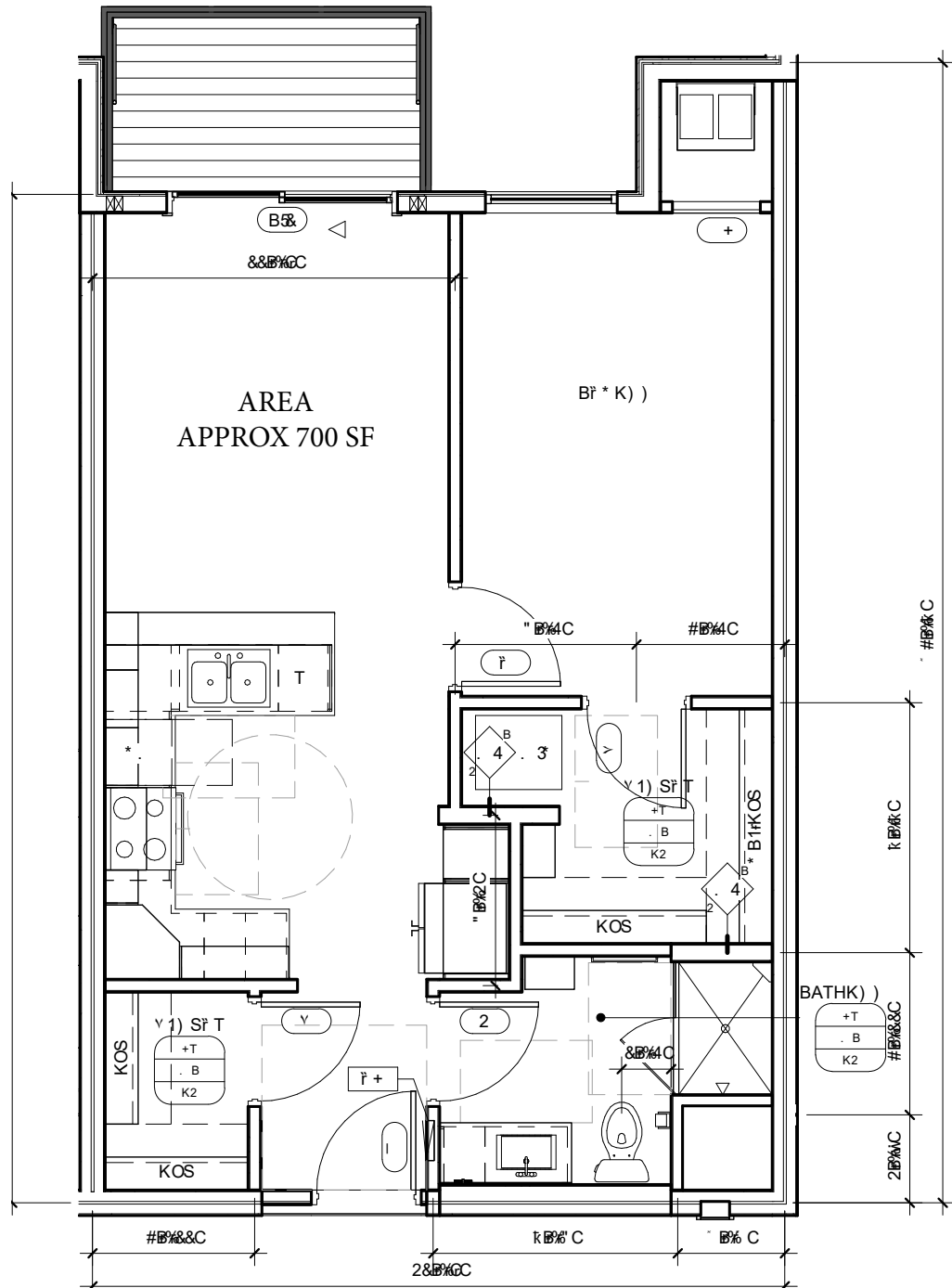
TYPICAL AFFORDABLE & MARKET RATE STUDIO UNIT



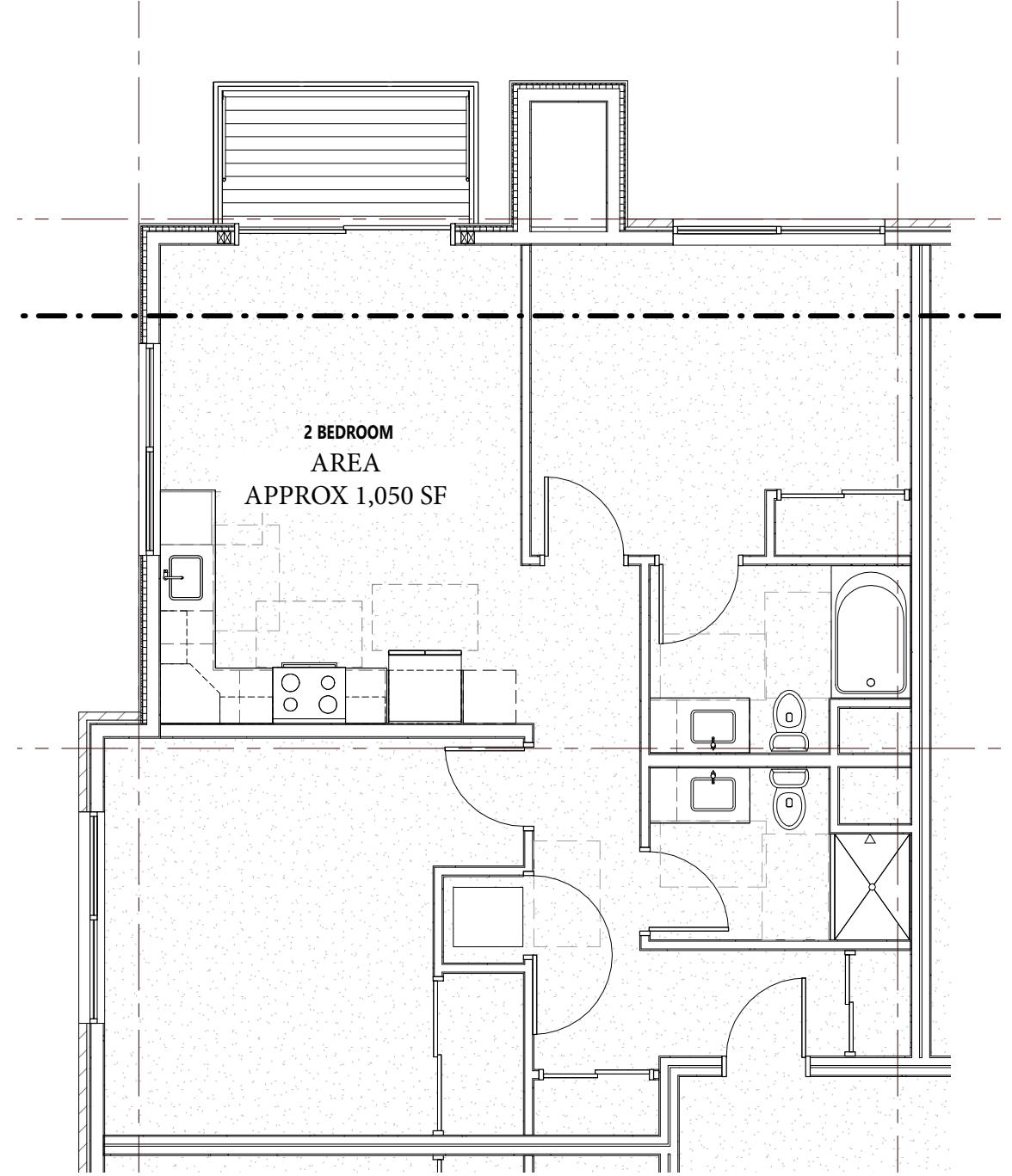
TYPICAL AFFORDABLE & MARKET RATE ALCOVE UNIT

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BROOKLYN PARK, MN 55445



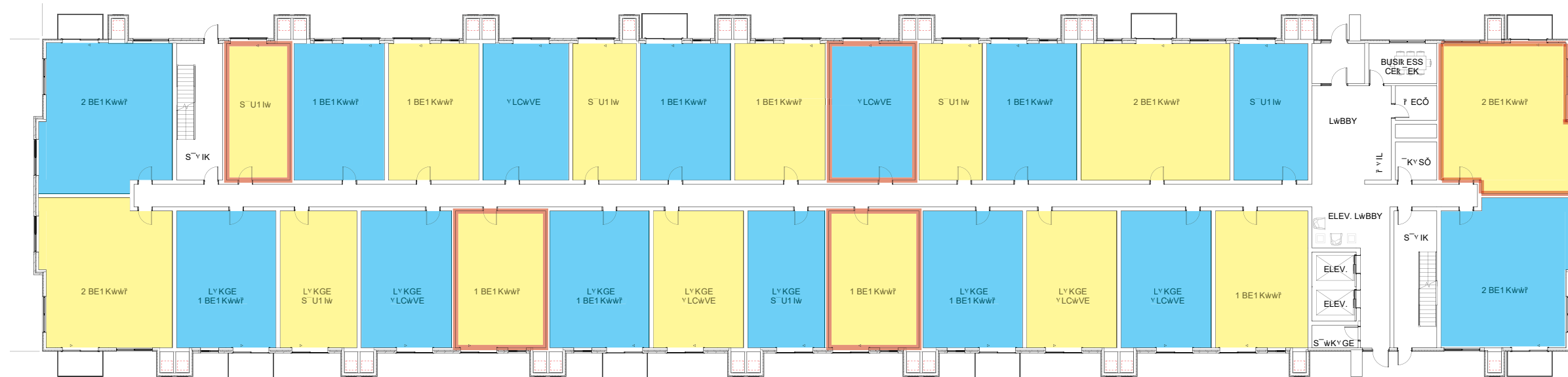
TYPICAL AFFORDABLE & MARKET RATE 1 BEDROOM UNIT



TYPICAL AFFORDABLE & MARKET RATE 2 BEDROOM UNIT

610 WEST BUILDING 5

6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445



1 LEVEL 1 FLWwK PLYR
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UNIT PALETTE LEGEND

- 1A:
- 1B:
- 2A:
- 2B:

INDICATES AFFORDABLE UNIT:

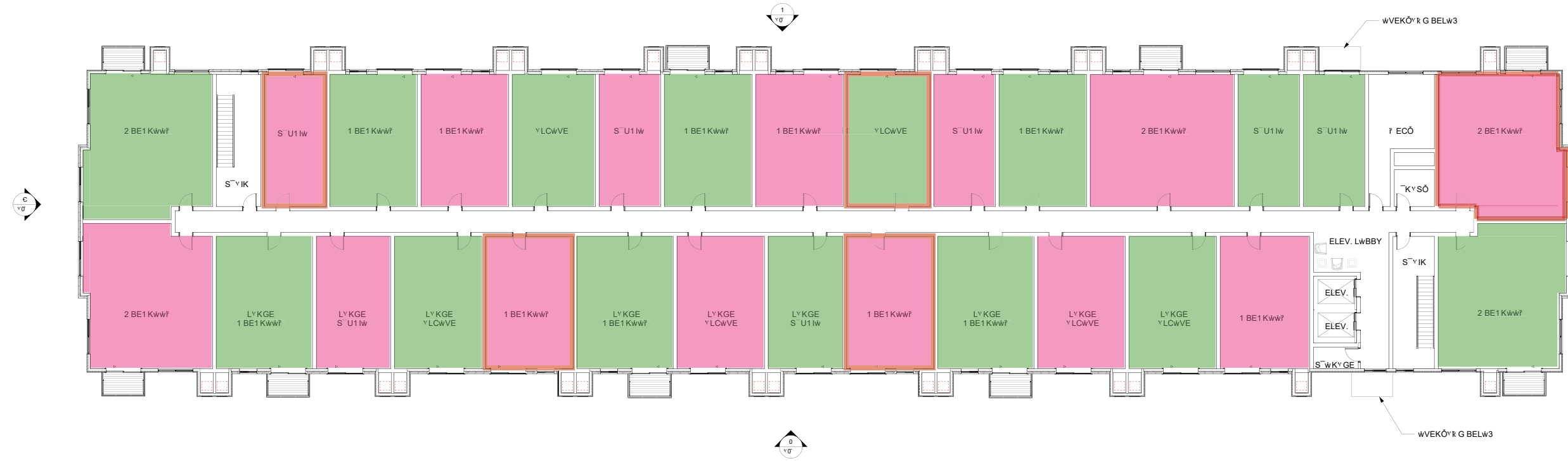
UNIT PALETTE SCHEDULE:

PALETTE 1A: CAB-1 STN-1 RF-1
PALETTE 1B: CAB-2 STN-1 RF-1
PALETTE 2A: CAB-1 STN-1 RF-2
PALETTE 2B: CAB-2 STN-1 RF-2

CAB-1	WOOD FINISH (UNITS - KITCHEN & BATH) DOOR STYLE: WINDSOR, SPECIES: BIRCH, FINISH: COFFEE, NOTES: KITCHEN AND BATH TO MATCH, 1/2" UPPERS, FLUSH PANEL, INTERIOR: WHITE MELAMINE, GRAIN MATCHED, SEQUENCE MATCH, STANDARD GLIDES
CAB-2	WOOD FINISH (UNITS - KITCHEN & BATH) DOOR STYLE: PROVINCE THERMOFOL, SPECIES: MAPLE, FINISH: WHITE, NOTES: KITCHEN AND BATH TO MATCH, 1/2" UPPERS, FLUSH PANEL, INTERIOR: WHITE MELAMINE, GRAIN MATCHED, SEQUENCE MATCH, STANDARD GLIDES
STN-1	STONE SURFACE (UNITS - KITCHEN & BATH COUNTERTOP) GRANITE, COLOR: TIGER SKIN WHITE, EDGE: EASED SQUARE
RF-1	RESILIENT FLOORING (UNITS - KITCHEN & LIVING ROOM LEVELS 1 & 3) MANNINGTON, EVOKE, COLOR: PEPPERSBARK (BROWN) CUSTOM #PR2531, SIZE: 7' X 48", GAUGE: 2MM 12 MIL
RF-2	RESILIENT FLOORING (UNITS - KITCHEN & LIVING ROOM LEVELS 2 & 4) MANNINGTON, EVOKE, COLOR: GREEN (GREY) CUSTOM #PR2532, SIZE: 7' X 48", GAUGE: 2MM 12 MIL

610 WEST BUILDING 5

6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445



LEVELS 2 & 4
C62: 1F

UNIT PALETTE LEGEND

- 1A:
- 1B:
- 2A:
- 2B:

INDICATES AFFORDABLE UNIT:

UNIT PALETTE SCHEDULE:

PALETTE 1A: CAB-1 STN-1 RF-1
PALETTE 1B: CAB-2 STN-1 RF-1
PALETTE 2A: CAB-1 STN-1 RF-2
PALETTE 2B: CAB-2 STN-1 RF-2

(CAB-1)	WOOD FINISH (UNITS - KITCHEN & BATH) DOOR STYLE: WINDSOR, SPECIES: BIRCH, FINISH: COFFEE, NOTES: KITCHEN AND BATH TO MATCH, 16" UPPERS, FLUSH PANEL, INTERIOR: WHITE MELAMINE, GRAIN MATCHED, SEQUENCE MATCH, STANDARD GLIDES
(CAB-2)	WOOD FINISH (UNITS - KITCHEN & BATH) DOOR STYLE: PROVINCE THERMOFOL, SPECIES: MAPLE, FINISH: WHITE, NOTES: KITCHEN AND BATH TO MATCH, 16" UPPERS, FLUSH PANEL, INTERIOR: WHITE MELAMINE, GRAIN MATCHED, SEQUENCE MATCH, STANDARD GLIDES
(STN-1)	STONE SURFACE (UNITS - KITCHEN & BATH COUNTERTOP) GRANITE, COLOR: TIGER SKIN WHITE, EDGE: EASED SQUARE
(RF-1)	RESILIENT FLOORING (UNITS - KITCHEN & LIVING ROOM LEVELS 1 & 3) MANNINGTON, EVOKE, COLOR: PEPPERSBARK (BROWN) CUSTOM #PR2531, SIZE: 7' X 48", GAUGE: 2MM 12 MIL
(RF-2)	RESILIENT FLOORING (UNITS - KITCHEN & LIVING ROOM LEVELS 2 & 4) MANNINGTON, EVOKE, COLOR: GREEN (GREY) CUSTOM #PR2532, SIZE: 7' X 48", GAUGE: 2MM 12 MIL

610 WEST BUILDING 5

6501 96TH LANE NORTH
BROOKLYN PARK, MN 55445



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UNIT PALETTE LEGEND

- 1A:
- 1B:
- 2A:
- 2B:

INDICATES AFFORDABLE UNIT:

UNIT PALETTE SCHEDULE:

PALETTE 1A: CAB-1 STN-1 RF-1
PALETTE 1B: CAB-2 STN-1 RF-1
PALETTE 2A: CAB-1 STN-1 RF-2
PALETTE 2B: CAB-2 STN-1 RF-2

(CAB-1)	WOOD FINISH (UNITS - KITCHEN & BATH) DOOR STYLE: WINDSOR, SPECIES: BIRCH, FINISH: COFFEE, NOTES: KITCHEN AND BATH TO MATCH, 18" UPpers, FLUSH PANEL, INTERIOR: WHITE MELAMINE, GRAIN MATCHED, SEQUENCE MATCH, STANDARD GLIDES
(CAB-2)	WOOD FINISH (UNITS - KITCHEN & BATH) DOOR STYLE: PROVINCE THERMOFOIL, SPECIES: MAPLE, FINISH: WHITE, NOTES: KITCHEN AND BATH TO MATCH, 18" UPpers, FLUSH PANEL, INTERIOR: WHITE MELAMINE, GRAIN MATCHED, SEQUENCE MATCH, STANDARD GLIDES
(STN-1)	STONE SURFACE (UNITS - KITCHEN & BATH COUNTERTOP) GRANITE, COLOR: TIGER SKIN WHITE, EDGE: EASED SQUARE
(RF-1)	RESILIENT FLOORING (UNITS - KITCHEN & LIVING ROOM LEVELS 1 & 3) MANNINGTON, EVOKE, COLOR: PEPPERSBARK (BROWN) CUSTOM #PR2531, SIZE: 7' X 48", GAUGE: 2MM 12 MIL
(RF-2)	RESILIENT FLOORING (UNITS - KITCHEN & LIVING ROOM LEVELS 2 & 4) MANNINGTON, EVOKE, COLOR: GREEN (GREY) CUSTOM #PR2532, SIZE: 7' X 48", GAUGE: 2MM 12 MIL

City of Brooklyn Park Request for Council Action

Agenda Item:	7.1	Meeting Date:	July 24, 2023
Agenda Section:	General Action Item	Originating Department:	Community Development
Resolution:	X	Prepared By:	Felicia Jappah, Project Coordinator, Pandemic Response Breanne Rothstein, Economic Development & Housing Director
Ordinance:	N/A		
Attachments:	1	Presented By:	Felicia Jappah Kim Berggren, CD Director
Item:	Approve Contract Extensions and Recommended Allocations for Ten Community-Based Organizations		

City Manager's Proposed Action:

MOTION _____, SECOND _____, TO WAIVE THE READING AND ADOPT RESOLUTION #2023 - _____ APPROVING THE CONTRACT EXTENSIONS AND RECOMMENDED ALLOCATION FOR TEN COMMUNITY-BASED ORGANIZATIONS

Overview:

On June 26, 2023, staff sought council input around options for Round 2 of ARPA community partnership funding. As part of the discussion, staff presented two categories for consideration for use of the \$550,000 allocated for community partnership work in response to the public health emergency and the negative economic impact of COVID19. Based on the results of the work completed to date and feedback received from community partners through an evaluation in early 2023, staff recommended the below to Council for consideration for Round 2 of the ARPA funds:

1. Contract extensions for 10 highest-performing organizations to continue work that have been impactful in various areas of need in the community.
2. New round of competitive Request for Proposals (RFPs) for funding the work of community organizations serving Brooklyn Park residents.

Following deliberations on the recommended strategy, Council directed staff to prepare a list of organizations for extension and develop an RFP process for Council review and approval. Based on an evaluation and review of performance of organizations since the inception of the partnership work, staff is recommending 10 organizations for contract extensions to continue work in a variety of service areas and across a diverse section of the city residents. Staff is seeking approval from council for the contract extensions and allocated amounts. The process around the competitive RFP will be presented for Council review and approval separately.

The community partnership funding allocated for Brooklyn Park's Round 2 is \$550K in new funds. Additionally, the City of Brooklyn Center has allocated \$150K of its ARPA funding for joint workforce development initiatives for a total of \$700K. Any remaining unspent 2023 partnership funds will be rolled forward to be spent in 2024.

Background:

The City of Brooklyn Park received \$11,052,580 from the federal government State Local Fiscal Recovery Funds (SLFRF) program of the American Rescue Plan (ARPA). In 2021 and 2022, the City allocated \$1,204,700 of its federal funds to support proposals from community-based organizations proposing programs in response to the COVID pandemic. The Economic Development Authority (EDA) also approved \$202,500 to support its Community Partnership Program (CPP) Initiative. The ARPA and CPP funds of \$1.4M were combined to fund the ARPA/CPP Community Funding Opportunity. In November 2021, the City released an RFP for community

organizations to propose programs and services in response to the COVID-19. The city received a variety of proposals in response to the RFP.

In 2022, following the RFP process for Round 1, 41 community partners received funding from the city to implement programs for up to one year. The organizations included 36 funded by ARPA funds and five by EDA/CPP funds. The funding received were between \$10,000 - \$82,500 each for services around violence prevention and safety, mental health outreach services, job/skill training, service navigation, food distribution, business training, and services to youth, mothers, and seniors. To date, \$850K of \$1.4M (60%) in ARPA/CPP funding have been paid out to current community partners executing these contracts. Several organizations are still actively completing their contracts for Round 1 with the contracts expected to end around late Summer to early Fall 2023.

Per the direction of the City Council, staff has prepared a proposal to extend contracts to some of the highest-performing organizations that were awarded funding in Round 1. These organizations will be funded to continue their work over the next year. The organizations recommended for extensions are below:

Organization	Location	Service/Program	Resident Served: Cultural Group/Demographic served	Recommended BP ARPA Allocation	Brooklyn Center ARPA (WFD)
Community Emergency Assistance Program (CEAP)	Brooklyn Center/Brooklyn Park	Food distribution - meals on wheels for	Elderly, immobile residents	\$ 29,297	
Portico	St Paul	Navigation	Community	\$ 17,047	
Organization of Liberians in MN (OLM)	Brooklyn Park	Workforce development	Liberian/immigrant community	\$ 45,547	\$ 27,500
The Salvation Army	Brooklyn Park	Food distribution	Community/cultural/youth	\$ 23,047	
Senior Community Services	Minnetonka	Support to seniors	Residents - seniors	\$ 14,302	
Avenues for Youth	Minneapolis	Youth Services/Mentoring	Community - youth	\$ 23,047	
MN Zej Zog	New Hope	Youth/Career/Mentoring	Hmong/Asian Community	\$ 28,197	\$ 15,933
North Metro Health Institute	Brooklyn Park	Job Training	Immigrant community	\$ 20,297	\$ 10,667
African Career Education & Resource, Inc (ACER)	Brooklyn Park	Small Business	Community immigrant groups	\$ 19,922	
Lao Assistance Center of Minnesota (LACM)	Minneapolis	Housing/navigation	Laotians - Asian	\$ 29,297	
Total				\$ 250,000	\$ 54,100

Primary Issues/Alternatives to Consider:

- **What is the strategy for the Contract Extension process?**

Staff is recommending contract extensions for organizations from Round 1 who have been the highest-performing partners since they began work around their contract. Those organizations will receive a percentage of the amount of their award from Round 1 to continue their work.

To be eligible for contract extension recommendation, organizations had to meet all the below criteria:

- High – performing over the term of the contract and have met or are meeting all their deliverables.
- Effective program execution serving residents, tracking, implementation, and meeting compliance and reporting requirements with minimum technical assistance.
- Have expended all their funding from Round 1 or will expand all their funding from Round 1 at the end of their contract.

After council approval, recommended organizations will apply for contract extensions and work with staff to rescope their program to align with the approved funding.

Budgetary/Fiscal Issues:

The budget for the community partnership program has been set in the ARPA budget approval by City Council, the EDA General Fund budget approval by EDA, and the Brooklyn Center subrecipient agreement signed by the workforce development team, totaling \$700K in Round 2 funds for 2023 and 2024.

Attachments:

7.1.A RESOLUTION

RESOLUTION #2023 -

RESOLUTION APPROVING THE CONTRACT EXTENSIONS AND RECOMMENDED ALLOCATION FOR
TEN COMMUNITY-BASED ORGANIZATIONS

WHEREAS, the City of Brooklyn Park received \$11,052,580 from the federal government through the State Local Fiscal Recovery Funds (SLFRF) program of the American Rescue Plan (ARPA) (H.R. 1319), signed into law by President Joseph Biden in March 2021 for state, local, and Tribal governments across the country to support their response to and recovery from the COVID-19 public health emergency; and

WHEREAS, during 2021 and 2022 the Brooklyn Park City Council allocated \$1,407,200 of its SLFRF allocation to support community-based organizations proposing programs in response to the COVID-19 pandemic. The Economic Development Authority (EDA) also approved \$202,500 from the EDA general fund to support its Community Partnership Program (CPP) Initiative; and

WHEREAS, in November 2021 the City released a Request for Proposals (RFP) for community organizations to propose programs and services in response to the COVID-19 pandemic and used both ARPA and CPP funds to support the ARPA/CPP Community Funding Opportunity and awarded funding to 41 community-based organizations. The work of the organizations funded through the ARPA/CPP Funding Opportunity will wind down beginning in early fall 2023; and

WHEREAS, on June 26, 2023 staff recommended a strategic approach for a second round of funding similar to the ARPA/CPP Community Funding Opportunity ("Round 2") to support community partners through a portion of 2024 and Council directed staff to propose a plan for approval that included two categories – an extension of high performing and highly successful projects and a second competitive RFP; and

WHEREAS, the City Council has allocated \$550,000 to be used to fund community partnerships and desires to approve this Resolution to continue contracting with organizations to provide services, support, and opportunities to members of the Brooklyn Park community and to address the impacts of the COVID-19 pandemic.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park as follows:

1. The City Council hereby authorizes contract extensions for up to one year with the ten community-based organizations listed in Exhibit A as part of the City's Round 2 of community partnerships.
2. The City Council hereby authorizes and directs the City Manager and/or his designees to work with the organizations listed in Exhibit A to negotiate and execute agreements that are substantially similar to the previous agreements but which may be adjusted as needed to accommodate community needs, program, and contract management processes, to deliver the programs and services in line with the intent of the approved allocation.

EXHIBIT A

Organization	Location	Service/Program	Resident Served: Cultural Group/Demographic served	Recommended BP ARPA Allocation	Brooklyn Center ARPA (WFD)
Community Emergency Assistance Program (CEAP)	Brooklyn Center/Brooklyn Park	Food distribution - meals on wheels for seniors model	Elderly, immobile residents	\$ 29,297	
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Lao Assistance Center of Minnesota (LACM)	Minneapolis	Housing/navigation	Laotians - Asian	\$ 29,297	
Total				\$ 250,000	\$ 54,100

City of Brooklyn Park Request for Council Action

Agenda Item:	8.1	Meeting Date:	July 24, 2023
Agenda Section:	Discussion Items	Originating Department:	Community Development
Resolution:	N/A	Prepared By:	Kim Berggren, CD Director
Ordinance:	N/A		
Attachments:	3	Presented By:	Kim Berggren Paul Mogush, Planning Director
Item:	Discuss Anti-Displacement Working Group Report and Draft Letter Related to the METRO Blue Line Light Rail Transit Project		

City Manager's Proposed Action:

Discuss anti-displacement strategies regarding the METRO Blue Line rail project.

Overview:

Hennepin County contracted with the Center for Urban and Regional Affairs (CURA), University of Minnesota, to convene an Anti-Displacement Work Group that centered community voices and brought together community leaders, government officials and other project stakeholders to study and recommend anti-displacement strategies to help ensure the value of the METRO Blue Line light rail project will benefit current corridor residents by minimizing physical, cultural, and economic displacement.

After 18 months of work, CURA published the work group's recommendations in May 2023 for public review. Attached is the executive summary of the report. Staff is seeking feedback from the City Council on this work to inform the draft letter (Attachment B) and possible next steps.

The full report and additional information is available at <https://yourblueline.org/anti-displacement>

Budgetary/Fiscal Issues: N/A

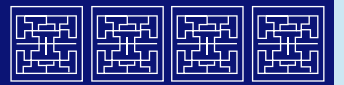
Attachments:

- A. ANTIDISPLACEMENT REPORT EXECUTIVE SUMMARY
- B. DRAFT LETTER
- C. ANTIDISPLACEMENT RECOMMENDATIONS TABLE

BLUE LINE EXTENSION ANTI-DISPLACEMENT EXECUTIVE SUMMARY



It's not about the train
it's about
the people



INTRODUCTION

The Blue Line Extension has been in the works for over a decade. For at least that long, Blue Line Extension corridor communities have been challenging governments and private sector actors to be considerate of the local population to ensure that they are not displaced as a result of development. In response to these concerns and to ensure the Blue Line Extension transit investment benefits current corridor residents and businesses, Hennepin County and the Metropolitan Council initiated an anti-displacement initiative and contracted with the University of Minnesota's Center for Urban and Regional Affairs (CURA) to work with community to develop anti-displacement policy and strategy recommendations, including the formation of the Blue Line Extension Anti-Displacement Working Group. The full report represents the outcomes of that work.

This work requires thinking more complexly about how histories of redlining, racial covenants, unjust housing practices, and other histories of racialized policies play a role in the outcomes of government investment today. While Hennepin County and the Metropolitan Council may view that the Blue Line Extension project is rooted in equity involving investment into a historically disinvested corridor, the community may view that same project differently. Where governments see the Blue Line Extension project as a correction of history, some community members may see it as another thing that leads to their marginalization.

More specifically, community members throughout this corridor see that without strong anti-displacement interventions, the Blue Line Extension project will only serve the population of people that replaces them after they are displaced.

The Blue Line Extension Anti-Displacement work is meant to support and leverage various resources for the benefit of BIPOC communities and other historically marginalized communities that have been left out of Minnesota's prosperity.

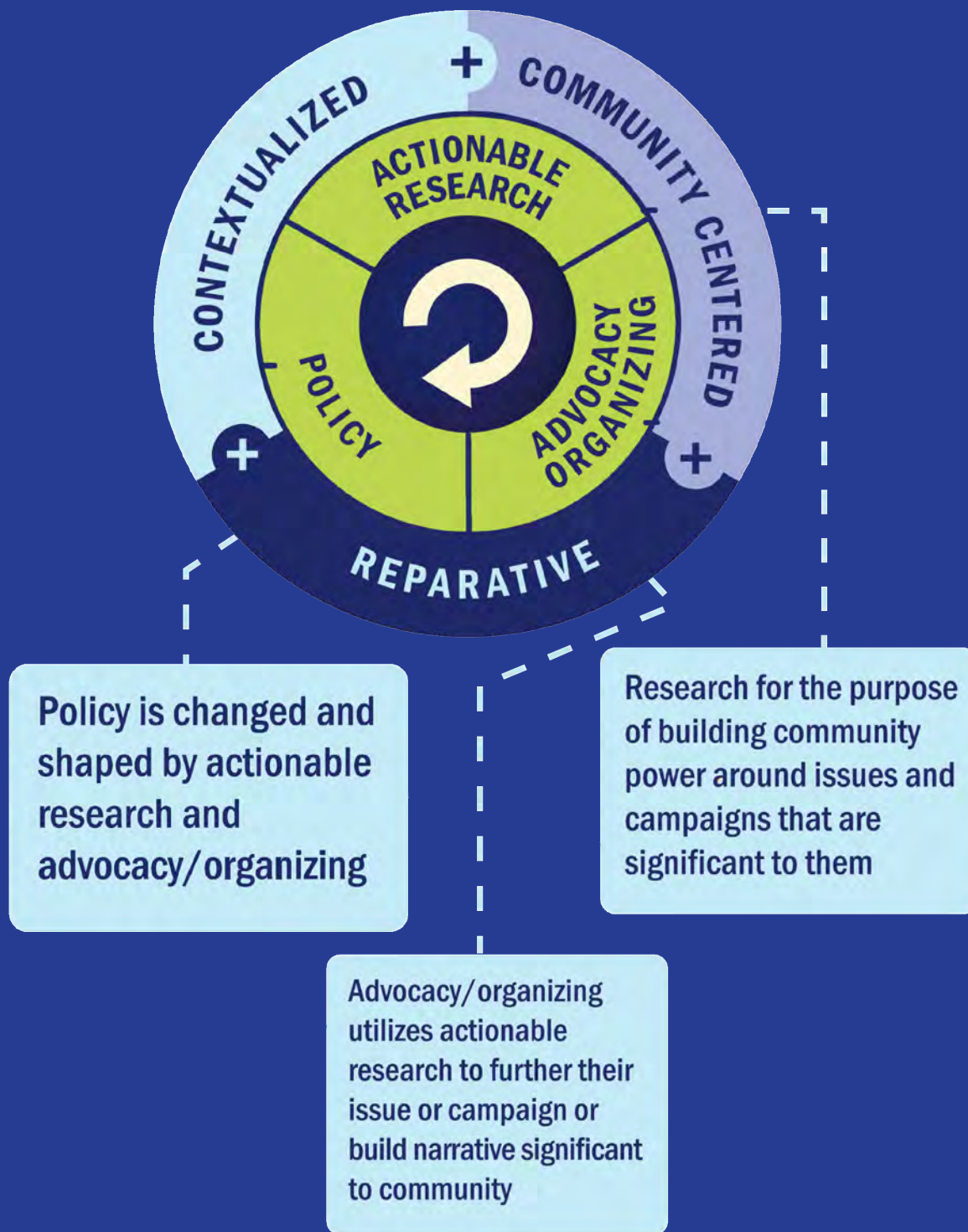
When examining major public infrastructure projects, like the Blue Line Extension, there is a clear pattern that is quite troublesome: public infrastructure investment in vulnerable communities can often exacerbate harm instead of catalyzing repair and prosperity for existing residents in proximity to those projects.

This type of infrastructure investment can increase demand for land and property near light rail corridors. This trend has also been observed locally through implementation of the Blue and Green lines. It is necessary, then, for federal, state, regional, local governments & philanthropic partners and private sector organizations committed to the advancement of equity in this corridor to invest in the communities that the Blue Line Extension will serve through both capital investments and anti-displacement-centered policy.

Primarily, this investment should serve to prevent displacement, repair historical harm in disinvested communities, maximize future community and economic benefits to corridor residents, and build the capacity of marginalized communities to have more agency in public works projects that government agencies pursue.

The project assumes that the Blue Line Extension will be built in the next several years and, therefore, there is urgency to this work and vision that is outlined in the full report. CURA utilized its Reparative Justice Framework and Organizing Philosophy; this philosophy of organizing ensures that stakeholders are treated with dignity and offered agency. With BIPOC participants at the center of reimagined structures, CURA sought to create a project structure that allowed community stakeholders to co-create the questions and solutions. This framework led to a structure that sought to: (1) contextualize displacement in the Twin Cities through research, (2) center community by creating a workgroup that elevated community agency and capacity, and (3) ultimately recommend anti-displacement strategies and policies that would lead to important community-defined outcomes.

CURA'S RESEARCH MODEL



ANTI-DISPLACEMENT WORK GROUP

The Blue Line Anti-Displacement Work Group (ADWG) was formed in February 2022. Central to the theory of engagement for CURA was to unify a vision for anti-displacement among government, residents, businesses and philanthropy.

Through our reparative justice framework, the core goal of the project was to build the capacity of the community to communicate clearly and pointedly about their needs to ensure that they are the primary beneficiaries of the blue line extension.

The creation and facilitation of a new Blue Line Extension Anti-Displacement Work Group was meant to be a vehicle to increase transparency and raise the level of communication between government and community about the complicated topic of preventing displacement as a result of the planning, construction, and operation of the Blue Line Extension.

The Blue Line Anti-Displacement Work Group was formed to achieve the following objectives:

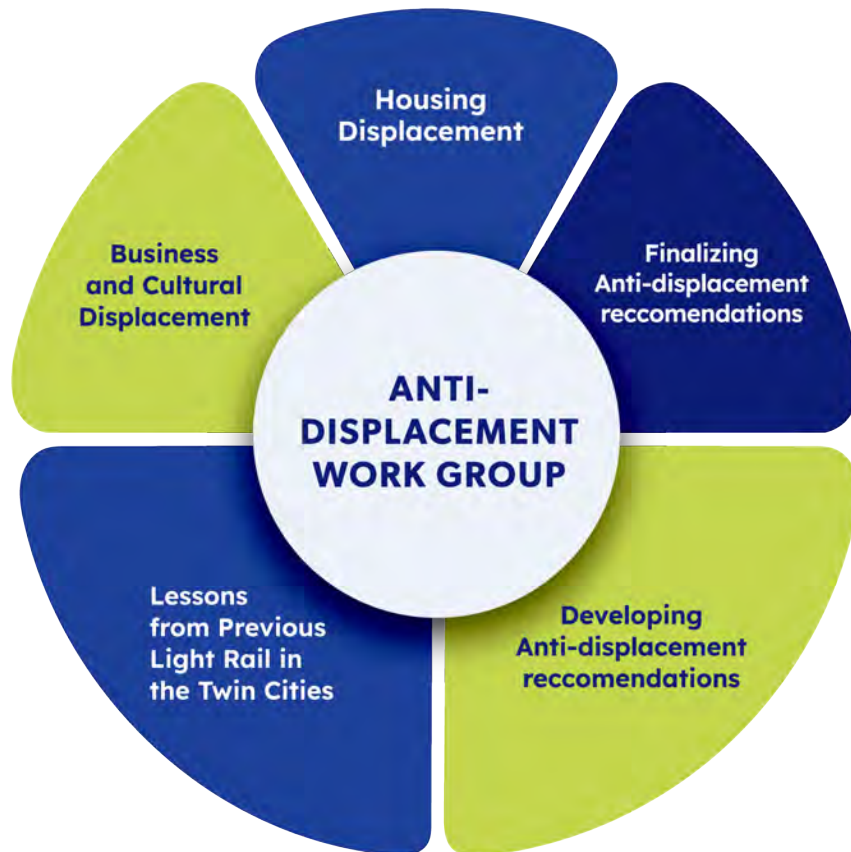
- Present research and community input that would deepen the understanding of displacement for ADWG members
- Identify core concerns from Blue Line Extension corridor communities related to anti-displacement.
- Translate concerns into prioritized outcomes that can be achieved through anti-displacement policies
- Increase transparency between the various stakeholders for preventing displacement
- Demystify barriers to implementing anti-displacement policies
- Improve relationships and alignment on mutual goals between residents, businesses, philanthropy, and government.
- Build the capacity of ADWG members and organizations to understand the various pathways to achieving recommendations

In line with these goals, the ADWG was meant to be a source of knowledge, leadership, and experience around the issue of displacement. In this framework, we envisioned a community connected work group that has various inputs to help them put forward a recommendation for investments and policies to be implemented to prevent displacement in the Blue Line Extension corridor. The work group was also supported by internal working groups that aimed to increase transparency between community and governments, and consultants that supported research and facilitation.

PROCESS

The Anti-Displacement Work Group began meeting in March 2022. The overall structure of the ADWG was designed to center five day-long workshops spread throughout the project timeline, all with different focus areas. The rationale behind this structure was that these day-long workshops would be able to

produce thorough conversations on each subject, high attendance, and space for each participant to connect in small conversations that were not necessarily facilitated. The focuses of the five Saturday meetings were as follows:



Each Saturday meeting included a presentation of research, community input, and group conversation. The goal of the Saturday meetings was to have thorough discussions that had the opportunity to explore the relevant considerations of each Anti-Displacement Work Group member. Project staff utilized a combination of surveys, small groups, and one-to-ones to prepare the discussions for each meeting. A summary of each Saturday meeting is provided in the appendix of the report.

RESEARCH

CURA's team sought to contextualize displacement in the Twin Cities through research that examined lessons learned from the construction of the Green Line, previous research on transit impact in the Twin Cities, a quantitative analysis of Green Line station areas, a baseline study of the Blue Line Extension Corridor, and an inventory of businesses along the Blue Line Extension Corridor.

LESSONS FROM GREEN LINE AND PREVIOUS LIGHT RAIL PROJECTS IN THE TWIN CITIES

A series of interviews was completed with people who directly worked on the efforts to address construction-induced displacement and disruption along the Green Line Central Corridor. The informants had first-person knowledge of how issues of residential and business displacement and disruption were addressed during construction of the Green Line. Several themes emerged from the interviews, including the need for adequate and dedicated funding to help households and businesses; the importance of regular and good communication with business owners along the line, the need for multiple forms of direct support to businesses, and the need for assistance to vulnerable renters and homeowners.

Existing studies on transit impact in the Twin Cities suggest that the opening of the Blue Line and the funding announcement of the Green Line both induced a significant increase in the sales price of residential properties within the station areas (Cao & Lou, 2018; Goetz et al., 2010). Research on the Blue Line indicates that land use patterns may make a difference for the land value impacts of light rail. The Blue Line induced a significant price and value increase for housing on the west side of the line. But a four-lane highway and a corridor of warehousing and industrial uses to the east of the station areas blunted any value increases in that direction (Goetz et al., 2010).

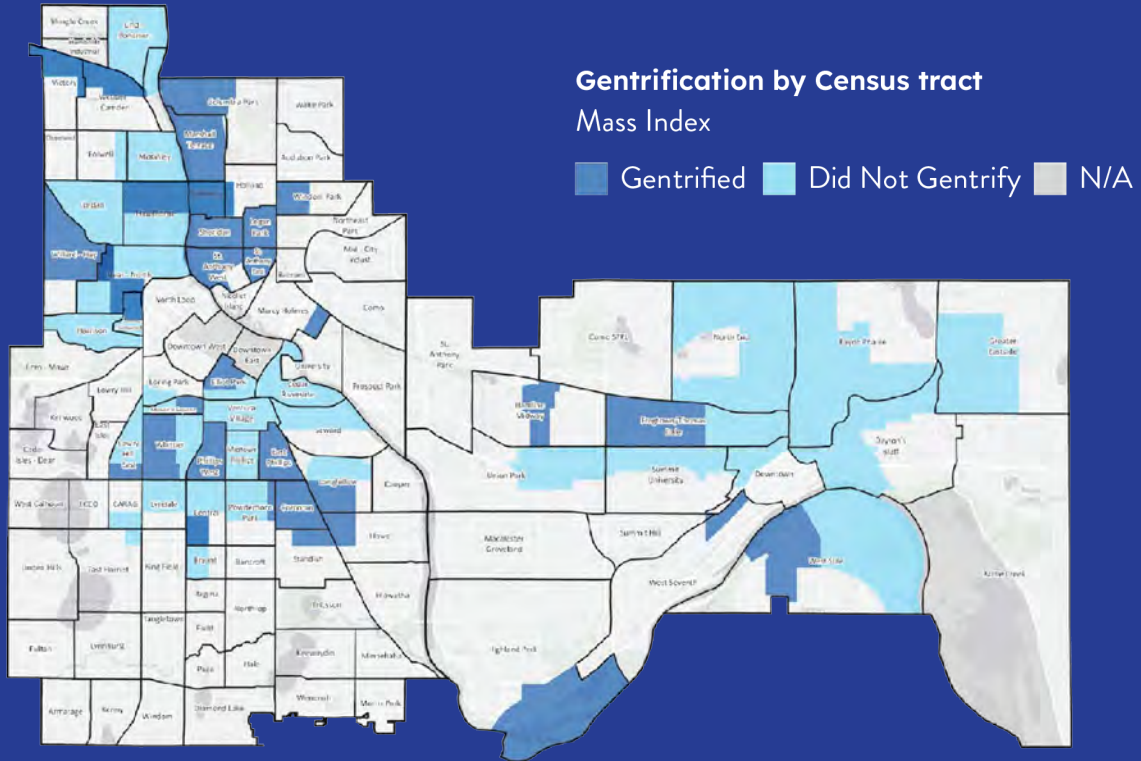
BASELINE STUDY OF BLUE LINE EXTENSION CORRIDOR

In 2018, the Center for Urban and Regional Affairs (CURA) conducted a study of gentrification and gentrification pressures in Minneapolis and Saint Paul. The following year, 2019, CURA published an extension of that study covering all of Hennepin County. These studies provide important context for the changes that have been taking place in communities along the Blue Line Extension Corridor. These studies identify first whether a community (studied at the census tract level) is gentrifiable, and then whether housing market and demographic changes in those census tracts are consistent with the pattern of gentrification. These studies identified a number of communities along the Blue Line Extension Corridor that are vulnerable to gentrification and several that have been changing in ways that are consistent with gentrification.

GENTRIFICATION

The map on the following page shows neighborhoods that were vulnerable to gentrification in the two central cities in 2000 and the neighborhoods that changed in ways that are consistent with gentrification between 2000 and 2015. In Minneapolis the Blue Line Extension corridor runs through the Near North, Hawthorne, Jordan, and Willard-Hay neighborhoods. All of this area met the criteria for vulnerability to gentrification and portions of the Near North and Willard-Hay actually exhibited signs of gentrification between 2000 and 2015. Although the CURA studies of the central cities and Hennepin County found that most vulnerable tracts did not, in fact, gentrify during the study period, research nationally has shown that transit investments, such as light rail, are especially notable in leading to gentrification-like change in neighborhoods. The connection between transit investment and gentrification is so pronounced that researchers have created a term for the phenomenon – “transit-induced gentrification”

LESSONS FROM GREEN LINE AND PREVIOUS LIGHT RAIL PROJECTS IN THE TWIN CITIES



STAGES OF GENTRIFICATION



Disinvestment in Neighborhood



Deficit Narrative about Neighborhood



Disinvestment in Neighborhood



Multiple forms of Displacement

FIGHTING AGAINST GENTRIFICATION



Change Policy

- ✓ Laws & Procedures
- ✓ Adopted Plans
- ✓ Public-sector practices

Redirect Resources

- ✓ Cooperative economic models
- ✓ Unsubsidized, new and long-term affordable housing
- ✓ Community-Driven vision

Shift Narrative

- ✓ Truth-telling
- ✓ Neighborhood history
- ✓ Community assets

RECOMMENDATIONS

Throughout an 18 month process, CURA convened the Blue Line Anti Displacement Work Group (ADWG) as a method to unify vision among community (both businesses and residents), philanthropy, and government for anti-displacement as a result of the planning, constructing, and implementing the Blue Line Extension. ADWG members were empowered to engage research, community input, and their own experiences to recommend policies that would prevent displacement in the Blue Line Extension corridor. Recommendations were intended to be made to various governments, philanthropy, and vested community partners.

The recommendations of the ADWG prioritize outcomes first, which are to be read as desired outcomes as a result of implemented anti-displacement strategies. The recommendation sections fall short of being implement-ready policies and strategies because the ADWG group process does not imitate policy making processes of governments nor does government participation signify commitments of governments or other implementing organizations. The ADWG process was meant to increase transparency and heighten communication between governments and communities. Recommendations are conscious of the various challenges to implementing anti-displacement strategies, but implementing agencies will need to refine recommendations through real budget, political, legal and other realities. Because of this, there are many pathways to achieving the recommended anti-displacement outcomes including the policies named and unnamed in this report.

Outcomes are then meant to be interpreted as the guiding framework for anti-displacement work and policies are encouraged and researched possibilities to achieve those outcomes. The hope is that organizations that receive ADWG recommendations are to first support the outcome recommendations presented in this report.

UNDERLYING PRINCIPLES:



- All policies need to be accessible to people with different language needs, people with disabilities, and people without social security numbers/documentation



- Every recommendation should be measurable and should have accountability mechanisms.



- Recommendations should be designed to support those most impacted by construction



- Policies and outcomes should target existing residents, not potential ones.

OUTCOMES BY JURISDICTION: BROOKLYN PARK:



- Keeping the rich culture of the corridor in place and enhancing it so it thrive



- Improving the climate for businesses post-construction, and prioritizing the development of spaces for small businesses



- Providing opportunities for existing residents and businesses to stay in place and feel supported



- Supporting the development, preservation, and access of safe and affordable housing and housing choice



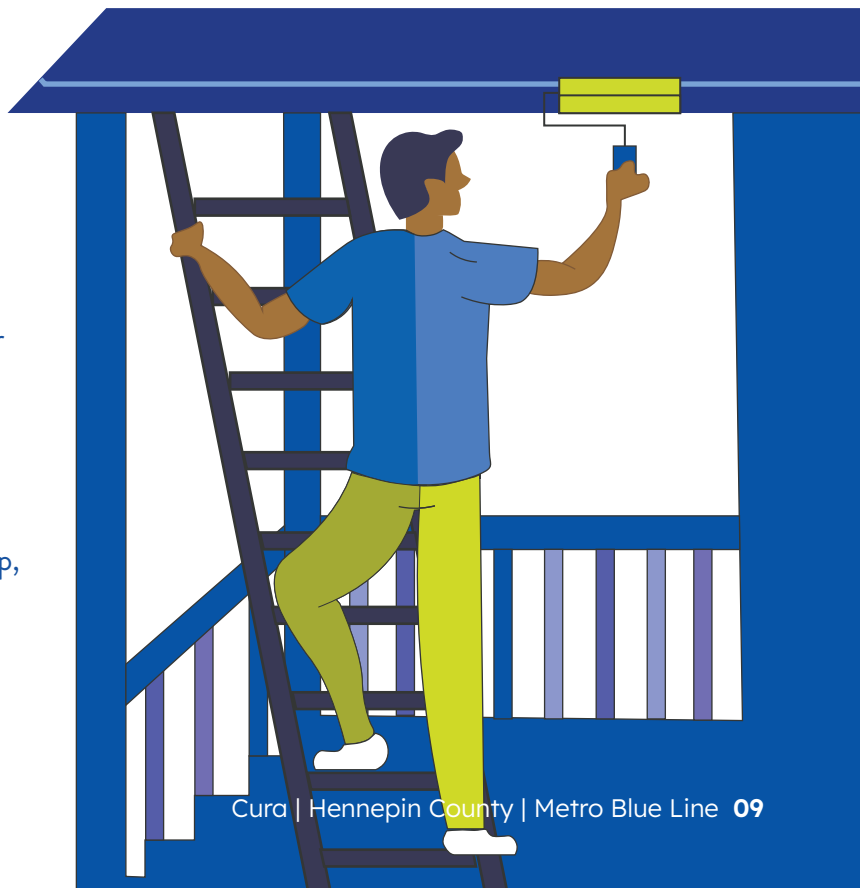
- Ensuring that youth feel safe on and around the lightrail, and feel excited and proud to remain in their communities.

MINNEAPOLIS:

-  Providing opportunities for community to connect to BLRT and development in a joyful way
-  Creating opportunities for community ownership and being able to measure levels of community ownership
-  Empowering community to have control over decision making throughout the corridor
-  Providing opportunities for existing residents and businesses to stay in place and feel supported
-  Addressing reparations to the Harrison neighborhood from previous route alignment
-  Creating and enforcing structures of accountability for government agencies along the alignment
-  Ensuring that there are sufficient resources to support policy implementation, organizing efforts, community development and ownership, and other anti-displacement strategies
-  Ensuring that there is access to land, housing and businesses in the corridor throughout all phases of construction
-  Ensuring that 50% of jobs from the Bottineau Light Rail development are held by corridor residents
-  Ensuring that there is a continued role for ADWG members throughout all phases of the project

CRYSTAL/ROBBINSDALE:

-  Addressing indirect construction impacts
-  Improving the climate for businesses post-construction, and prioritizing the development of spaces for small businesses
-  Improving infrastructure around the project
-  Supporting the development, preservation, and access of safe and affordable housing and housing choice
-  Keeping the rich culture of the corridor in place and enhancing it so it thrives
-  Ensuring that there are sufficient resources to support policy implementation, organizing efforts, community development and ownership, and other anti-displacement strategies



TIMELINE

The ADWG was also considerate of the implementation timing of each policy recommendation. Anti-displacement strategies need to consider whether policies should be implemented prior to construction, during construction, or after construction because it is important to know when a particular type of displacement pressure needs to be mitigated. The majority of anti-displacement policies need to be implemented prior to construction. Our research suggests that in a lot of cases, early implementation will lead to more effective displacement mitigation. Each policy in the section below talks about when each policy will be effective as recommended by the Anti-Displacement Work Group.

POLICIES:

- Mandatory Relocation Assistance
- Tenant Opportunity to Purchase
- Limiting Investor Purchasing/
Corporate Ownership
- Land Disposition Policy
- Right to Return
- Rent Stabilization
- Commercial and Residential
Land Trusts
- Financial Resources for Organizing
the Right to Organize
- Zero to Low Interest Loans
- Small Business Grants/Small Business
Support
- Workforce Programs
- NOAH Preservation
- Inclusionary Zoning
- Universal Basic Income/Guaranteed
Basic Income
- Right to Counsel
- Tenant Screening Reform
- Cultural Placekeeping/Placemaking

NEXT STEPS

ADWG recommendations are reflective of the process workgroup members collectively worked through, the hopes and needs of the larger communities they work and live in, a wide body of research, and insight regarding the practicality of implementation. However, policy recommendations are not ready to be implemented; governments, philanthropies, and other private organizations will still need to refine these recommendations and process them through official policy making structures.

While the workgroup discussed possibilities for funding, which include a mixture of local,

regional, and federal funds, making any concrete recommendations or decisions around resources was outside the scope of this phase of the project.

The project imagines that the next phase will make these ideas more concrete as they are received by various stakeholders, who must show high levels of participation and investment in order to see recommendations implemented at their highest value.

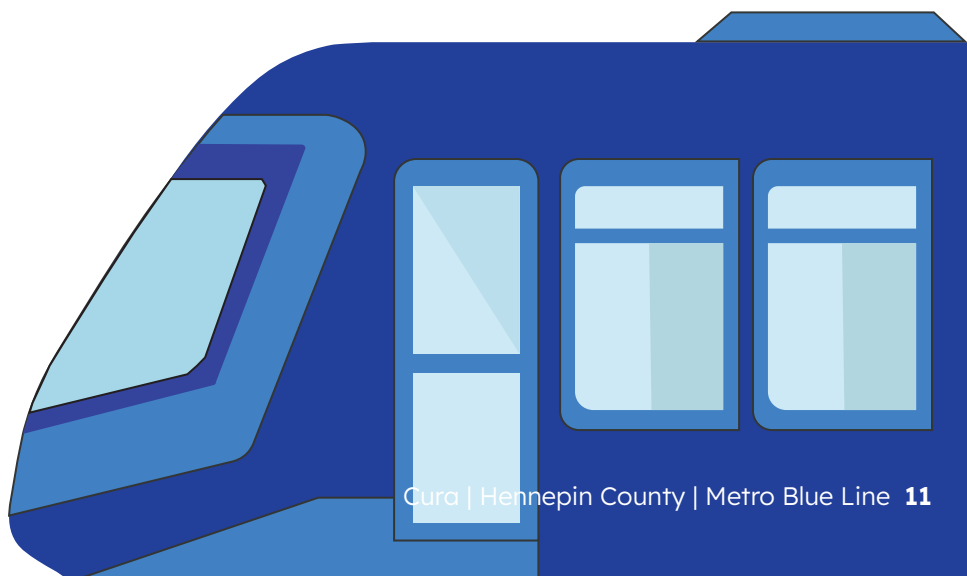
THE ADWG RECOMMENDS THE FOLLOWING STEPS TO BE ACCOMPLISHED BEFORE THE END OF 2023 IN ORDER TO ENSURE A TIMELY IMPLEMENTATION OF ANTI-DISPLACEMENT POLICIES AND STRATEGIES:

1. The creation of a regional group to continue the conversations about corridor-wide implementation of anti-displacement policies and strategies
2. The creation of local government groups to receive the recommendations of the ADWG and to begin bringing recommended policies through official policy making processes
3. The creation of a dedicated regional anti-displacement funding to support policy implementation, organizing efforts, and other anti-displacement strategies
4. Aligning anti-displacement research and recommendations with Blue Line Extension supplemental environmental impact statement mitigation measures
5. Developing a corridor-wide supported anti-displacement policy agenda for 2024 state legislative session

Structures of accountability to these recommendations are necessary to give community confidence that the Blue Line Extension will come with strong anti-displacement interventions.

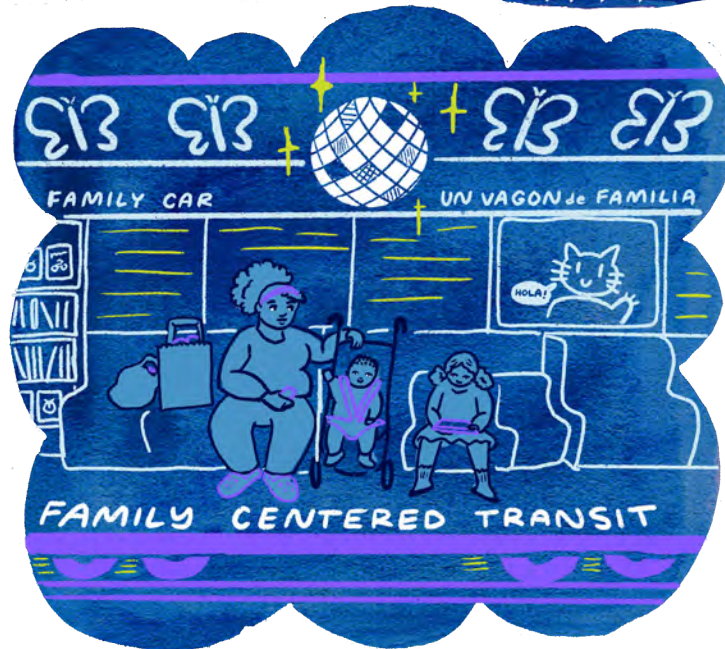
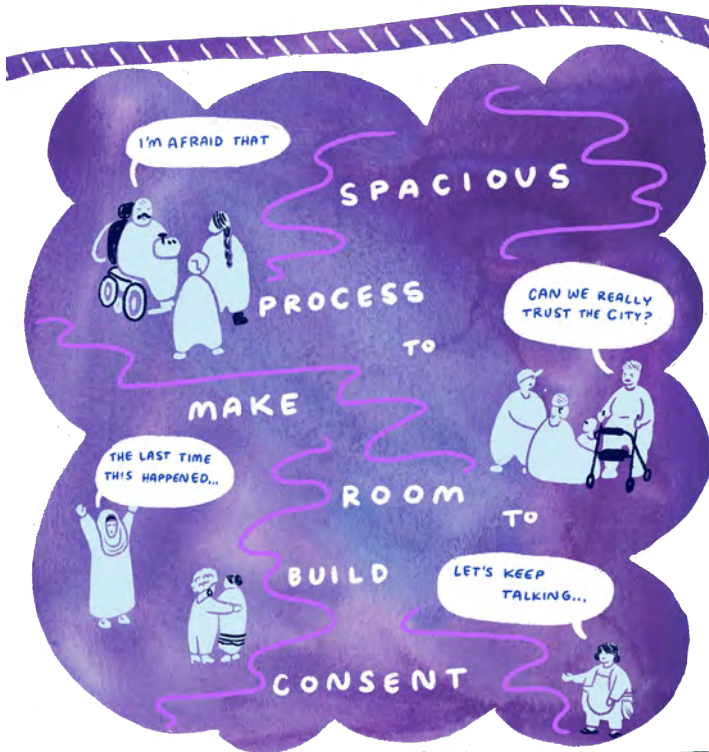
One workgroup member used the analogy that the community knows the Blue Line Extension will be built because everything in its structure says it will be built; the Blue Line Extension has a project office that is well funded, has engineers and other relevant staff, and can clearly define its next steps out to the time the line will be completed. In contrast, anti-displacement efforts do not currently have dedicated staff, dedicated funding, and have a lack of clear next steps towards policy implementation.

In order to give communities confidence that anti-displacement interventions will be a guaranteed and central aspect of the Blue Line extension, they need to be accompanied by dedicated and continuous funding, staff support, technical assistance, and enforced accountability mechanisms.



ANTI-DISPLACEMENT WORKGROUP FRAMEWORK







July 24, 2023

Chair Charlie Zelle and Corridor Management Committee
Metropolitan Council
390 Robert Street North
Saint Paul, MN 55101

RE: City of Brooklyn Park Feedback on Blue Line Extension Anti-Displacement Recommendations

Dear Chair Zelle and Members of the Corridor Management Committee:

Thank you for the opportunity to provide feedback on the anti-displacement report for the Blue Line Extension project. We appreciate being included in the Anti-Displacement Work Group process. The ADWG was facilitated with intention and thoughtfulness, and we appreciated that the experiences, priorities, and concerns of local community members and business owners were centered in the conversations.

Similar to what other cities have shared, we are both encouraged by the opportunities to mitigate displacement with the Blue Line Extension project and also concerned about the level of commitment and resources available to successfully implement meaningful anti-displacement strategies. Many more resources are needed to achieve the many shared desired outcomes identified in the report.

We want to reiterate some of what was in the letter by the City of Minneapolis about several other components of this work that need clarity and concerted development in the very near future for anti-displacement to be successful. While these may not be in the scope of the report, they are critical to anti-displacement efforts needed for the project, and for instilling community confidence as routing decisions are made.

1. A specific plan for near-term residential and commercial property takings that provides opportunities for people to stay in the neighborhood.
2. A specific plan for addressing direct construction impacts (including parking, access issues, and wayfinding prior to, during construction, and after rail service begins). A clear plan for communicating construction plans and updates to local residents and business owners is also needed.
3. Identified and committed financial resources for implementation of anti-displacement strategies prior to the commencement of construction. We appreciate the report's acknowledgement of the need for dedicated regional funding for this work, and we want to underscore the importance of these resources being identified as soon as possible. Without the needed resources identified, the City is not able to commit to specific new or deepened investments for this very important work.
4. Identified roles, timeline, and funding source for the coordination and implementation of anti-displacement work.

5. An intentional plan for aligning anti-displacement work with the project timeline, engagement plan, and upcoming milestones.

Like Minneapolis stated in its letter, we urge the Project Office and the CMC to begin this work in earnest as soon as possible in partnership with the corridor cities.

Of the 17 recommended anti-displacement policies in the report, the City of Brooklyn Park has adopted and implemented nine of these policies in some form already. We are reviewing the other recommendations for opportunities to advance additional efforts. Several of the recommended policies would be better implemented at the county or state level and so we look forward to working with the ADWG coordinating team, project partners, and community members to advance these ideas.

Thank you for keeping focus and attention on policies and actions that will prevent displacement. Brooklyn Park remains committed to this work so that the existing communities along the corridor can reap the benefits of this important transportation investment.

Sincerely,

Mayor Hollies Winston on behalf of the Brooklyn Park City Council

Cc:

C Terrance Anderson, CURA University of Minnesota

Chris Beckwith, METRO Blue Line Extension Project Director

Dan Soler, Hennepin County Director of Transit and Mobility

Cathy Gold, Hennepin County Public Works Administration, Transit and Mobility Department

Order in report	Recommendation / Policies	Type	Effectiveness at preventing displacement at scale	Ease of Implementation	Funding needed	Does BP do this (2023)?	Who is responsible?
10	Small Business Grants/Support	Business stabilization	Mod	Moderate	Moderate	Yes, but not specific to anti-displacement	Gov
3	Limit investor purchasing	Control property ownership	low	Difficult - politics	Low	Not beyond licensing rentals	State
4	Land Disposition Policy	Control property ownership	high	Moderate	Low	No formal policy; done case by case	Project Office
7	Commercial and Residential Land Trust	Control property ownership	n/a	Easy	High	Yes - with Homes within Reach on SF homes	Non profit
12	NOAH Preservation	Control property ownership	mod	Moderate	High	Yes - 834 units at Huntington Place preserved with NOAH funds	Non profits; Gov
9	Zero to low interest loans	Homeowner stabilization	mod	Moderate	Moderate	Yes, but not specific to anti-displacement	Gov
17	Cultural Placekeeping/Placemaking	Homeowner/business stabilization	Low	Difficult	Moderate	A little - Public art; language access;	Gov; Non profits
11	Workforce programs	Increase local incomes	n/a	Moderate	Moderate	Yes, Brooklynk, Career Pathways, and YEP	Gov; Non profits
14	Universal Basic Income / Guaranteed Basic Income	Increase local incomes	n/a	High - politics	High	No	State
13	Inclusionary Zoning	New affordable housing	low	Moderate	Moderate	Yes - with Homes within Reach on SF homes	City
1	Mandatory Relocation Assistance	Tenant protection	low or n/a	Difficult	low - policy	For public projects only	Gov
2	Tenant Opportunity to Purchase	Tenant protection	low	Difficult	Moderate	No	State?
5	Right to Return	Tenant protection	low	Difficult	High	No	Tied to a projects
6	Rent Stabilization	Tenant protection	mod	Difficult	low - policy	No	City
8	Finanical resources for organizing/right to organize	Tenant protection	low or n/a	Moderate	Low	Some: City housing and outreach staff work and ARPA community partner grants	City
15	Right To Council	Tenant protection	Moderate	Moderate	Low	No	City
16	Tenant Screening Reform	Tenant protection	n/a	Moderate	Low	No	City
Missing	Public property acquisition / community ownership	Control property ownership	High	Moderate	High	Yes - Small Business Center/Northwinds Plaza	Gov
Missing	First right of refusal to public entity	Control property ownership	High	Difficult	High	No	Gov
Missing	Additional benefits for property owners and renters directly impacted by construction	Stabilization; Business tenant protection	high	Easy	Moderate	No	Gov

Order in report	Recommendation / Policies	Type	Effectiveness at preventing displacement at scale	Ease of Implementation	Funding needed	Does BP do this (2023)?	Who is responsible?
Missing	Expand business tenant rights	Business tenant protection	Moderate	Difficult	Low	No	Gov

City of Brooklyn Park City Council Work Session

Agenda Item:	10.1	Meeting Date:	July 24, 2023
Agenda Section:	Work Session	Prepared By:	Paul Mogush, Planning Director
Resolution:	N/A	Presented By:	Paul Mogush
Attachments:	1		
Item:	610 Corridor Development Study		

Overview/Background:

At the June 20 joint Council/Planning Commission work session on the 610 Corridor Development Study, NEOO Partners presented three development models for the Zane-Oak Grove area. City and consultant staff then conducted a day-long open house on June 26 to receive feedback on the models, followed by an online survey.

At the July 24 joint Council/Planning Commission work session, staff will present the following for discussion:

- Additional work on the models in response to feedback from City Council and Planning Commission members.
- A summary of feedback received from the community at the June 26 open house and July online survey.
- A preview of the approach staff is proposing for amending the 2040 Comprehensive Plan to achieve the goal of the interim ordinance (moratorium). Staff expects to bring these changes forward for formal consideration at the Planning Commission and City Council in August.

Budgetary/Fiscal Issues: N/A

Attachments:

10.1A 610 CORRIDOR DEVELOPMENT STUDY ENGAGEMENT SUMMARY

610 Corridor Engagement-Background

NEOO Partners used various methods to engage with decision makers and the public to ensure input on the 610 Corridor in Brooklyn Park. At each engagement event participants were asked about what they wanted to see more or less of in the area and how this development could help Brooklyn Park reach its 2025 goals. Key decision makers in Brooklyn Park provided feedback on three development scenarios (business as usual, medium density development and high density development) and dove deeper into these different scenarios during breakout sessions at the Joint Session of the City Council and Planning Commission. The open house, video, and survey gave the greater Brooklyn Park community an opportunity to give input in person and online. The following report provides a snapshot of the methods of engagement and key themes.

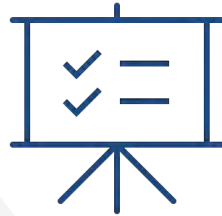


610 Corridor Engagement-Snapshot

NEOO Partners used various methods to engage with decision makers and the public to ensure input on the 610 Corridor in Brooklyn Park.



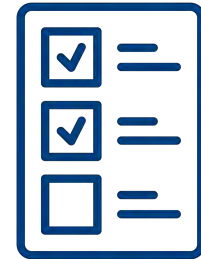
JOINT SESSION
(1 session)



1 OPEN HOUSE
(30 attendees)



1 VIDEO
(500 views)



SURVEY
(259 responses)

610 Corridor Engagement: Joint Session

On June 20, 2023, the City of Brooklyn Park held a joint session of the Planning Commission and City Council.

Key themes:

- Shared desire to move toward the medium and high density development models with more retail amenities
- Keep money within Brooklyn Park and make it a destination for residents, rather than having to go to neighboring developments in places like Arbor Lakes in Maple Grove or West End in St. Louis Park
- Consider the relationship between population density and more amenities
- Actively engage with desired businesses rather than waiting passively for input



610 Corridor Engagement: Joint Session

Concerns/challenges raised with the higher density development models



- Public safety and reputational concerns
- Additional traffic that comes with more housing in
- Ability for the City to ensure that the projects developed will be long-term assets (quality of design, construction, and long-term property management)

610 Corridor Engagement: Joint Session

Key wants raised with the higher density development models



- Both alternative development models were economically appealing
- Incorporate hotels, restaurants, medical facilities, and other amenities to attract residents and investment
- Understand impact of high- and medium-density models on the city's population and the goal of closing the tax base gap with other cities
- Need for more housing due to the regional housing shortage
- Engage and communicate with the community, by tying it to the Brooklyn Park 2025 Goals

610 Corridor Public Engagement: Open House

On June 26, 2023 an all day Open House was held at the Brooklyn Park Public Library.

At the open house attendees were presented with an overview of three models: (1) high density (2) medium density, and (3) business as usual.



After a Q&A Session, these questions were asked:

1. What does the development area need **more** of?
2. What does the development area need **less** of?
3. Which **connectivity amenities** would you like to see in the area?
4. What **pedestrian amenities** would you like to see in the area?
5. Which elements make you excited about **living in this area**?
6. What activities would you like to **engage in**?
7. How can development help support the City's **2025 Community Goals**?

610 Corridor Public Engagement: Open House

Key themes from the June 26, 2023 Open House



- A desire for destination retail
- Less industrial/warehouse uses
- More housing is needed
- More places for gathering, recreation, trails, scenic views, etc.
- Traffic concerns with so much additional housing

610 Corridor Public Engagement: Video

A short video released on July 5th, 2023 described the three development models and directed the community to fill out a short survey with the same questions from the Open House.



- The video was viewed 500 times
- The City of Brooklyn Park and NEOO Partners promoted the video on their respective social media channels
- [Link to video](#)

610 Corridor Public Engagement: Survey

An online survey opened from July 5 - 14, 2023 asked similar questions to the open house. The survey provided more details on the types of pedestrian amenities and types of connectivity-see Appendix C for full questions and results.

Repondent key themes for amenities and activities :



- Excited by green spaces (66%), retail (61%), and entertainment options (55%)
- Top activities were shopping & dining (84%), nature (63%), and summer recreation (58%)
- Wide sidewalks (82%), pedestrian-priority street crossings,(63%) and dedicated bike lanes (37%) were the top choices for connectivity
- Shading trees and awnings (68%), green spaces and required seating (61%), and resting and seating areas (54%) were the top choices for pedestrian amenities

610 Corridor Public Engagement: Survey

Key themes continued , see Appendix C for full questions and results

Repondent key themes continued :



- MORE retail, public gathering & programming, green spaces, and affordable housing
- LESS housing and office due to traffic and safety concerns
- Public safety concerns associated with higher density rental housing
- Retail with lots of public amenities and sustainability could support the 2025 goals

610 Corridor: Overall Engagement Themes

The following are the common themes from the joint session, open house, and survey

**Destination retail
& entertainment**

**Traffic concerns
tied to additional
multifamily
housing**

**Public safety
concerns with
additional
multifamily
housing**

**Connectivity and
public gathering
spaces &
programming**

**Alleviate property
tax increases**

610 Corridor: Recommendations

Based on the engagement to date (joint session, open house and survey), there is a clear desire for change in Brooklyn Park focused on **destination retail and green and public gathering spaces**.

More housing is needed, and there are strong concerns that commercial scale housing will not increase **public safety**, and will **stress traffic** in the area.

The **survey revealed that less housing and office** was desired in the area, while the medium and high density model incorporate housing to support public amenities, to get the best tax base return, and meet the 2025 City goals.

Overall, there is support for pursuing development that creates new and safe destinations for the community.



Appendix A: 610 Corridor Engagement-Joint Session Detailed Summary



Appendix A: Joint Council Summary Report

On June 20th, 2023, the Brooklyn Park Mayor, City Council, and Planning Commission held a special joint session to discuss the benefits and drawbacks to three development models prepared for the 610 Corridor. NEOO was hired by the City to model different developments that increase tax revenue, minimize property taxes of residents over time and create a new vision for future large scale development in Brooklyn Park. The three models presented included:

- (1) high-density
- (2) medium-density and
- (3) business as usual

After the presentation there was a large group discussion followed by 3 breakout sessions where elected officials and City staff dove deeper into the content.

Joint Session (Council and Commissioners) Key Themes:

- A desire to shift from business as usual to move toward the medium and high density development (models)
- Keep money within Brooklyn Park and make it a destination for residents, rather than having to go to neighboring developments in places like Arbor Lakes in Maple Grove or West End in St. Louis Park
- Consider the relationship between population density and more amenities
- Actively engage with desired businesses rather than waiting passively for input

Breakout session:

Key Concerns

- Capacity of street infrastructure to withstand more housing even if development produces good economic value
- Public safety and reputational concerns
- Need for more housing due to the regional housing shortage
- Ability for the City to ensure that the projects developed will match the density with quality of design, quality of construction, and quality of long-term property management
- Too many one-bedroom units and naturally occurring affordable housing (NOAH)
- Address traffic concerns that come with increased development

Key Wants

- Both alternative development models (high and medium density) were economically appealing
- Incorporate hotels, restaurants, medical facilities, and other amenities to attract residents and investment

- Impact of high- and medium-density models on the city's population and the goal of closing the tax base gap with other cities
- Need for more housing due to the regional housing shortage
- Engage and communicate with the community, by tying it to the Brooklyn Park 2025 Goals
- Create bike and pedestrian-friendly streets
- Minimizing parking while maximizing land use

Overall, there is a strong interest in developing Brooklyn Park as a destination with a focus on retail, amenities, and higher-quality development. Attracting local businesses, retaining local spending, engaging the community, creating a unique identity along with traffic concerns, sustainability, and balancing housing types for the City were recurring themes throughout the feedback and discussions.

Appendix B-610 Corridor Engagement-Open House Detailed Summary



Appendix B: 610 Corridor Open House Summary Report

Background

NEOO hosted an all day (10:00am-7:00pm) in-person open house for the City of Brooklyn Park's 610 Project at the Brooklyn Park Library to provide the public with three different models to consider for the area: (1) high density (2) medium density, and (3) business as usual. Two presentations were held at 12:00 pm and 6:00 pm to review the models in more detail, done intentionally so residents could stop by on their lunch hour, or after the end of the traditional workday. The open house format allowed residents, business owners, and key stakeholders to stop by on their own time around work or personal schedules. Participants were asked to comment on the development area using post-it notes with specific prompts to respond to. The questions were as follows: (1) What does the development area need more of? (2) What does the development area need less of? (3) Which connectivity amenities would you like to see in the development area? (4) Which elements make you excited about living in this development area? (5) What activities would you like to engage in? (6) What pedestrian amenities would you like to see in the development area? (7) How can development help support the City's 2025 Community Goals? City and NEOO staff were present all day to answer questions and provide any clarification.

Key Themes

1. A desire for destination retail
2. Less industrial/warehouse uses
3. More places for gathering, recreation, trails, scenic views, etc.
4. Traffic concerns with so much additional housing

Overall comments

- Property owners expressed concerns about higher property taxes and emphasized the importance of minimizing tax bill increases over time.
- Potential to see more amenities like public gathering, programming, and recreation amenities; like district-wide infrastructure, district heating, cooling, renewable energy, and multi-modal transportation systems with higher density development
- Zoning implications for current property within the area if the higher density development is permitted
- The role of City Council and how decisions will be made regarding the different models presented
- Attendees expressed a desire for aspirational change, specifically keeping in mind the desires of neighboring North Minneapolis families and supporting women entrepreneurs.
- An artist in attendance emphasized the need for consistent standards, such as landscaping, and highlighted existing rules that should be followed for new buildings.
- Concerns were raised from residents about their perception that Brooklyn Park struggles to attract and retain business beyond chain establishments

- Maintenance of city-owned areas, including sidewalks, bushes, and trees, was a concern, and reference was made to a financial model in Maple Grove that ensures proper upkeep

Model 1 and Model 2

- Participants appreciated the idea of open site lines that would facilitate programming and the provision of public and private shared parking. existing ownership balanced with a long term vision and how residents and key stakeholders interests would be addressed
- Balancing the development with the nearby Target station area and determining market demand w
- Parking requirements of two spots per unit of housing.
- Potential connection of the project to the Blue Line Light Rail station area and the Transit-Oriented Development (TOD) principles that will accompany it, was raised, along with the availability of pre-development and development funds through the Met Council.
- Economic environment and decision-making process regarding rental properties versus offices

Post it notes from the boards

*What does the development area need **more of**?*

- Quality committed landscape maintenance
- Cleanliness
- Public park needs to be more visible
- Walkability w/in existing (or new) structures
- Access from point A-B-C, etc.
- More round-about instead of stop lights
- Business opportunities
- Interesting shopping - gift stores, places for people to browse
- Higher business exterior standards
- Model 1 (high density model) takes into account a lot of what BP needs and wants
- Medical Facilities – Existing medical facilities are overwhelmed
- Will water quality improvements result from this development?
- Great walkability setting BP as a destination place for surrounding cities
- Nice affordable housing
- Senior housing
- More accommodation for bikes, scooters, e-bike, outside of shops to encourage less use of cars
- Local and small businesses
- Finer dining or destination dining
- Improvements and updates to the community center to offer and attract more opportunities for diversity → age, appropriate
- We were told the only thing that could be built was senior housing – 101st & Zane - where Schreiber farm is! Senior housing - great. Retail - no!

- More engagement w/ existing residents in the development area
- Nice sit-down restaurants
- More retail, more low/density/townhome living
- Landscaped boulevards and city parks
- Green space
- Shopping, so we don't have to go to surrounding cities
- I would like to see the city move towards model 1 (high density model)
- Destination bars and restaurants
- Destination bars and restaurants

*What does the development area need **less of**?*

- Less fast food and drive-thru food places
- How will this development intensity impact the school districts?
- Euro-centric spaces
- Tip-up warehouses
- Warehouses
- Less warehouses
- Less warehouses

Which connectivity amenities would you like to see in the development area?

- Neighborhood planning committee(s)
- Small business Saturdays: Make it a big deal!
- Want to attract people to BP from around the region
- Many trees and water features
- Movie theater
- How will Highway 252 improvements impact this development? Will it constrain it and become a safety issue?
- Connection to Shingle Creek trail
- More police community outreach
- Kids STEM activity areas
- Trails for walking and biking
- Play theater/musical theater
- Traffic concerns. Right now everywhere in the city is accessible quickly. How do we maintain this?

Which elements make you excited about living in this development area?

- Higher-end living options
- Model 1 or 2 (high and medium density, respectively) – Gives “city living” vibes that’s attractive for businesses and entertainment kind of like Maple Grove
- I want to find activities within the community instead of going somewhere else
- Nice restaurants and shopping

- More restaurants
- Restaurants are very important
- Having spaces where we can walk, shop, eat, have some culture in our own city
- Retail is “awesome”
- Will make Brooklyn Park more desirable
- More development of restaurants in our area vs. fast food drive-thrus
- I second higher-end living options
- Playground and swimming pool

What activities would you like to engage in?

- Retail, especially supporting small business
- Playground for kids
- Kid-friendly safe play spaces
- Want activities within BP rather than having to go downtown Mpls
- Desirable example of development – West End (St. Louis Park)
- Spaces where we can get together as a community and just be with each other
- Splash pad like in Champlin
- Is office and high density residential compatible? How do you get people to stay after work?

What pedestrian amenities would you like to see in the development area?

- Electronic crosswalk signs
- Designated bike paths
- Parking ramps should be surrounded by activities – not isolated
- Zane is a very busy, high traffic road. For walkability to increase, pedestrian bridges would be crucial
- Designated green spaces, trails, walkways
- Places to take walks, w/ water scenery
- Maple Grove parking ramp – good example of what is desired

How can development help support the City's 2025 Community Goals?

- Model 1 (high density) unites community with activities and diverse spaces to gather, beautiful places and thriving economy
- Need to update the community center to attract more activities and diversity → age, gender, race
- Updated community center with facilities for growing families
- How will an increase in population density impact police presence/growth of the department?
- Vote for medium density model, lower stories, reference photos more appealing
- Integrated ethnic groups that generate their culture in business applications
- If we had places and spaces that become destinations, can help BP thrive economically. Need to be purposeful in creating spaces representative of BP's diversity (cultures, SES, ages, etc).

Appendix C: 610 Corridor Engagement-Survey Detailed Summary



Appendix C: 610 Corridor Survey Summary

Background

An online survey, open from July 5th to July 14th 2023, allowed a wider audience (n=259) of Brooklyn Park stakeholders to weigh in on development for the 610 Corridor. The survey asked questions centered on desired amenities, activities and connection to the 2025 Plan. A video promoting the survey provided a visual for what amenities medium and higher density could provide and directed stakeholders to complete the survey. The video and survey were promoted by the City of Brooklyn Park and NEOO Partners.

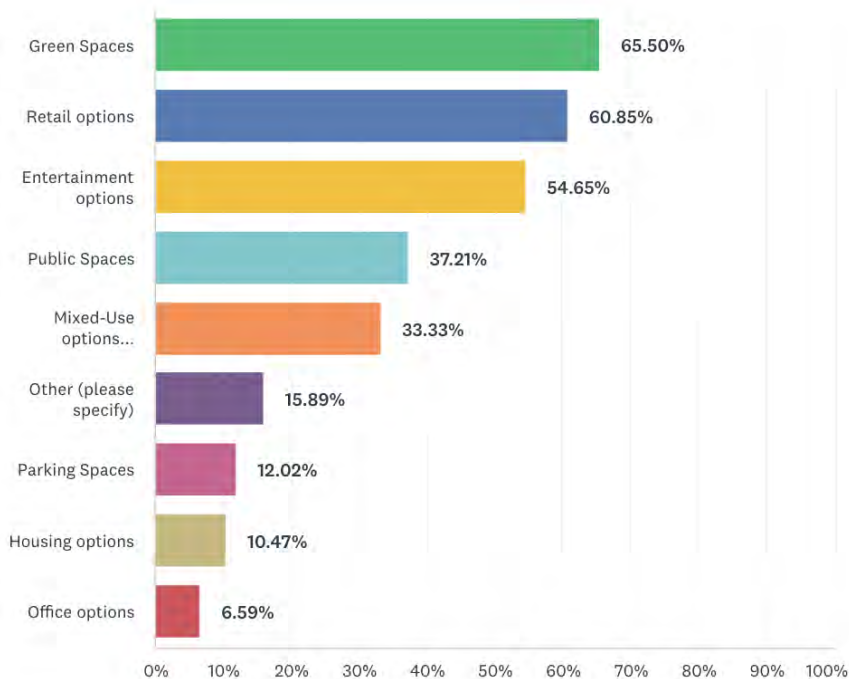
Key Themes

- Excited by green spaces (66%), retail (61%), and entertainment options (55%)
- Top activities were shopping & dining (84%), nature (63%), and summer recreation (58%)
- Wide sidewalks (82%), pedestrian-priority street crossings,(63%) and dedicated bike lanes (37%) were the top choices for connectivity
- Shading trees and awnings (68%), green spaces and required seating (61%), and resting and seating areas (54%) were the top choices for pedestrian amenities
- MORE retail, public gathering & programming, green spaces and affordable housing
- LESS housing and office due to traffic and safety concerns
- Public safety concerns associated with higher density rental housing
- Retail with lots of public amenities and sustainability could support the 2025 Plan

Below are the questions asked along with their results. Respondents were allowed to pick more than one response for each question.

Which elements make you excited about living in this development area?

Answered: 258 Skipped: 1

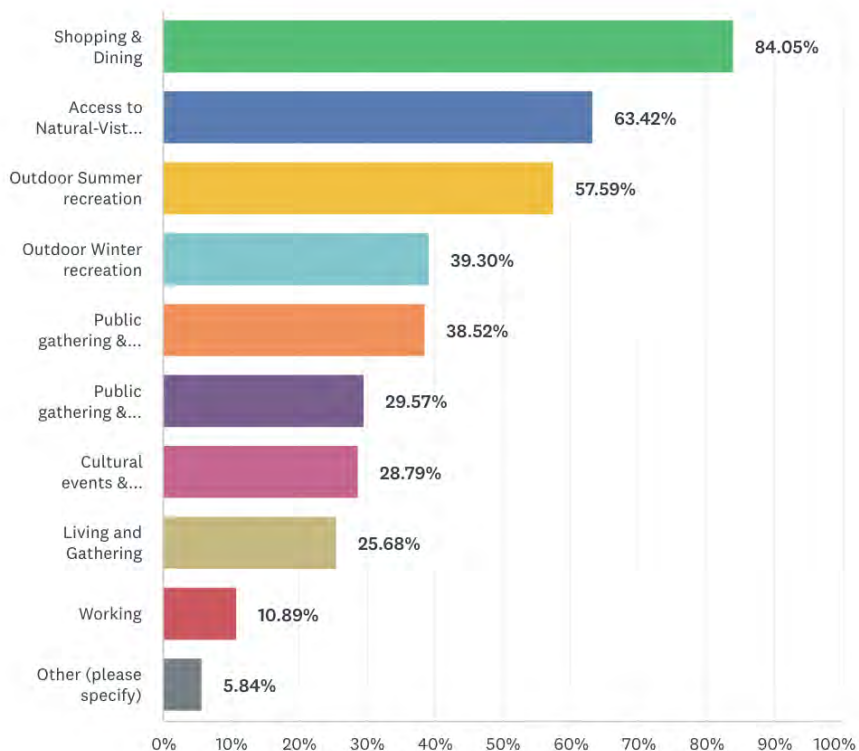


ANSWER CHOICES	RESPONSES
Green Spaces	65.50% 169
Retail options	60.85% 157
Entertainment options	54.65% 141
Public Spaces	37.21% 96
Mixed-Use options (Housing + Retail)	33.33% 86
Other (please specify)	Responses 15.89% 41
Parking Spaces	12.02% 31
Housing options	10.47% 27
Office options	6.59% 17
Total Respondents: 258	

Of the 258 respondents who answered this question, over 60% are excited about increased green spaces and retail options, and 54% are excited about entertainment options.

What activities would you like to engage in within the development area?

Answered: 257 Skipped: 2

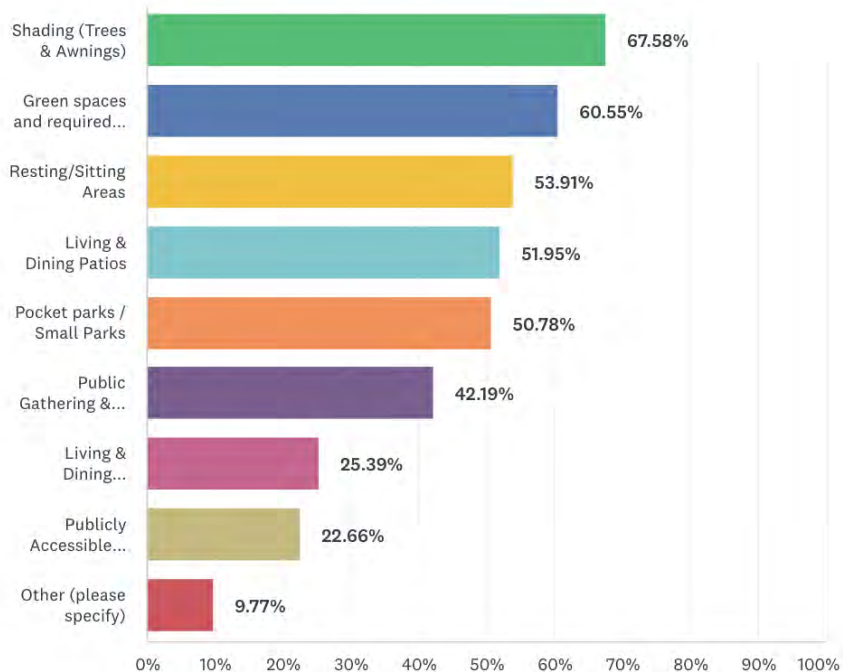


ANSWER CHOICES	RESPONSES	
▼ Shopping & Dining	84.05%	216
▼ Access to Natural-Vistas & Trails	63.42%	163
▼ Outdoor Summer recreation	57.59%	148
▼ Outdoor Winter recreation	39.30%	101
▼ Public gathering & event spaces (outdoor)	38.52%	99
▼ Public gathering & event spaces (indoor)	29.57%	76
▼ Cultural events & programming	28.79%	74
▼ Living and Gathering	25.68%	66
▼ Working	10.89%	28
▼ Other (please specify)	Responses 5.84%	15
Total Respondents: 257		

Of the 257 respondents who answered this question, 84% would engage with shopping and dining experiences, 63% would engage with nature vistas and trails, and 57% would engage with a space that accommodates outdoor summer recreational activities.

What pedestrian amenities would you like to see in the development area?

Answered: 256 Skipped: 3

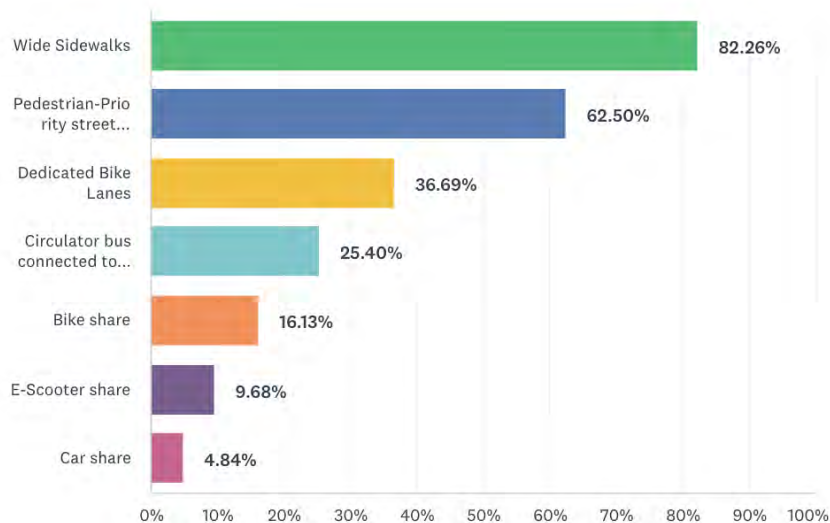


ANSWER CHOICES	RESPONSES	
▼ Shading (Trees & Awnings)	67.58%	173
▼ Green spaces and required landscaping	60.55%	155
▼ Resting/Sitting Areas	53.91%	138
▼ Living & Dining Patios	51.95%	133
▼ Pocket parks / Small Parks	50.78%	130
▼ Public Gathering & Performance Areas	42.19%	108
▼ Living & Dining Balconies	25.39%	65
▼ Publicly Accessible Green Roofs	22.66%	58
▼ Other (please specify)	Responses 9.77%	25
Total Respondents: 256		

Of the 256 respondents who answered this question, 67% would like to see shading (trees and awnings), 60% would like to see green spaces and required landscaping, and 53% would like to see resting/sitting areas as pedestrian amenities. Other responses that received high votes are living and dining patios (51%), pocket parks/small parks (50%), and public gathering and performance areas (42%).

Which connectivity amenities would you like to see in this development area?

Answered: 248 Skipped: 11

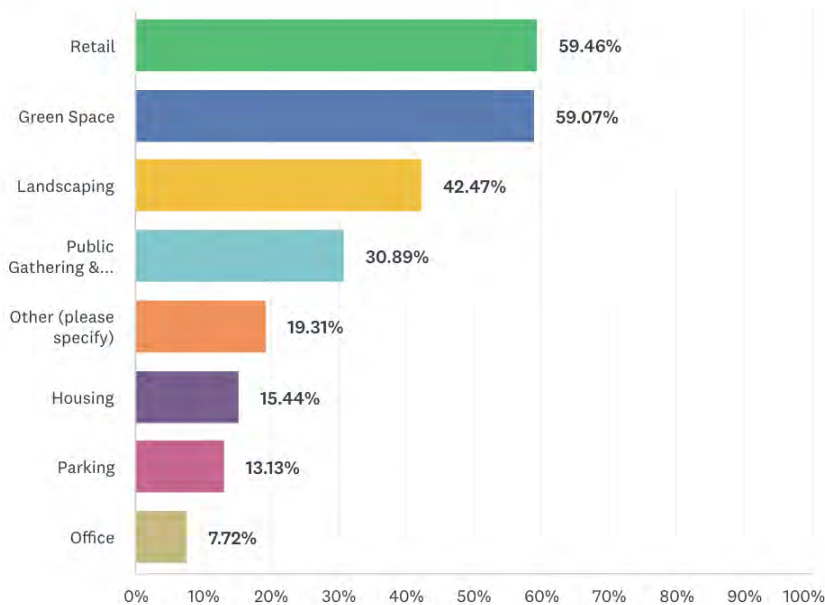


ANSWER CHOICES	RESPONSES
Wide Sidewalks	82.26% 204
Pedestrian-Priority street crossings	62.50% 155
Dedicated Bike Lanes	36.69% 91
Circulator bus connected to Blue Line station	25.40% 63
Bike share	16.13% 40
E-Scooter share	9.68% 24
Car share	4.84% 12
Total Respondents: 248	

Of the 248 respondents who answered this question, 82% would like to see wide sidewalks, 62% would like to see pedestrian-priority street crossings, and 36% would like to see dedicated bike lanes as connectivity amenities.

What does the development area need MORE of?

Answered: 259 Skipped: 0

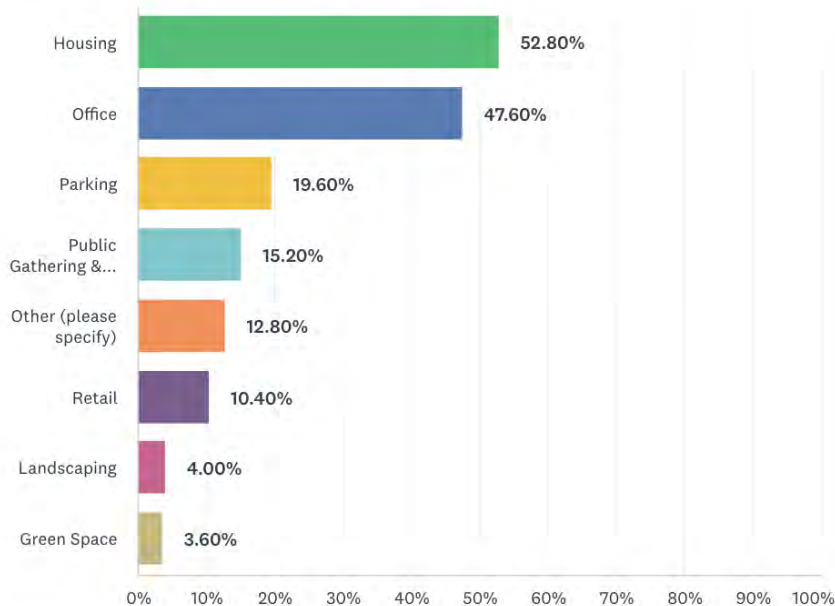


ANSWER CHOICES	RESPONSES	Count
▼ Retail	59.46%	154
▼ Green Space	59.07%	153
▼ Landscaping	42.47%	110
▼ Public Gathering & Programming Space	30.89%	80
▼ Other (please specify)	Responses 19.31%	50
▼ Housing	15.44%	40
▼ Parking	13.13%	34
▼ Office	7.72%	20
Total Respondents: 259		

Of the 259 respondents who answered this question 59% would like to see more retail, another 59% would like to see more green space, and 42% would like to see more landscaping in this development area.

What does the development area need LESS of?

Answered: 250 Skipped: 9



ANSWER CHOICES	RESPONSES	
▼ Housing	52.80%	132
▼ Office	47.60%	119
▼ Parking	19.60%	49
▼ Public Gathering & Programming Space	15.20%	38
▼ Other (please specify)	Responses 12.80%	32
▼ Retail	10.40%	26
▼ Landscaping	4.00%	10
▼ Green Space	3.60%	9
Total Respondents: 250		

Of the 250 respondents who answered this question, 52% would like to see less housing, 47% would like to see less office, and 19% would like to see less parking in this development area.

The final questions in the survey were opened-ended. Question 7 asked how the development could support the 2025 Plan and question 8 asked respondents to provide any remaining feedback.

City of Brooklyn Park - 610 Corridor Development Survey

Q7 How can development help support the City's 2025 Community Goals?
-A united and welcoming community, strengthened by our diversity-
Beautiful spaces and quality infrastructure make Brooklyn Park a unique
destination-A balanced economic environment that empowers businesses
and people to thrive-People of all ages have what they need to feel healthy
and safe-Partnerships that increase racial and economic equity empower
residents and neighborhoods to prosper-Effective and engaging
government recognized as a leader

Answered: 152 Skipped: 107

#	RESPONSES	DATE
1	Need Parks and play spaces for all ages. Access to lots of green space. Solar, clean energy, and energy efficiency is a must! Diverse businesses and diverse housing opportunities.	7/14/2023 2:44 PM
2	Brooklyn Park has an abundance of residential properties, but lacks the retail and business (not light industrial) that services the residential and generates taxes.	7/12/2023 9:25 PM
3	Control crime Enforce consequences Local jobs	7/12/2023 5:31 PM
4	Seems the only large gathering space is the community center. There needs to be more than one area so multiple events can take place.	7/12/2023 4:20 PM
5	A strong police department that is proactive in preventing crime in our communities	7/12/2023 1:18 PM
6	Economic equity is increased by giving all an opportunity to advance, based on hard work, not by using taxpayer dollars to fund everything.	7/12/2023 10:07 AM
7	reducing our high property taxes	7/11/2023 8:47 PM
8	retail and restaurants with outdoor seating can bring the community together. places where we can meet.	7/11/2023 8:42 PM
9	Location is wrong. Should have been located in center near Zane and Noble. Very poor planning once again.	7/11/2023 7:57 PM
10	affordable housing, encouraging black/POC-owned businesses in the area, active and healthy residents, healthy but affordable restaurants. Sustainability such as solar panels, etc.	7/11/2023 7:11 PM
11	Future development has to address our current realities that are present such as a need for affordable housing, youth programming and reduction of crime to be successful.	7/11/2023 5:25 AM
12	More retail and high end restaurants, no more townhomes and apartments, no lightrail	7/10/2023 11:31 PM
13	Less retail spaces, look at Maplebagrove and how many store fronts are sitting empty. Please also look at redevelopment of other areas of Brooklyn Park that need an upgrade before adding. The city as a whole needs to present well, not just one area.	7/10/2023 11:38 AM
14	Brooklyn Park has TOO MUCH high density housing. We would like to see more single family homes. Restaurants and retail would bring people from outside BP to our area to dine and shop. We need more upscale housing and dining options.	7/10/2023 11:33 AM
15	Less apartments Enough with diversity crap Nothing that will bring in more trouble	7/10/2023 11:27 AM
16	We had a special place and threw it away. Drove out the animals, tore down trees. Built, built, built. Increases our property taxes	7/10/2023 9:06 AM
17	Strong transportation connections to southern Brooklyn Park to give access to residents in lower income areas Our city needs restaurants and entertainment so residents don't have to go	7/10/2023 8:42 AM

City of Brooklyn Park - 610 Corridor Development Survey

to Maple Grove

18	Find some areas for solar panels and public vegetable gardens. Some local bus options would help replace some of the need for cars and get seniors out and about. Right now we are so car focused we are a city of garages with attached bedrooms and not much living because it's not very people friendly. I like the idea of building up instead of the usual suburban giant flat one story boxes taking up space. Also consider natural landscaping instead of all manicured lawns to use less water and no chemicals and more climate friendly.	7/10/2023 12:35 AM
19	Less density	7/9/2023 2:54 PM
20	Building more attractive small city public areas, increased retail (no fast food). A mini Arbor Lakes type retail/entertainment area. No more warehouse looking offices which have decreased the beauty of Brooklyn park. Places for kids and families to enjoy nature and each other.	7/9/2023 12:16 PM
21	All of the above	7/9/2023 11:12 AM
22	Creating a common space for the community to gather and be proud of. Where you can see and greet your neighbors and meet new members of your city. Generate excitement and programs and events that will bring others outside our city here and want to consider moving to our city as well	7/9/2023 9:00 AM
23	Create a center for the arts in this area and ensure increased police presence in this area to avoid blue line criminal activity.	7/9/2023 8:35 AM
24	We need an area in Brooklyn Park, similar to what they have in Maple Grove. We do all of our shopping there and it would be nice to remain closer to home. The space should include walking paths that connect to the bike trails, small ponds and an outdoor venue for watching concerts.	7/9/2023 7:31 AM
25	Creating beautiful and safe spaces for the community to use and interact in. Particularly safe play areas for children.	7/9/2023 6:55 AM
26	Hold rental properties to a higher standard, hold landlords and tenants accountable for the company they bring to our city. Eliminate panhandlers, clean and maintain all areas of BP not only the higher street numbers near and beyond 610	7/8/2023 9:16 PM
27	-Beautiful spaces and quality infrastructure make Brooklyn Park a unique destination	7/8/2023 3:25 PM
28	All design and implementation needs to focus on a green approach, using purposeful conservation, with safety in mind. Don't create areas for people to live and gather just to do unsafe, unsanitary, and unlawful activities.	7/8/2023 3:18 PM
29	If the goal is to increase the city's tax base while reducing property taxes, it would make sense to me to have more businesses than housing and not giving the businesses huge tax breaks which then results in making up the revenue by keeping property taxes elevated for residents. But Minnesota's anti-business climate is not helping your case.	7/8/2023 12:22 PM
30	Less fast food. Encourage sit down restaurants.	7/8/2023 7:35 AM
31	Beautiful spaces, economic thriving	7/8/2023 7:22 AM
32	Brooklyn Park desperately needs a "main street" area that models after Maple Grove, Edina or St. Louis Park. A mixture of unique retail & diverse restaurants & cafes, along with a green space for kids to play would be perfect and would definitely add curb appeal to Brooklyn Park.	7/7/2023 10:18 PM
33	By creating a contemporary retail and dining area that is pedestrian friendly. This would attract people to spend their money in Brooklyn Park instead of driving over to Maple Grove.	7/7/2023 9:49 PM
34	Not sure the question here.	7/7/2023 9:00 PM
35	Upscale landscaping and water parks	7/7/2023 4:20 PM
36	I see the opportunity for BP to become more of a destination for people to come to. I love the connectivity that could happen with the blue line as well.	7/7/2023 3:30 PM
37	Please include rooftop gardens and LARGE spaces and places for pollinators like monarchs and bumble bees....Brooklyn Park is lacking in ecological soundness already! An ecological educational center would be advantageous. 😊🌿🐝🌻🦋🌻🦋🌻🦋🌻🦋🌻🦋🌻🦋	7/7/2023 2:50 PM
38	3	7/7/2023 1:59 PM

City of Brooklyn Park - 610 Corridor Development Survey

39	It is well known Brooklyn Park's high density development in it's past has been very problematic. Based on that, the use of high density planning here should be used very cautiously. The original zoning for a town center has not panned out. Times changed, but history does not. You have the opportunity and responsibility to create a safe and successful future for our Brooklyn Park. Please be mindful of our past and current problems.	7/7/2023 1:32 PM
40	Make a Brooklyn Park a more economic welcoming destination	7/7/2023 11:35 AM
41	Restaurants and small businesses of culturally diverse groups.	7/7/2023 11:23 AM
42	I'm sorry. I don't know. I am older. I will likely be moving out of this city by the time you get this thing built.	7/7/2023 10:49 AM
43	Brooklyn Park, the 6th largest city in Minnesota has a decided lack of shopping, restaurants, entertainment venues, and areas that might draw in people from outside the city.	7/7/2023 10:48 AM
44	Outdoor spaces like in Champlin and Maple Grove, nice restuarants with patios, more upscale, NO MORE FAST FOOD PLEASE, more bikeable and walkable places.	7/7/2023 10:37 AM
45	A skate board park absolutely meets all of these goals and it would be an excellent/unique/diverse youth program.	7/7/2023 9:47 AM
46	We do not need any more apartments.	7/7/2023 9:46 AM
47	Safe, Family friendly areas for all ages.	7/7/2023 9:22 AM
48	No more large warehouses such as across the street from your residential area of Oxbow Creek. Our neighborhood pays highest property taxes in the city and now we get to have extreme traffic and noise. Terrible planning. Not at all interested in mass transit. It won't be used.	7/7/2023 9:11 AM
49	Police HUB station and increased patrol	7/7/2023 8:51 AM
50	Crime prevention and deterrence. -Beautiful spaces and quality infrastructure make Brooklyn Park a unique destination -A balanced economic environment that empowers businesses and people to thrive -People of all ages have what they need to feel healthy and safe	7/7/2023 8:42 AM
51	Keeping the spaces open and clean. Do not add more apartments. You are going to over populate the area	7/7/2023 8:24 AM
52	Invest in a green space that everyone can use, maintain a safe corridor and make it attractive for businesses to remain in the city.	7/7/2023 7:57 AM
53	Reroute blue online somewhere else. We do not want the problems with crime and loitering that it will bring	7/7/2023 6:52 AM
54	Beautiful	7/7/2023 6:46 AM
55	Needs to reduce the property tax burden on all us residents in BP who have been here for the long term and want to stay.	7/6/2023 11:56 PM
56	Rent control, community solar with community owners or at least not for profit; are there any spaces for healthcare services? Chargers for electric vehicles and bikes? Will it be all electric with heat pumps and electric stoves, etc.?	7/6/2023 10:53 PM
57	All of the above! Would love for Brooklyn Park to have their own "Mainstreet"	7/6/2023 10:44 PM
58	Affordable spaces for small business owners of retail and dining. We've lived in this corridor for 19 years and have always hoped the 610/Zane land would be a place where people can come together. Be it parks, entertainment and sit down dining.	7/6/2023 10:37 PM
59	Help make Brooklyn Park a destination. We're a big city and right now I drive to Maple Grove or Coon Rapids for everything. We need green spaces, entertainment, restaurants, cultural celebrations, outdoor pools and recreation spots for families in our community.	7/6/2023 10:37 PM
60	A place where cars are NOT at the focus of development. The city is slowly becoming too car-centric and wide roadways become too hostile to pedestrians and bycyclists today. Mixed-use development alongside dedicated and buffered/separated bike lanes help bring Brooklyn Park closer. Not only that, we need "modern" and updated parks to provide more to communities. Warehouse space is becoming the norm especially in the northwest region. I understand it can be beneficial but too much of it deteriorates the city's reputation and looks by having sprawling	7/6/2023 9:21 PM

City of Brooklyn Park - 610 Corridor Development Survey

roads/parking lots. Lastly, we also need more sidewalks, space for people, community outreach groups, and transit in our city to meet its goals.

61	Modern, clean, fun spaces to shop, eat, and hang out with a focus on sustainability & culture, along with plenty of parking to support ease of access	7/6/2023 9:20 PM
62	Stop the Blue Rail project until the crime, drug, and public urination/defecation problem on the trains can be solved. Install turnstiles if you go ahead to ensure that it's paid transportation and not a rolling homeless shelter.	7/6/2023 9:09 PM
63	Safety needs to be a priority. Residents come first. Need sit down restaurants with patios. Appropriate lighting with open green spaces	7/6/2023 7:40 PM
64	Why is everything in Brooklyn Park about race?	7/6/2023 6:32 PM
65	All of the above.	7/6/2023 4:42 PM
66	More safe areas. It's getting that you don't feel safe. Get control of crime, make people accountable. I see more low income housing as bring in more crime. You had a comparable option to Brooklyn center. Is all I see is businesses pulling out because of all the unrest and theft. So where are these people coming here. Brooklyn Park is always on the news because of crime.	7/6/2023 4:14 PM
67	We need green space. I live in this area of Brooklyn Park because of the bike trails, the quiet space and low crime area. I don't want to live by retail and crowded, loud areas. We have Arbor Lakes for this, we don't need it here.	7/6/2023 3:47 PM
68	Have affordable rental spaces or kiosks for small business owners and up and coming entrepreneurs and artists to showcase their work.	7/6/2023 3:28 PM
69	None of above. End moratorium Open up	7/6/2023 2:08 PM
70	Sustainability. Both in terms of the infrastructure - that the city can keep in good/clean condition, and in long-term financial viability. It's important to make sure that the plan is not something that in 10 years will result in vacant retail/office space or vacant housing, due to missing the mark on long-term demand for the type of development.	7/6/2023 2:07 PM
71	There has been much attention, new economic equity programs and support brought to the city for racial equity over the last few years which is SO great!! But this does not apply to ALL RACES and this does NOT equal true racial equity. You speak of diversity but many of these programs are for the benefit of one race only. If you truly want racial equity you must include ALL RACES of the economic targets that you are aiming for.	7/6/2023 2:02 PM
72	I think my answers above help. Right now people use 610 to get to Maple Grove faster. Give them something to stop here for.	7/6/2023 1:52 PM
73	Proposed solutions are going to make Brooklyn park look like downtown Minneapolis. A dense urban area. Brooklyn Park will lose its identify as a suburban city. Time to move.	7/6/2023 1:36 PM
74	A balanced economic environment that empowers business and people to thrive. Currently, Brooklyn Park is very limited with the retail opportunities.	7/6/2023 1:27 PM
75	TBH, based on recent shootings, car thefts, and other criminal activity in BP, I'd prefer that there be little-to-no reason for people to visit the north side of the city. It's being proven that bored and unsupervised young adults in BP find crime to be their entertainment. Unfortunately, by providing gathering spaces, retail, and entertainment, we are providing meeting places for large groups of bored "kids" to cause problems. Case in point: River Park, Noble Sports Park, Mama T's, Flava of Soul, etc. As much as I'd love the convenience of retail, restaurants, and green spaces, I'm happy to visit neighboring cities rather than invite more crime to the city's north end.	7/6/2023 12:30 PM
76	Did the video refer to St Louis Park Excelsior area? Have you tried to drive that? It's a headache I try to avoid (if not then never mind)	7/6/2023 11:48 AM
77	My biggest concern about this space is keeping it safe.	7/6/2023 11:34 AM
78	Great goals achieved in part by neighborhood support	7/6/2023 11:16 AM
79	N/A	7/6/2023 10:40 AM
80	-Beautiful spaces and quality infrastructure make Brooklyn Park a unique destination	7/6/2023 10:21 AM

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81	Safe area	7/6/2023 9:49 AM
82	ensure the housing is AFFORDABLE - there is great opportunity to couple any housing developments with the LRT, but only if housing isn't too expensive	7/6/2023 9:45 AM
83	Entertainment, shopping, dining, green spaces, and heavy police/security presence.	7/6/2023 9:15 AM
84	Fewer warehouses and truck traffic through neighborhoods!	7/6/2023 9:05 AM
85	Beautiful space and quality infrastructure	7/6/2023 8:55 AM
86	People of all ages need to feel healthy and Safe	7/6/2023 8:54 AM
87	The retail space needs to be a blend of small business and large business, so that it doesn't become gentrified, but also doesn't go under because the small businesses can't survive. I'm interested in public gatherings and programming space, but I've been worried about the gatherings that turn dangerous. How do we curb that?	7/6/2023 8:39 AM
88	?	7/6/2023 8:28 AM
89	Police and security are not mentioned. BP had a horrible problem with crime and it is not being addressed. I feel like our city welcomes it	7/6/2023 8:24 AM
90	Bringing retail and office to the city without new housing can revitalize our current neighborhoods - raising depressed housing values and encouraging pride in home ownership.	7/6/2023 8:15 AM
91	Safety	7/6/2023 8:11 AM
92	-People of all ages have what they need to feel healthy and safe Safety? We have a chop shop run out of a guy's garage in our neighborhood that is likely also involved in drugs. The parks are regularly overrun by teenagers. Where is the safety? You think increasing the population is going to increase safety? There are already too many people in BP.	7/6/2023 8:04 AM
93	None of those. Less government. Unity, not division/diversity.	7/6/2023 7:39 AM
94	The ideas will be very helpful to these goals, but ideally for Brooklyn Park it should be in the center of the city, think of Brooklyn Blvd or 85th Ave. Not in the more advantaged area. But having it somewhere in the city is better than not having it at all.	7/6/2023 7:17 AM
95	All of the above	7/6/2023 7:08 AM
96	Need more resturant (sit down patio style) options and retail shops. More small flower/plant landscaping pillars/planter boxes along the main streets with small benches to make the area inviting. Less multi-housing development and warehouse buildings.	7/6/2023 7:05 AM
97	A united and diverse community with beautiful spaces that support those in all age ranges.	7/6/2023 6:41 AM
98	The less you invest, the better. Leave the few remaining prairie acres unblemished. Leave the land as a beautiful green space that it already is as buffer from the freeways. Invest in the upkeep of the trails, parks, and connections that already exist.	7/5/2023 11:59 PM
99	Recognize potential problems so we can find solutions.	7/5/2023 11:26 PM
100	Less crowding compression of people	7/5/2023 11:21 PM
101	Reduced high density and warehouse. More dining and recreation space.	7/5/2023 10:57 PM
102	The people of Brooklyn park deserve desirable infrastructure. Developing retail and lifestyle amenities comparable to that of West End/Arbor Lakes disrupts the stigmas that plague the engaged, professional, tax paying residents of NW Brooklyn Park. Give us spaces to be proud of.	7/5/2023 10:13 PM
103	Surveys like this. Brooklyn Park does not have a high end commerce center like Maple Grove or St. Louis Park. We have no identity other than the violence from too many shootings. We have too much affordable housing.	7/5/2023 10:00 PM
104	Agree	7/5/2023 9:45 PM
105	An eye to community, sustainable development, blue line, bike and walking	7/5/2023 9:28 PM
106	None	7/5/2023 9:25 PM

City of Brooklyn Park - 610 Corridor Development Survey

107	We need more businesses and restaurants that can support our tax base and shift the heavy tax burden that is placed in home owners. We also need more housing for our aging population, single level townhomes and market rate apartments.	7/5/2023 9:01 PM
108	Allow for more gathering and meeting venues. Housing Developments with community pools and community rooms.	7/5/2023 8:08 PM
109	It can provide all the things listed above	7/5/2023 8:04 PM
110	Business incubator and shared work space (library like) with services to support the growth of the start-ups. Maybe people would come from other areas to support a platform that is supporting development and growth of future businesses.	7/5/2023 8:03 PM
111	Access to as many retail and dining options as possible while maintaining safety and security. More business-friendly zoning with appropriate and effective traffic control.	7/5/2023 7:40 PM
112	Well balanced development would make BP a go-to place in NW Hennepin Co. Something we don't have now except for Arbor Lakes in Maple Grove. BUT Arbor Lakes is so busy and traffi. Is awgul so I don't enjoy going there. With development comes more traffic. The police dept. does ZERO traffic enforcement now—I can't imagine what it will be like with more development	7/5/2023 7:31 PM
113	BP needs to keep people in the city. Too many of us leave to shop, dine and recreate. My money is hardly ever spent in the city.	7/5/2023 7:17 PM
114	Beautiful spaces and infrastructure	7/5/2023 7:14 PM
115	Yes	7/5/2023 7:00 PM
116	Get a better police department	7/5/2023 6:56 PM
117	-A united and welcoming community, strengthened by our diversity. How does the city plan to include children and youth living in apartments from 63rd to 85th Ave in these developments? Will there be transportation for families, children, and youth living along the Zane corridor to access these developments? -Beautiful spaces and quality infrastructure make Brooklyn Park a unique destination. Does the city have plans to develop a similar model south of 85th?	7/5/2023 6:42 PM
118	A unique gathering place Brooklyn Park can be proud of.	7/5/2023 6:39 PM
119	The goals should include more single family homes. Brooklyn Park has too many apartments and if you check the police/fire records you will see that 90% of their costs are related to calls from apartments,	7/5/2023 6:39 PM
120	Safe and crime free zone	7/5/2023 6:26 PM
121	Wise thoughtful, human scale development could. I would not call the proposal that. More like a pipe dream that takes a lot of subsidy! And no thought or tie to what is already in the master plans for the LRT station area.	7/5/2023 6:21 PM
122	.	7/5/2023 6:10 PM
123	-People of all ages have what they need to feel healthy and safe -Partnerships that increase racial and economic equity empower residents and neighborhoods to prosper	7/5/2023 5:59 PM
124	Retail and better-than fast food dining.	7/5/2023 5:59 PM
125	Keeping the trees and landscape. No buildings	7/5/2023 5:54 PM
126	Forward-thinking infrastructure,	7/5/2023 5:41 PM
127	We have enough park spaces, entertainment and housing. Business that provide well paying entry level jobs.	7/5/2023 5:41 PM
128	I like the "town centered" High density model that was shown in the video, I think it does well to match the goals.	7/5/2023 5:35 PM
129	I agree	7/5/2023 5:35 PM
130	Gathering spaces with activities summer concert series. We go to smaller cities like Champlin and Anoka because we don't have these here or lack of publicity around events like this.	7/5/2023 5:33 PM
131	By encouraging private enterprise and limiting barriers such as taxes and regulations.	7/5/2023 5:26 PM

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132	Open spaces that are welcoming for people to use. Nature accessible for residents.	7/5/2023 5:23 PM
133	I really liked the first plan with the main street kind of feel.	7/5/2023 5:20 PM
134	Having what people need	7/5/2023 5:19 PM
135	Safety needs to be improved and a priority across the entire city otherwise no one will want to come here with better surrounding area shops/dining/recreational spaces. Maintain all areas of Brooklyn Park better so it doesn't look so run down, dirty, and impoverished. Landscaping in Brooklyn Park is very poor!	7/5/2023 5:19 PM
136	The blue line extension should not be a part of this, as it is not needed. People are not in the office and have no need for this. Fix the bus routes and express lines for those who use it. The timing and amount of money for this line exceeds the needs, current and future, of the residents. I would love to see what possible businesses we can get into these locations, particularly sit down restaurants. Please make sure you are also focusing on the long term residents. Many things focus on the here and now and not always those who plan to use these for the long term and want to remain residents of the city.	7/5/2023 5:16 PM
137	There is nowhere to shop in Brooklyn Park other than grocery stores. Everyone I know goes to Maple Grove to spend their money. We need businesses in Brooklyn Park for our money to be kept here. Example: A Target would be great!	7/5/2023 5:14 PM
138	Beautiful spaces make BP a destination	7/5/2023 5:13 PM
139	A central place to gather, walk, and shop.	7/5/2023 5:11 PM
140	More opportunities for small business + restaurants to thrive inside Brooklyn Park, less chain restaurants + stores or an incentive given to bring local shops + restaurants to the area.	7/5/2023 5:07 PM
141	Higher engagement with local businesses like Target to amplify the capabilities of the new development	7/5/2023 5:06 PM
142	Parks and green space where public can meet and interact	7/5/2023 5:06 PM
143	Safe environment for all	7/5/2023 5:06 PM
144	make it safe for both businesses (restaurants, shopping) areas by attracting medium to high end businesses. No more oil change, gas station, vaping, car washes, convenient stores, fast food chains! Keep to sit down eateries, organic or farmer market groceries, brew pubs/wineries, associated retail shops	7/5/2023 5:05 PM
145	It won't, but it can pretend it does.	7/5/2023 5:04 PM
146	Any developments should be sure to maintain peaceful neighborhoods (for example turn residential streets with houses in them into streets with fast speeds) The residents of Brooklyn park should still be a priority - not the people visiting the city in order to visit the retail spots. Residents of Brooklyn park need to feel healthy and safe by having safe speeds limits out their front doors.	7/5/2023 4:59 PM
147	Public performance and event space could provide opportunity for BP talent to be highlighted. If highlighted in this corridor specifically, could be welcoming to surrounding communities to see what this suburb has to offer, what makes BP unique.	7/5/2023 4:55 PM
148	We need a true downtown and mainstreet to increase racial and economic power. We cannot go mediocre like Brooklyn Center did which has been a disaster.	7/5/2023 4:49 PM
149	Safety should be the number one priority.	7/5/2023 4:46 PM
150	Nice restaurants for all the families and office staffers to gather, soccer fields for youth sports	7/5/2023 4:46 PM
151	People coming together	7/5/2023 4:45 PM
152	We have so many warehouses and so many apartments/senior housing facilities in the area. Please do something different to make our community more livable and so we don't have to go to surrounding communities to shop or for a nice meal.	7/5/2023 4:36 PM

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Q8 What else?

Answered: 119 Skipped: 140

#	RESPONSES	DATE
1	Really want a lot of green space, parks, tree line boulevards, play grounds, and large common recreation areas for gathering. Important to make this as energy neutral as possible. Mixed use residential/shops. Want it to feel like a walkable "main street." Easy access for walking and biking.	7/14/2023 2:44 PM
2	It would be great if this area became a destination people came to like Central Park in Maple Grove. With the right design I believe that could happen here and then the retail intermixed could be very valuable.	7/14/2023 8:30 AM
3	We have an abundance of residential, and a significant number of light industrial areas. What is lacking is the retail to round out the city. I encourage the city to engage successful retail business owners in other cities to understand what is needed to foster similar business development in BP.	7/12/2023 9:25 PM
4	Restaurant with outdoor seating	7/12/2023 5:44 PM
5	Focused leadership in city hall & police	7/12/2023 5:31 PM
6	NO LARGE PARKING STRUCTURES!!! WE DON'T NEED TO PROVIDE GATHERING SPOTS FOR STREET RACING AHOLERS IN OUR COMMUNITY.	7/12/2023 4:20 PM
7	A place where our new immigrants can learn English and understand our laws. So they can help their children succeed.	7/12/2023 1:18 PM
8	Not sure how many of my friends would ever move to Brooklyn Park after the rash of 'shots fired' in the last few months. The city has a bad reputation with some.	7/12/2023 10:07 AM
9	Thank you for being thoughtful about the limited spaces that are left to develop.	7/11/2023 8:47 PM
10	Don't see this working for this area!	7/11/2023 5:43 PM
11	Security. Crime appears to be getting worse in the next tier of suburbs outside of Minneapolis getting closer to this area. More cameras, more personnel, and other crime deterrents are needed.	7/11/2023 12:16 PM
12	I am disappointed with the multitude of apartment/townhouse/ condo developments in the area already. One after another. Too many people stuck together causes problems. We need more dining, retail and public spaces.	7/11/2023 8:31 AM
13	It sounds exciting and I hope there is thoughtfulness around impact on traffic and community.	7/11/2023 5:25 AM
14	More roadways into the area will be needed if that much housing and retail will be built. 610 is already so backed up that this will make commuting to and from the area really difficult.	7/10/2023 5:55 PM
15	BP needs to be more thoughtful in its traffic control patterns before putting in any additional development	7/10/2023 1:25 PM
16	Living close to this space I am concerned about my property value.	7/10/2023 12:52 PM
17	The crime rate needs to get under control and our law enforcement needs the support of the city to stop crime. Add more police before developing areas	7/10/2023 11:38 AM
18	Brick and mortar are closing in maple grove, why spend the money here to have the same thing, build a nice oak and be done.	7/10/2023 11:27 AM
19	This is an opportunity to create an "identity" for the city. I would like to see more of a small town feel rather than a typical suburban feel.	7/10/2023 10:29 AM
20	Do not make a shopping street with no car access (like Maple Grove's Shoppes at Arbor Lakes). With Minnesota winters, people don't want to do shopping by walking outside from	7/10/2023 8:42 AM

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store to store. Businesses won't make it.

21	Always consider green space. People need to connect to nature. And, consider noise levels when bringing in more business Right now the additional cars and trucks make it almost impossible to have windows open or sit on patios. Freeway noise goes up over the noise barriers and into the neighborhoods a few blocks away. And consider the lighting type as well as the direction.Lighting should be directed down. Otherwise in addition to being a waste, it shines into any above retail homes and interferes with sleep as well as disturbing bird flight And glass in the buildings should be bird friendly as well as insulating to be energy efficient.	7/10/2023 12:35 AM
22	We lived in this development 10 yrs ago and moved back last fall. The increase in traffic and accompanying noise from then to now is shocking. Noise abatement from 610 and Oak Grove Pkwy needs to be a priority to make this area livable.	7/9/2023 2:54 PM
23	Be smart with the land to help improve the reputation of Brooklyn Park and to make it a desired location.	7/9/2023 12:16 PM
24	Sounds great	7/9/2023 11:12 AM
25	Please consider less high density housing. In the 15+ years we have lived here it seems as those with the increase in these developments comes an increase in crime and damages the reputation of the city. I would love to see more activities like summer concert series , art fairs, more sit down restaurants, and other amenities that other smaller cities have.	7/9/2023 9:00 AM
26	See answer for 7. Minnesota is rated amongst the worse for crime within the light rail system. At the top of any program, finding ways to avoid this needs to be at the utmost priority.	7/9/2023 8:35 AM
27	Please consider an art center, I think with Brooklyn Park's diversity it would be really cool to see the creativity that comes out of this community! See Bloomington Center for the Arts, Minnetonka Center for the Arts, Edina Art Center, etc. I have many connections in the ceramics community and would happily teach pottery classes too!	7/9/2023 6:55 AM
28	More cameras to address bad behavior sooner. No more unsupervised gatherings by juveniles in parks, harsher penalties for gun charges, hold parents accountable for not supervising their children. Charge parents more severe than juvenile hold them both accountable.	7/8/2023 9:16 PM
29	The area referred to in St. Louis Park is littered with excessive cars and feels claustrophobic. Doesn't seem good to plop that in the middle of this development area.	7/8/2023 3:25 PM
30	Keep an eye on safety and what crowds this space will attract. Building the right type of amenities and spaces will attract more families, folks looking to be active in the area.	7/8/2023 2:24 PM
31	We live less than 0.5 mile from the proposed blue line extension maintenance site by Winnetka and 101st Ave N. We do not want the blue line coming up here and we certainly don't want any more congestion in the area with more housing especially since our local schools are already busting at the seams.	7/8/2023 12:22 PM
32	Although I see the value to bike share & scooter share, from what I've observed working in Mpls is that people are oftentimes careless with where they leave their bikes and scooters. Their etiquette isn't always great either while riding the equipment. I would skip the bike/scooter share and focus on the retail & restaurant spaces.	7/7/2023 10:18 PM
33	Middle income and high end housing options.	7/7/2023 9:49 PM
34	Please, less office and retail space. Take note of what is happening over in Arbor Lakes. Constant turn over and vacancy. People don't shop like that anymore. Would love to see more green space for kids to play outdoors. A public pool would be awesome.	7/7/2023 9:00 PM
35	NA	7/7/2023 3:30 PM
36	One more time....Please include rooftop gardens and LARGE spaces and places for pollinators like monarchs and bumble bees....Brooklyn Park is lacking in ecological soundness already! An ecological educational center would be advantageous. 🍌🌱🐝🐛🦋🐟🐞🐜🐓🐣	7/7/2023 2:50 PM
37	Shopping mall	7/7/2023 11:35 AM
38	Including efficient energy sources is exactly what we need to do bigger and better.	7/7/2023 10:48 AM
39	Add another teen center in the city. The city is so large & diverse it would be nice to have a teen center in the northern part of the city also. Zanewood isn't convenient for us and I don't	7/7/2023 9:22 AM

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feel safe in that area.

40	Please consider high quality dining and entertainment. We have plenty of small "diverse" restaurants and shops in Brooklyn Park. As a BP resident I do all my shopping and dining in Maple Grove. Any plans for an updated Community Center?	7/7/2023 9:11 AM
41	Noise limits. Common respect for all.	7/7/2023 8:51 AM
42	Stop with the apartments. We are already struggling to control crime. I am scared as you continue to add more homes that our city will be the next north minneapolis. Please think of your current residents. We like where we live. All you are currently doing is pushing people to move out of BP.	7/7/2023 8:24 AM
43	We need an area similar to Arbor Lakes and less high density apartments.	7/7/2023 7:57 AM
44	Don't love the idea of tons of apartments. Like walkability and some restaurants. Thanks	7/7/2023 6:46 AM
45	Def don't install gas stoves. Terrible for health, especially for children. The research is now very clear on that. Might as well put gas grills indoor or run your gas car inside. Burning gas inside is not good for health.	7/6/2023 10:53 PM
46	See above	7/6/2023 10:44 PM
47	Multi level housing will create congestion for the area and doesn't lend to the suburban lifestyle.	7/6/2023 10:37 PM
48	A Target store in Brooklyn Park off 610 would be amazing!!	7/6/2023 10:37 PM
49	I hope the city picks the high-density plan as this becomes the "real" downtown of Brooklyn Park. The city lacks a sense of place and an area where people are thriving, walking, shopping, and being together. Mixed-use spaces for offices and retail reduces reliance on automobiles and when you pair that with the METRO Blue Line extension, it's a perfect spell for prosperity. I still have some concerns, the roads in the northwest region (Target, Cub Foods North, Fairview) are overbuilt. The "stroad" needs a road diet and give space to pedestrians + bikers + transit. I hope Brooklyn Park decides to become the next paradise for people, not cars!	7/6/2023 9:21 PM
50	I live nearby and am so excited! We have talked about our hopes for this space since we moved in years ago. We would love more sit-down food options or food hall, nature elements like water features (love a zen vibe), a focus on environmental sustainability (so instead of open lawns maybe bee-friendly landscape gardens), splash pad for kids, climbing gym, shopping options, shaded places to sit, plenty of parking. Thank you!	7/6/2023 9:20 PM
51	?	7/6/2023 9:15 PM
52	I first want to feel safe.I want to go out to nice places in my city. Not have to take all my money to other areas because I have no options except fast food. Every where I go I see warehouse business that don't pay taxes for years. My taxes are high because of it. And the public really doesn't get any benefits from it	7/6/2023 4:14 PM
53	There isn't a need for this.	7/6/2023 3:47 PM
54	Offer classes and activities for all ages to learn about the different cultures represented in the community.	7/6/2023 3:28 PM
55	More ammenaties for elderly and handicapped..	7/6/2023 2:24 PM
56	Open up for all developers..no restrictions	7/6/2023 2:08 PM
57	We all want a city that is happy and economically and medically healthy. Different groups obviously want different things sometimes. But we never run out of things or amenities to offer those with an upper middle income or upper income. We do NOT have nearly as much to offer to residents and families of ALL ages that do not make nearly that amount of money. We have gyms and gym memberships available but no YMCA which benefits people of all ages. We have a wonderful library which benefits ALL people. We have beautiful parks and playgrounds which benefit ALL people. We need more available for activities, entertainment and care for ALL people of ALL incomes and ALL races. There is too much division. You speak of wanting racial equality but this program is for one group or race only, or this activity is for one group or race only ect. We need more activity that brings people of ALL races together. Otherwise your statement of truly wanting racial equity in this city is missing the mark and will continue to	7/6/2023 2:02 PM

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miss that mark. Right now in this city, we have families of many ethnicities living next to each other who have nothing to do with each other due to all of the division that the last few years have brought to our country. I have lived in this city nearly forty years and neighborhoods have never been as divided as most of them are now. You have all of these people and families living in solitary houses and living their solitary lives. There is very little mixing of ethnicities. Many just want to keep living their culture within their house and city but not wanting to be a part of branching out to get to know other people and other cultures. More division here now than I have ever seen or experienced in all of my time in this city.

58	People have been asking for sit down restaurants and retail for years. We're running out of space.	7/6/2023 1:52 PM
59	There is very restricted bus access above 610 right now, and nothing that runs along 610. Easy transportation helps everyone in a community!	7/6/2023 1:27 PM
60	None of these grand ideas will yield the desired results if the blue line light rail extension to Brooklyn Park is ever completed. Light rail is just a haven for criminals.	7/6/2023 12:49 PM
61	Comes down to money. Our taxes are high which I don't understand considering all if the single family developments	7/6/2023 11:16 AM
62	N/A	7/6/2023 10:40 AM
63	We moved into Brooklyn Park because it felt like the suburbs instead Maple Grove which is much more urban and densely populated. This development borders where we live and we don't want our suburban feel to change. Already we see multiple level buildings and it feels confined and urban. We don't like it. We'll move if more dense housing, etc. is put in place.	7/6/2023 10:34 AM
64	Partnerships that increase racial and economic equity empower residents and neighborhoods to prosper	7/6/2023 10:21 AM
65	Get rid of blue line - not safe!	7/6/2023 9:49 AM
66	I'd like a one stop location were you could spend the entire day and get everything done on my to do list. For example services (dry cleaning, salon, chiropractor, etc), shopping, home improvement, dining options, sports(indoor and outdoor), parks, gathering space, bank, grocery store, coffee, movies, bakery, family entertainment center, Costco and or Sam's Club. Lot's of police and/or security presence (cameras and physical security that can be seen patrolling to area. If this were the case it would bring me to that location at least once a week spending my money at multiple stops within that area. I would say to my friends, family, Internet this place is great, so much to do and can get everything I need without having to spend the day driving to the 5 places I need to go that are not all in Brooklyn Park like I do now. Things that would not make me want to step one foot in and despise that area are high density housing, no trees/grass etc, no security, and crime. If this were the case I'd recommend to my family, friends, and social media to stay as far away from this place as possible. Thanks for your time!	7/6/2023 9:15 AM
67	Fewer big box retail hubs.	7/6/2023 9:05 AM
68	I'm excited by these plans and the chance for BP to be a leader in some ways. It's very important we don't divide our city into the "nice developed side by 610 and the 'forgotten' side south of 610." I know this may not be the place for this comment, but I was disappointed to see the dispensary opened by Park Center Senior High on Brooklyn Blvd. We need development on that corner, but are there other ways instead of bringing in vices to our communities?	7/6/2023 8:39 AM
69	Brooklyn Park has no central shopping or eating area. Maple Grove has proved the value of this!	7/6/2023 8:15 AM
70	Safety	7/6/2023 8:11 AM
71	Public subsidies? That just means I'll be paying more property taxes so you can give my money to developers to get rich off building things that aren't needed. Why should I stay in BP? Your assessors LOVE to falsely inflate my housing value so you can take more of my money. Sucks to be me, but great to be you and the developers! What I'd really like to see is a return to the old style of selling the land and letting the developers use their own money to build what they think will work (within the zoning rules). Stop giving my money to consultants for unneeded advice!	7/6/2023 8:04 AM

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72	Stop spending tax dollars.	7/6/2023 7:39 AM
73	Looking forward to a beautiful destination place	7/6/2023 7:08 AM
74	Target is a shell of a facility. Wasted space. It does fill its parking lots with commuters who spend on local dining or its courtyard with happy workers who enjoy the green spaces.... So wait!!!! Don't throw money away attempting to shine a turd.	7/5/2023 11:59 PM
75	Work on communication that is based on facts and have all public comments reviewed for clarity.	7/5/2023 11:26 PM
76	Create a corridor of connected mixed use Micro communities	7/5/2023 11:06 PM
77	Add nicer restaurants like Texas Roadhouse, Craves, Outback, etc.	7/5/2023 10:57 PM
78	I am not sure how this new idea fits in with the previous goal of creating all of the industry business areas. Where exactly are these areas going to go and merge with the rest of the city areas/neighborhoods.	7/5/2023 10:35 PM
79	Thank you	7/5/2023 10:13 PM
80	Stop the shooting violence south of 85th Ave across the city. This must be done otherwise no one will want to come to anything Brooklyn Park has to offer. We have too many affordable housing units. No one wants to say this.	7/5/2023 10:00 PM
81	Focus on quality vs quantity.	7/5/2023 9:45 PM
82	The first option may be expensive but it is by far the best for a growing community	7/5/2023 9:28 PM
83	Splash pad, more kid friendly community spaces,	7/5/2023 9:25 PM
84	Connecting new development with existing housing, retail and public spaces.	7/5/2023 9:08 PM
85	We seem to already have issues keeping our city clean and plowed and roads Maintained. I wish we would fix up what we already have before dumping more money into new buildings and more people.	7/5/2023 8:17 PM
86	Retail and event space. More Patio Dining. Community Center in the Southern part of the city.	7/5/2023 8:08 PM
87	The tonal quality of the video is bright for the first option, less bright for the second option. The second option has "less" ... but it must be relevant, I just didn't get what that was. Also, the comparison of a St Louis Park development to the Brooklyn Center development is fairly stark. Again, a "haves" and "have nots" unbalanced representation.	7/5/2023 8:03 PM
88	Increased visibility to cameras, police presence, and safety. Less large areas for gathering of impromptu groups like street racers and gang-like groups, leading to increased issues with littering, loitering, violence, and interference with residents and their safety.	7/5/2023 7:40 PM
89	In addition to traffic, the Blue Line is going to be an issue. I don't use the LRT because of the crime on the trains and at the stations. The blue line will be no different-bringing problems from Minneapolis to BP. The police dept does zero proactive patrols or traffic and seem to be focused on the south part of the city, where it borders Crystal and Brooklyn Center. The police dept. will need to be visible and proactive for folks to feel safe	7/5/2023 7:31 PM
90	What happened to the indoor aquatic center with lap lanes?????	7/5/2023 7:17 PM
91	Broaden retail and sit down dining. Establish the city as a recreational destination	7/5/2023 7:14 PM
92	Stop all the speeding down Regent next to Central Park.	7/5/2023 6:56 PM
93	It is important to balance the developments in Brooklyn Park not just across 610 to the exclusion of residents living south of 85th. Where are the plans for that part of the city?	7/5/2023 6:42 PM
94	BP deserves a great place for its community to gather.	7/5/2023 6:39 PM
95	The message is: No more apartments. More single family homes. If the area is large enough some basic retail like a grocery store, bank, medical, could be allowed to support the owners of the single family homes.	7/5/2023 6:39 PM
96	Less density. I prefer the trees and fields and no people. Hasn't BP developed enough of its city what's wrong with corn and hay fields?	7/5/2023 6:26 PM

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97	Did we not learn from our history (think Zane ave corridor)? Density, solely for the sake of it, is not answer. There was no accommodation for water runoff or additional services that will be needed more people means more services. Where the market info on the market for retail with housing over it. The example used in SLP, is actually a miserable place to visit. This should be more holistic look at the whole city including the area left to develop not just this small area. Public spaces in a dense housing project would be a joke to think others are going to feel comfortable there.	7/5/2023 6:21 PM
98	That's it. More pickleball courts in BP. Have room for 24 people and 40+ show up every day.	7/5/2023 5:59 PM
99	Safe structure dedicated to youth with indoor and outdoor spaces and programs	7/5/2023 5:41 PM
100	Less housing density and parks, more mid level employment opportunities for younger citizens.	7/5/2023 5:41 PM
101	Nothing at this time.	7/5/2023 5:35 PM
102	Really not excited about big buildings, lots of traffic and difficult parking/long walks to where we want to go.	7/5/2023 5:23 PM
103	BP needs something like this.	7/5/2023 5:20 PM
104	Seems like it could turn into a spot for large group dynamics that have not been welcome as of late (ie large group fights at the dam and park and ride)	7/5/2023 5:19 PM
105	Make the city look and feel cared for, safe, updated, and welcoming!	7/5/2023 5:19 PM
106	Would any of this change from the Northtown 2040 plan? How can we plan to keep this different and have the businesses and residents want to keep using these spaces in the future?	7/5/2023 5:16 PM
107	When campaigning a few years ago, one of Mr. Winston's platforms was that businesses in Brooklyn Park are not paying their fair share back to our city. He would change that. Is that happening now?	7/5/2023 5:14 PM
108	Variety of housing, but not sure what is planned for the housing - apartments, senior housing, co-ops???	7/5/2023 5:11 PM
109	NA	7/5/2023 5:06 PM
110	Safety!!! It's been lacking	7/5/2023 5:06 PM
111	Why not clean up the dump houses in the city before beautifying a different part of it. No one is held accountable for the outside of their homes. It's embarrassing to invite people from outside BP to come over.	7/5/2023 5:04 PM
112	Residents should not be overly taxed for this ... the retail stores should pay for themselves and pay for the project. Make sure to plan for pollinator friendly green spaces	7/5/2023 4:59 PM
113	I thought the high density approach in the video seemed like an amazing opportunity and preparing us for the future. I am a homeowner close to the corridor but would be willing to adapt to more crowding/more traffic etc - in order to have access to that space.	7/5/2023 4:55 PM
114	The city should allow for condo towers above 10 stories. Our development should be on par with Bloomington and not like a declining Brooklyn Center.	7/5/2023 4:49 PM
115	Don't create housing that will create more problems in the city.	7/5/2023 4:46 PM
116	Movie theater, fancy restaurants and casual restaurants	7/5/2023 4:46 PM
117	I personally am against this. We do not need anything more built in Brooklyn Park.	7/5/2023 4:45 PM
118	We need a kids wading pool or splash pad!!	7/5/2023 4:44 PM
119	No buildings higher than 3 or 4 stories!	7/5/2023 4:36 PM