

# Brooklyn Park

## GARAGE GUIDE

### Community Development Department Building Inspections Division

5200 85th Avenue North  
Brooklyn Park, MN 55443

Phone: (763) 488-6379

[www.brooklynpark.org](http://www.brooklynpark.org)

If you need this information in another language or format or disability accommodations, email [access@brooklynpark.org](mailto:access@brooklynpark.org) or call **763-424-8000**

Si usted necesita esta información en español: **763-424-8000**

Yog xav tau kev pab, thov hu rau **763-424-8000** lawv mam li nrhiav ib tus neeg txhais lus rau koj

This guide is not intended nor shall be considered to cover all requirements of the Minnesota State Building Code or city ordinances.

### Foundation plan with thickened-edge footings shall indicate:

- Provide footing size: width, height, and depth.
- Turned-down footings (minimum is 12 inches below grade and 12 inches wide).
- Anchor bolt size, type, and spacing.
- Reinforcing bar (rebar) if installing.

### Foundation plan with frost footings shall indicate:

- Provide footing size: width, height, and depth.
- Anchor bolt size, type, and spacing.
- Reinforcing bar (rebar) if installing.

## REQUIRED PERMITS

Building permits are required for the construction of any garage.

## CONSTRUCTION DOCUMENTS REQUIRED

### 1. Plans drawn to scale shall include:

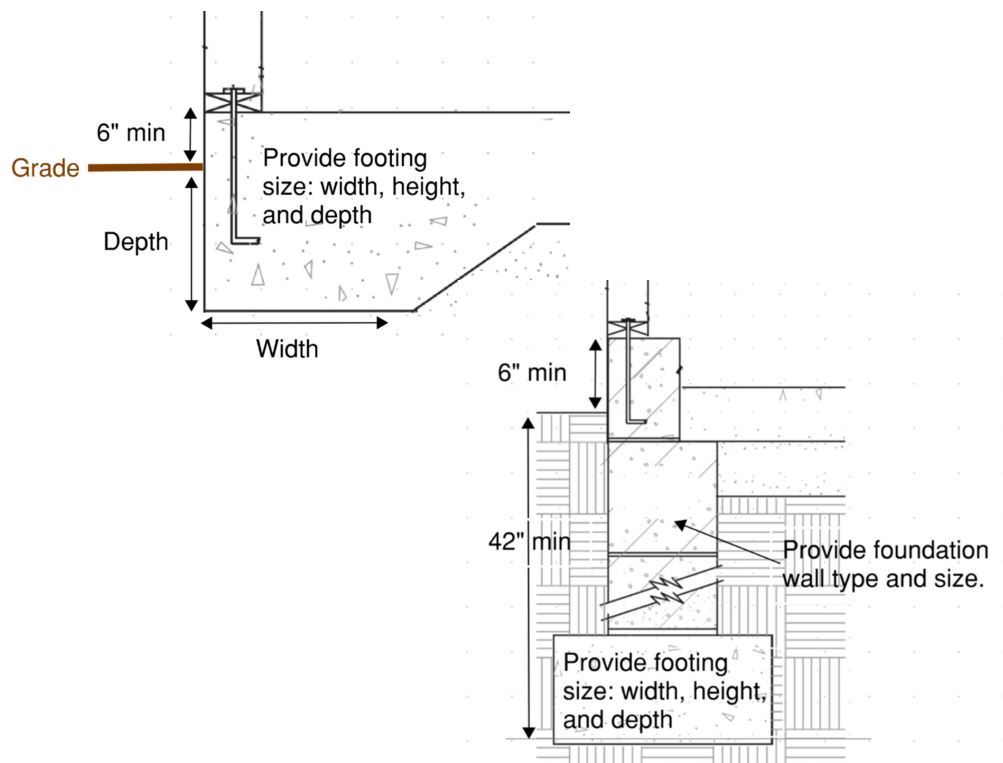
- a. Foundation plan
- b. Floor plan(s)
- c. Cross section(s)
- d. Elevation plans (all sides)

### 2. Site plan/survey must indicate

- a. Lot dimensions, property lines, distance from property lines for existing and proposed structures on the property.
- b. You will need to upload the site plan or survey with your plans.

*Note: We may have a survey on file for your home, email us at [permits@brooklynpark.org](mailto:permits@brooklynpark.org) to inquire.*

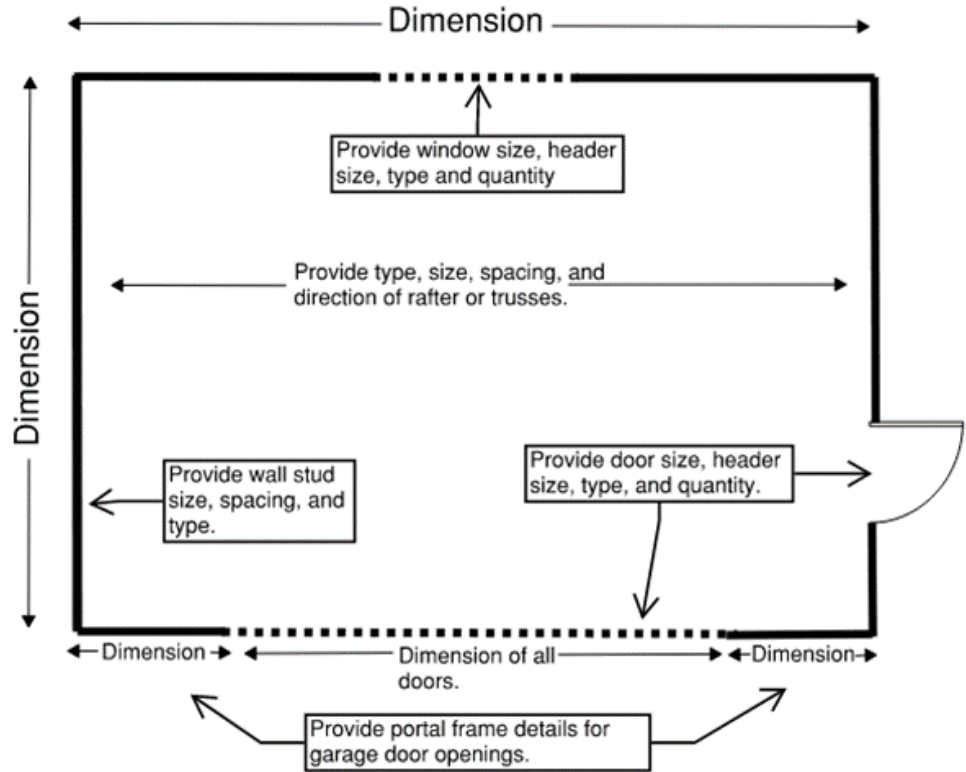
## FOUNDATION PLAN



## Floor plan shall indicate:

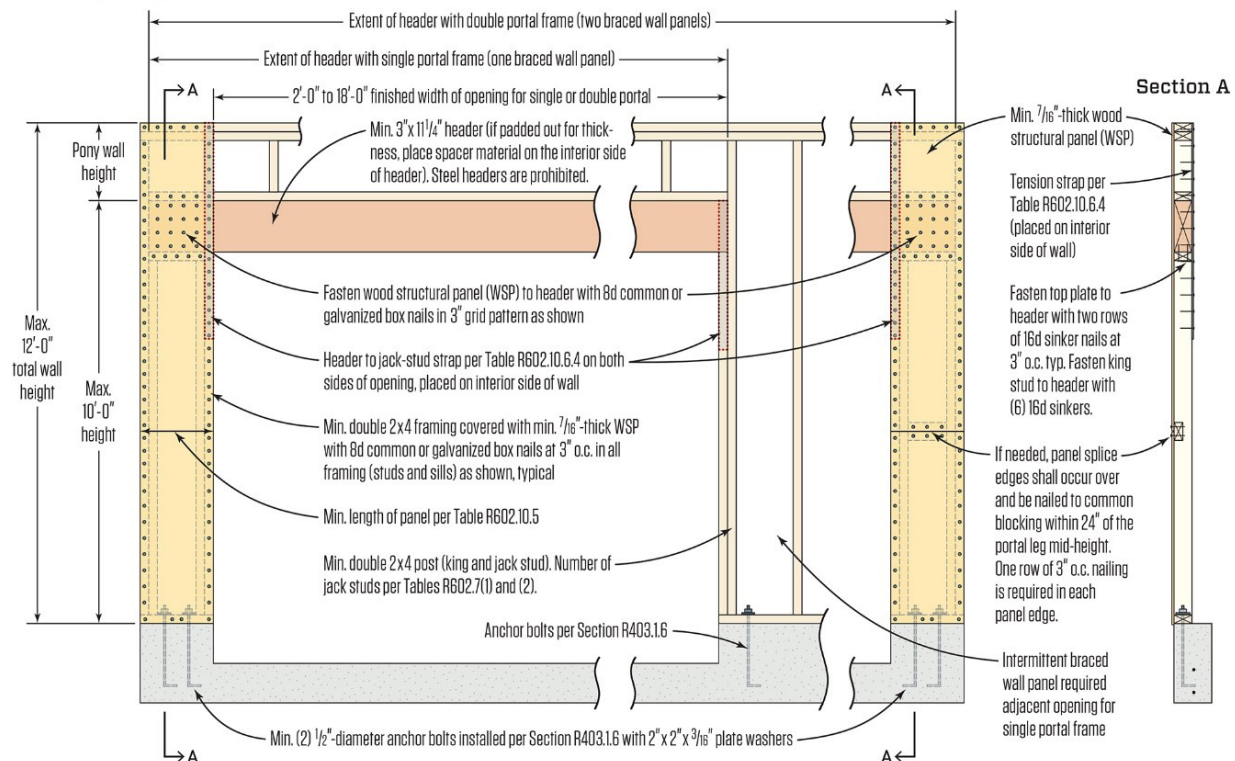
- Overall dimensions for the garage.
- All doors and window rough openings.
- U-values from the manufacturer for each window and door.
- Header sizes, type, quantity, (e.g., 2 - 2" x 10" Doug Fir or 2 - 9-1/2" LVLs.)
- Beam sizes, type, and quantity.
- Wall stud, size, and type.
- Wall bracing details.
- Portal framing details for garage door opening.
- Roof framing details - roof truss spacing or hand framed rafter construction (size and spacing).

## SAMPLE FLOOR PLAN

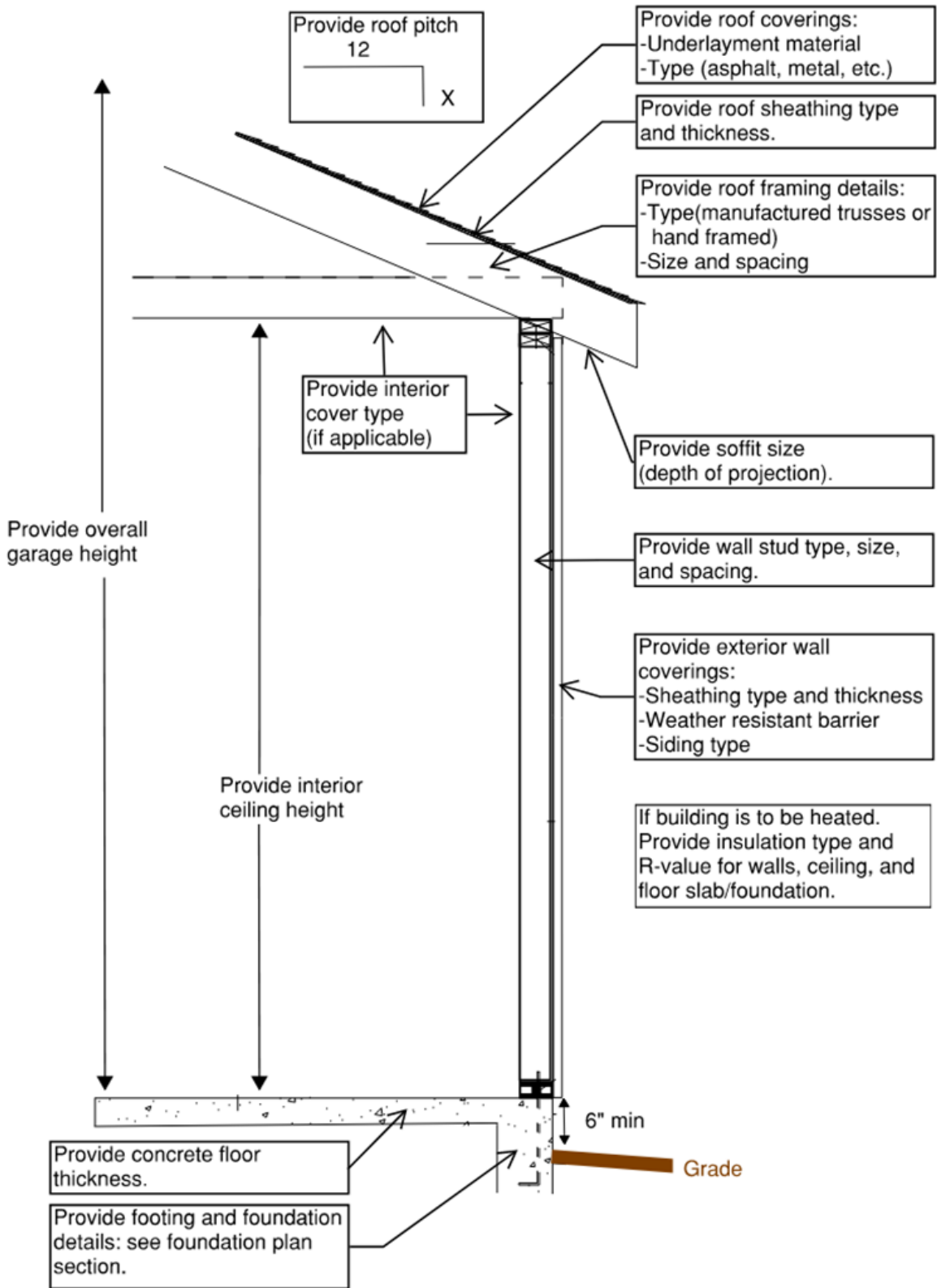


- Sample portal frame details for garage header R602.10.6.3.
- Other Portal frame alternatives may be used if they meet wall bracing requirements of R602.10.

## METHOD PFG (PORTAL FRAME AT GARAGE DOOR OPENINGS)



# SAMPLE CROSS SECTION



## THINGS TO CONSIDER WHEN DRAWING/PLANNING YOUR ADDITION:

- Garages must meet the land use and setback requirements of the zoning code. Zoning questions should be directed to the Planning Division (763) 493-8056.
- Detached garages must not exceed 18 feet in height or the height of the principal building, whichever is less.
- Color and style of garage exterior needs to match principal structure (house).
- Heated structures or intended heated structures in the future shall comply with the MN Energy Code.
- No more than two detached accessory structures are permitted on a property.
- Anchor bolts shall be a minimum of ½ inches in diameter and extend a minimum of 7 inches into foundation or turned down slab.
- Anchor bolts shall be spaced not more than 6 feet apart and must be located within 12 inches from wall ends and form the ends of each bottom plate section.
- Lumber that is in contact with concrete shall be rated or treated for direct contact.
- If garage is planned to be heated trusses shall have a minimum of a 6-inch energy heel.
- Garage doors must meet minimum wind resistance standards and must come with a label indicating the door complies with ANSI/DASMA 108 (designed for 115 mph wind).

## REQUIRED INSPECTIONS

1. **Footings** - Shall be inspected after forms and reinforcing bars (if applicable) are in place but prior to the placement of concrete.
2. **Foundations** (if applicable)
  - Foundation inspections for poured walls shall be made after all forms are in place with any required reinforcing steel and bracing in place, and prior to placement of concrete.
  - All foundation walls shall be inspected prior to backfill for specific code requirements.
3. **Sheathing** - Shall be inspected prior to installing weather resistive barrier.  
*Note: This inspection can be combined with the framing inspection if you notify the inspector.*
4. **Framing** - Shall be inspected after rough-in inspections for plumbing, mechanical, electrical and fireplace (if applicable) have been approved.
5. **Insulation** - Shall be inspected once insulation and vapor barrier are installed, but prior to covering.
6. **Building Final** - Shall be inspected after plumbing, mechanical, electrical, and fireplace (if applicable) final inspections have been approved.

## GENERAL NOTES

- Electrical permits are administered by the State of Minnesota Board of Electricity. Visit [dli.mn.gov/workers/homeowners](http://dli.mn.gov/workers/homeowners) to obtain an electrical permit or other additional information.
- Separate permits for plumbing, heating, electrical are required.
- Roof trusses shall be installed to the manufacturer's instructions. Truss specifications shall be onsite at time of framing inspection.
- Automatic garage door openers must have their safety devices installed.
- If you build in any way that does not follow the approved plan after the permit has been issued, revised plans shall be submitted to the city for review. Your project cannot proceed until the revised plans have been approved.
- See our website for additional resources and guidance.