

# PORCH & SUROOMS GUIDE

## Community Development Department Building Inspections Division

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Brooklyn Park, MN 55443

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If you need this information in another language or format or disability accommodations, email [access@brooklynpark.org](mailto:access@brooklynpark.org) or call **763-424-8000**

Si usted necesita esta información en español: **763-424-8000**

Yog xav tau kev pab, thov hu rau **763-424-8000** lawv mam li nrhiav ib tus neeg txhais lus rau koj

*This is not intended nor shall be considered to cover all requirements of the Minnesota State Building Code or city ordinances.*

## REQUIRED PERMITS

Residential Porch & Sunroom construction requires a building permit.

Porches are considered non-habitable and unconditioned. They must be separated from the remainder of the building by the building's thermal envelope (existing door or window). Porches that are intended to be habitable and heated please see or Addition guide.

Sunrooms are non-habitable and unconditioned spaces or can be habitable and conditioned (heated). To classify the space as a sunroom, glazing (windows) shall be in excess of 40 percent of the gross area of the structure's exterior walls and roof.

## CONSTRUCTION DOCUMENTS REQUIRED

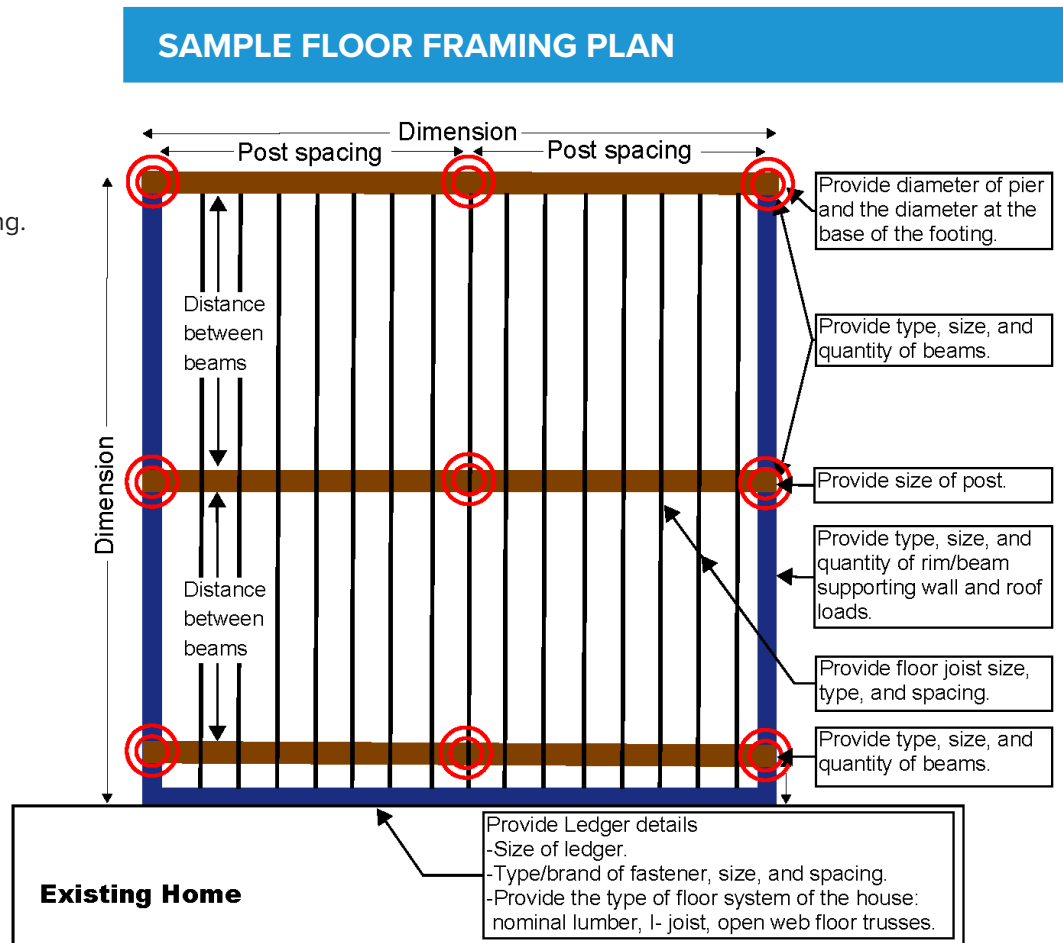
- Plans drawn to scale shall include.
  - Floor plan(s)
  - Cross section(s) with foundation sizing
  - Elevation plans (all sides)
  - Lookout or walkout elevations (if applicable)
  - Ledger attachment
- Provide details if you intend to heat the sunroom.  
(Heat calculations maybe required)
- Site plan/survey
  - Lot dimensions, property lines, distances from property lines for existing and proposed structures on the property.
  - You will need to upload the site plan or survey with your plans.

*Note: We may have a survey on file for your home, email us at [permits@brooklynpark.org](mailto:permits@brooklynpark.org) to inquire.*



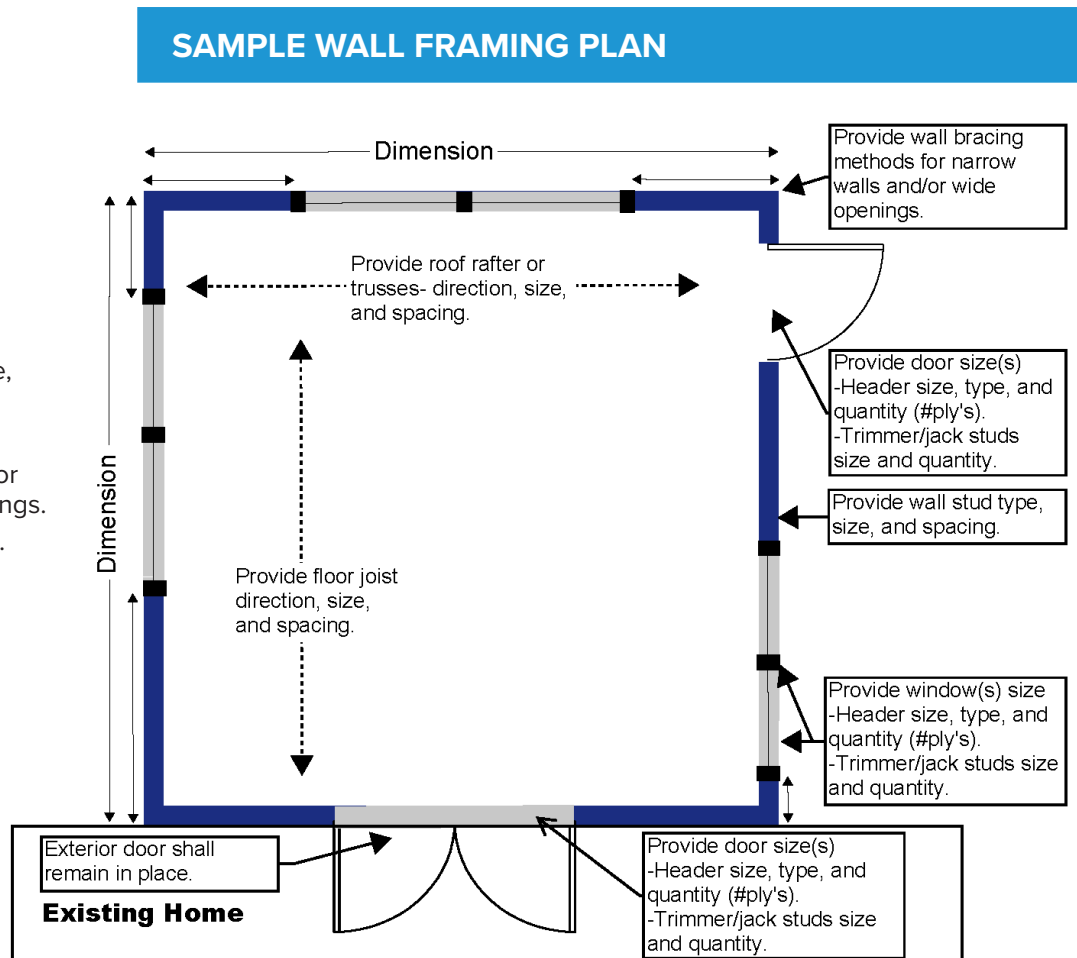
## Floor framing plan shall indicate:

- Provide overall dimensions.
- Provide diameter of pier and the diameter at the base of the footing.
- Joist size and spacing.
- Beam size, type, and thickness.
- Post size and spacing.
- Floor joist system of the home (dimensional lumber, I-joists, open web floor trusses).

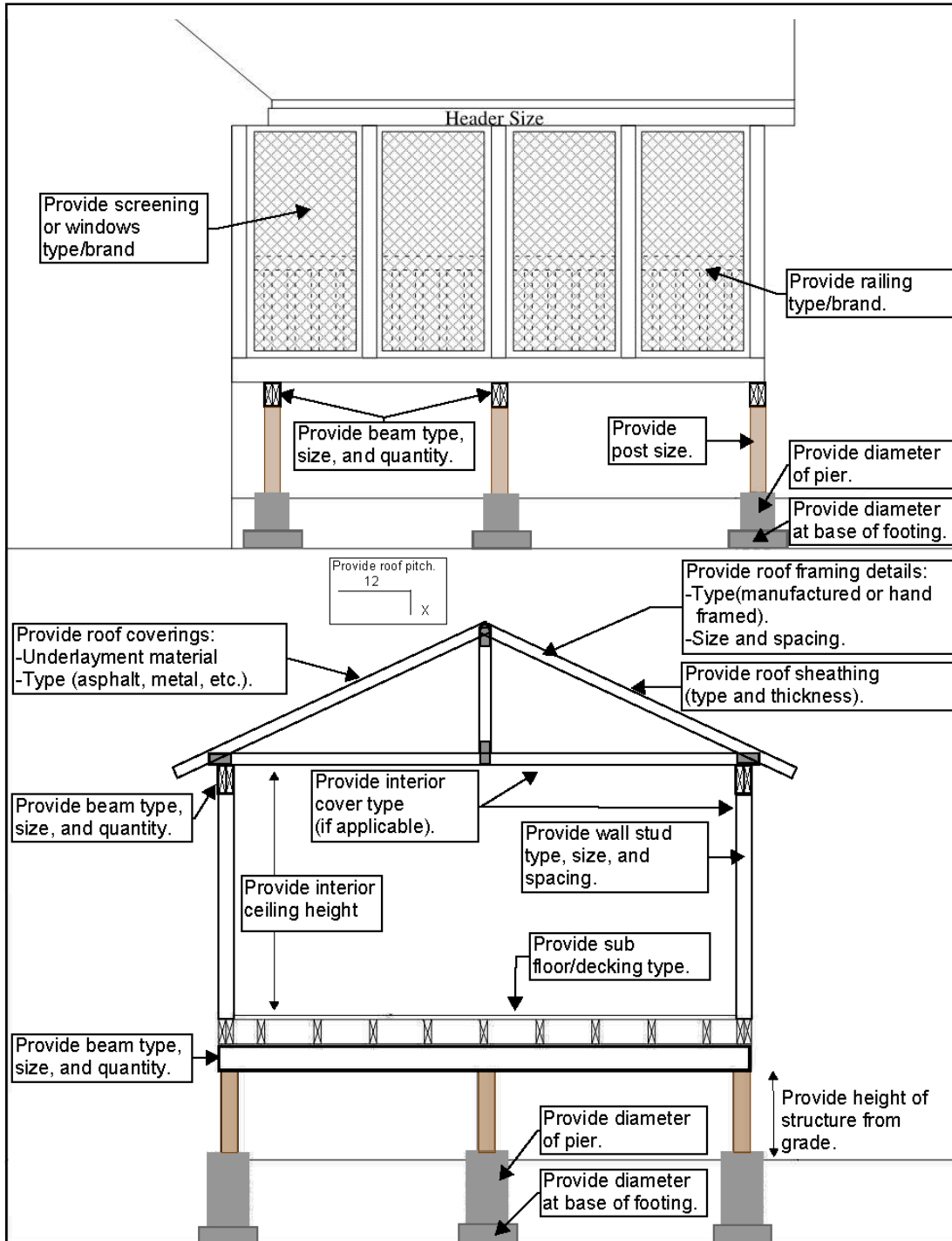


## Wall framing plan shall indicate:

- Roof rafter size and spacing.
- Header sizes, type, thickness, and length.
- Provide wall stud type, size, and spacing.
- Provide floor joist direction, size, and spacing.
- Subfloor thickness and type.
- Provide wall bracing methods for narrow walls and/or wide openings.
- Provide door and window sizes.



## SAMPLE ELEVATION / CROSS SECTION



### Elevations / Cross section shall indicate:

- Footing size and depth.
- Ledger board attachment details.
- Beam size, type, and thickness.
- Post size and spacing
- Wall stud size and spacing.
- Height above grade
- Overall structure height
- Roof framing details - roof truss spacing or hand framed rafter construction (size and spacing).
- Roof pitch.
- Roof sheathing type and thickness.
- Roof underlayment and roofing material.
- If insulation is installed, provide type, installed R-value.
- Railings brand and type
- Screening material if applicable.
- Window information if applicable.
- Interior wall coverings.
- Exterior wall coverings. (sheathing, weather resistant barriers, siding).
- Height above grade
- Ceiling heights

## THINGS TO CONSIDER WHEN DRAWING/PLANNING YOUR ADDITION:

- See our Additions guide for additional requirements if the intent is to condition (heat) this porch at a future time.
- Footings shall be sized to support all loads of the addition (IE: walls, floors, & roof loads)
- Minimum ceiling height is 7'-0" (R305)
- Openable windows shall be installed with fall protection, windows shall not permit openings greater than 4 inches if they meet the following criteria:
  - located 72 inches above the finished grade or surface below and the windowsill is less than 24 inches above interior finished floor. (R312.2.1)
- Guard rail shall be installed around porches at a minimum height of 36 inches for any porch located 30 inches or greater above finished grade.
- Stairways must not be less than 36 inches in width. Stairs shall have a 7-3/4-inch maximum rise (height) and a 10-inch minimum run (depth).

## REQUIRED INSPECTIONS:

1. **Footings** - Shall be inspected after forms and reinforcing bars (if applicable) are in place but prior to the placement of concrete.
2. **Foundations** (if applicable)
  - Foundation inspections for poured walls shall be made after all forms are in place with any required reinforcing steel and bracing in place, and prior to placement of concrete.
  - All foundation walls shall be inspected prior to backfill for specific code requirements.
3. **Sheathing** - Shall be inspected prior to installing weather resistive barrier.  
*Note: This inspection can be combined with the framing inspection if you notify the inspector.*
4. **Framing** - Shall be inspected after rough-in inspections for plumbing, mechanical, electrical and fireplace (if applicable) have been approved.
5. **Insulation** - Shall be inspected once insulation and vapor barrier are installed, but prior to covering.
6. **Building Final** - Shall be inspected after plumbing, mechanical, electrical, and fireplace (if applicable) final inspections have been approved.

## GENERAL NOTES

- Porches and sunrooms must meet the land use and setback requirements of the zoning code. Zoning questions should be directed to the Planning Division (763) 493-8056.
- Separate permits for heating, electrical, and installation of a fireplace, are required.
- Electrical permits are administered by the State of Minnesota Board of Electricity. Visit [dli.mn.gov/workers/homeowners](http://dli.mn.gov/workers/homeowners) to obtain an electrical permit or other additional information.
- If you build your Porch or Sunrooms in any way that does not follow the approved plan after the permit has been issued, revised plans shall be submitted to the city for review. Your project cannot proceed until the revised plans have been approved.
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- See our website for additional resources and guidance.