

Tuesday, May 26, 2020  
7:00 p.m.

Brooklyn Park Council Chambers  
Via Telephone  
5200 85<sup>th</sup> Avenue North

## REGULAR COUNCIL MEETING – AGENDA #21

All members of the City Council will participate in the meeting by telephone pursuant to Minnesota Statutes, Section 13D.021 rather than in-person at the City Council's regular meeting place at City Hall, 5200 85th Avenue North, Brooklyn Park, Minnesota. Members of the public can monitor the council meeting by watching it on CCX Media Channel 16 or by livestreaming it at [https://nwsgcc-brooklynpark.granicus.com/ViewPublisher.php?view\\_id=5](https://nwsgcc-brooklynpark.granicus.com/ViewPublisher.php?view_id=5) or by calling 1-312-626-6799 and entering Meeting ID: 829 0581 9101 and then pressing # when you are asked to enter a Participant ID.

Members of the public who desire to give input or testimony during the meeting may do so by texting Mayor Lunde at 763-242-1555 or emailing him at [jeffrey.lunde@brooklynpark.org](mailto:jeffrey.lunde@brooklynpark.org) (Subject line: "Council Testimony").

If you need these materials in an alternative format or need reasonable accommodations for a City Council meeting, please provide the City with 72-hours' notice by calling 763-424-8000 or emailing Josie Shardlow at [josie.shardlow@brooklynpark.org](mailto:josie.shardlow@brooklynpark.org). Para asistencia, 763-424-8000; Yog xav tau kev pab, 763-424-8000.

***Our Vision: Brooklyn Park, a thriving community inspiring pride where opportunities exist for all.***

### ***Our Brooklyn Park 2025 Goals:***

***• A united and welcoming community, strengthened by our diversity • Beautiful spaces and quality infrastructure make Brooklyn Park a unique destination • A balanced economic environment that empowers businesses and people to thrive • People of all ages have what they need to feel healthy and safe • Partnerships that increase racial and economic equity empower residents and neighborhoods to prosper • Effective and engaging government recognized as a leader***

## **I. ORGANIZATIONAL BUSINESS**

### **1. CALL TO ORDER/ROLL CALL/PLEDGE OF ALLEGIANCE**

**2. PUBLIC COMMENT AND RESPONSE 7:00 p.m.** Provides an opportunity for the public to address the Council on items which are not on the agenda. Public Comment will be limited to 15 minutes (*if no one is in attendance for Public Comment, the regular meeting may begin*), and it may not be used to make personal attacks, to air personality grievances, to make political endorsements or for political campaign purposes. Individuals should limit their comments to three minutes. Council Members will not enter into a dialogue with citizens. Questions from the Council will be for clarification only. Public Comment will not be used as a time for problem solving or reacting to the comments made, but rather for hearing the citizen for informational purposes only.

### **2A. RESPONSE TO PRIOR PUBLIC COMMENT**

### **2B. PUBLIC COMMENT**

**3A. APPROVAL OF AGENDA** (Items specifically identified may be removed from Consent or added elsewhere on the agenda by request of any Council Member.)

**3B. PUBLIC PRESENTATIONS/PROCLAMATIONS/RECEIPT OF GENERAL COMMUNICATIONS**  
None

## **II. STATUTORY BUSINESS AND/OR POLICY IMPLEMENTATION**

**4. CONSENT (All items listed under Consent, unless removed from Consent in agenda item 3A, shall be approved by one council motion.)** Consent Agenda consists of items delegated to city management or a commission but requires council action by State law, City Charter or city code. These items must conform to a council approved policy, plan, capital improvement project, ordinance or contract. In addition, meeting minutes shall be included.

**4.1** Approve a Professional Services Agreement with Avia Design Group, Inc. in the Amount of \$68,500 to Develop a City-Wide Wayfinding Master Plan, including Design Development and Design Specifications for the Wayfinding Project

**A. RESOLUTION**

- B. PROFESSIONAL SERVICE AGREEMENT
- C. EXHIBIT A
- D. EXHIBIT A ADDENDUM
- E. STAFF PRESENTATION
- 4.2 Letters of Credit/Bond Releases, Escrow/Cash Bond Releases
- 4.3 Accept Bids and Award Contract for 93<sup>rd</sup> Avenue Reconstruction, CIP 4054-20
  - A. RESOLUTION
  - B. LOCATION MAP
  - C. BOLTON & MENK AWARD LETTER

The following items relate to the City Council's long-range policy-making responsibilities and are handled individually for appropriate debate and deliberation. (Those persons wishing to speak to any of the items listed in this section should fill out a speaker's form and give it to the City Clerk. Staff will present each item, following in which audience input is invited. Discussion will then be closed to the public and directed to the council table for action.)

## 5. PUBLIC HEARINGS

None

## 6. LAND USE ACTIONS

- 6.1 Edinburgh Centre ATM (Reed Burdine) – Conditional Use Permit #20-107 for a Remote Drive-Thru ATM at 8549 Edinburgh Centre Drive North
  - A. RESOLUTION
  - B. LOCATION MAP
  - C. PLANNING AND ZONING INFORMATION
  - D. EMAIL FROM NEIGHBOR
  - E. PLANNING COMMISSION MINUTES
  - F. PLANS
- 6.2 The Luther Company, LLLP (Linda McGinty) – Rezoning and Conditional Use Permit #20-105 to Redevelop 8100 Brooklyn Boulevard for an Expanded Parking Lot for Luther Brookdale Chrysler Dealership at 8100 and 8188 Brooklyn Boulevard with a Variance to the Sign Code to Allow a Second Free-Standing Sign
  - A. ORDINANCE
  - B. DRAFT CONDITIONAL USE PERMIT AND VARIANCE RESOLUTION
  - C. LOCATION MAP
  - D. PLANNING AND ZONING INFORMATION
  - E. VARIANCE REQUEST EMAIL
  - F. PLANNING COMMISSION MINUTES
  - G. CONDITIONAL USE PERMIT #99-166
  - H. APPLICANT'S NARRATIVE
  - I. PLANS
- 6.3 The Luther Company LLLP – Conditional Use Permit #20-110 for Auto Repair, Vehicle Sales, and Vehicle Staging at 7235-7417 Brooklyn Boulevard
  - A. RESOLUTION
  - B. LOCATION MAP
  - C. PLANNING AND ZONING INFORMATION
  - D. PLANNING COMMISSION MINUTES
  - E. APPLICANT'S NARRATIVE
  - F. PLANS
- 6.4 Highview 610 (Sambatek, Inc./Hempel Real Estate) – Rezone Parcel with a Planned Development Overlay and a Site Plan Review #20-108 for a 75,000 Square Foot Business Park Building at 9501 Louisiana Avenue N
  - A. ORDINANCE
  - B. DRAFT SITE PLAN REVIEW RESOLUTION
  - C. LOCATION MAP
  - D. PLANNING AND ZONING INFORMATION
  - E. PLANNING COMMISSION MINUTES
  - F. LETTER FROM THE APPLICANT
  - G. PLANS
- 6.5 Brookdale Convenience Store (Bill McCrum) – Variance and Conditional Use Permit #20-104 for a Redevelopment of the Convenience Store Building of the Existing Gas Station at 1500 Brookdale Drive

- A. RESOLUTION
- B. LOCATION MAP
- C. PLANNING AND ZONING INFORMATION
- D. PLANNING COMMISSION MINUTES
- E. LETTERS FROM NEIGHBORS
- F. RESOLUTION #2002-71
- G. PLANS

**6.6** A1 Reliable Home Care – Preliminary Plat, Comprehensive Plan Amendment, Rezoning, and Conditional Use Permit #20-109 for a 32-Bed Residential Care Center

- A. RESOLUTION – PRELIMINARY PLAT
- B. RESOLUTION – COMPREHENSIVE PLAN AMENDMENT
- C. ORDINANCE
- D. DRAFT CONDITIONAL USE PERMIT RESOLUTION
- E. LOCATION MAP
- F. PLANNING AND ZONING INFORMATION
- G. PLANNING COMMISSION MINUTES
- H. APPLICANT’S NARRATIVE
- I. PLANS

**7. GENERAL ACTION ITEMS**

- 7.1** Approve Splitting Annual On-Sale Liquor License Fee into Two Equal Payments
- 7.2** Consideration to Cancel 2020 Tater Daze Event
  - A. RESOLUTION
  - B. 2020 COVID-MODIFIED CELEBRATE BROOKLYN PARK EVENTS

**III. DISCUSSION – These items will be discussion items but the City Council may act upon them during the course of the meeting.**

**8. DISCUSSION ITEMS**  
None

**IV. VERBAL REPORTS AND ANNOUNCEMENTS**

- 9A. COUNCIL MEMBER REPORTS AND ANNOUNCEMENTS**
- 9B. CITY MANAGER REPORTS AND ANNOUNCEMENTS**

**V. ADJOURNMENT**

Since we do not have time to discuss every point presented, it may seem that decisions are preconceived. However, background information is provided for the City Council on each agenda item in advance from city staff and appointed commissions, and decisions are based on this information and past experiences. If you are aware of information that has not been discussed, please raise your hand to be recognized. Please speak from the podium. Comments that are pertinent are appreciated. Items requiring excessive time may be continued to another meeting.

# City of Brooklyn Park Request for Council Action

<b>Agenda Item:</b>	4.1	<b>Meeting Date:</b>	May 26, 2020
<b>Agenda Section:</b>	Consent	<b>Originating Departments:</b>	Community Development and Recreation and Parks
<b>Resolution:</b>	X	<b>Prepared By:</b>	John Kinara, Housing and Redevelopment Specialist
<b>Ordinance:</b>	N/A		
<b>Attachments:</b>	5	<b>Presented By:</b>	Breanne Rothstein, Economic Development and Housing Director
<b>Item:</b>	Approve a Professional Services Agreement with Avia Design Group, Inc. in the Amount of \$68,500 to Develop a City-Wide Wayfinding Master Plan, including Design Development and Design Specifications for the Wayfinding Project		

## City Manager's Proposed Action:

MOTION \_\_\_\_\_, SECOND \_\_\_\_\_, TO WAIVE THE READING AND ADOPT RESOLUTION #2020 \_\_\_\_ TO APPROVE A PROFESSIONAL SERVICE AGREEMENT WITH AVIA DESIGN GROUP, INC. IN THE AMOUNT OF \$68,500 TO DEVELOP A CITY-WIDE MASTER PROGRAM DEVELOPMENT, DESIGN DEVELOPMENT AND DESIGN SPECIFICATIONS FOR THE WAYFINDING PROJECT.

## Overview:

On February 18, 2020, the City of Brooklyn Park's Economic Development Authority (EDA) authorized the release of a Request for Proposals (RFP) for the development of a Citywide Wayfinding Master Plan. The purpose of the plan is to identify key destinations and connections, develop a suite of branded wayfinding signage that incorporates signage work already completed or underway, identify locations for each sign type, and develop a phased plan for implementation and maintenance.

## Background:

Citywide wayfinding planning has been identified as a priority project as part of the 2018 Park Master Plan and supported by the 2018 Park Board Referendum. Additionally, the city's branding initiative combined with the city's opportunity to leverage light rail transit (LRT) investment, which called for the development of a comprehensive citywide wayfinding system plan that links key community destinations, local and regional trails, and the LRT. Wayfinding includes kiosks at key locations and directional signage with maps as well as existing small branded city signs, gateway monument signs, and park and city facility identification signage.

On February 21, 2020, the citywide wayfinding RFP was released on the city's RFP page and on the RFP pages for the American Planning Association and American Society of Landscape Architects. A pre-bid conference meeting was held on March 9, 2020, at the City Hall Council Chambers. On March 27, 2020, the due date to submit all applications, 10 proposals were received.

## Primary Issues/Alternatives to Consider:

- What was the criteria to evaluate the proposals?

The participating vendors in this selection process had to demonstrate and meet the following criteria:

- Develops a citywide wayfinding system design plan that incorporates the city's existing brand, is attractive, aligns with the city's equity priorities, is relatively low cost to install and maintain, and includes replaceable mounts and maps.
- Focuses on the needs of both recreational users and residents using the system for transportation purposes.
- Coordinates with the recently completed Bottineau Corridor wayfinding and marketing and branding work.
- Is Compatible with adjacent communities' wayfinding (Maple Grove, Champlin, Brooklyn Center), as well as regional partners such as Three Rivers Park District.
- Allows for technology transfer of wayfinding map information from the static sign back to the user via QR code or other viable technology.

- **How were the proposals evaluated?**

A selection committee consisting of staff from Recreation and Parks, Community Development, Operations and Maintenance, as well as Engineering, was formed to evaluate the 10 proposals received. Two of these proposals were disqualified because they did not meet the selection criteria. The selection committee rated the submitted proposals based on their service experience, cost, and value-added plan. Once the ratings of the submittals were complete, the committee compiled the scores and determined which vendors advanced to the interview stage.

Interviews were held with each firm's Project Manager and Assistant Project Manager.

- **What firm was selected for the wayfinding project and why?**

Based on the scoring criteria, the selection committee is recommending Avia Design Group. Avia scored the highest for the following reasons:

- 1) They have a broad range of wayfinding plan development and implementation, ranging from private corporate campuses to entire cities;
- 2) They have a local presence, and the project manager lives in Brooklyn Park and has done signage work for the city in the past;
- 3) They have a strong timeline and concise process identified;
- 4) Their fee was very competitive (due mostly to travel not being a factor and billing rate being reasonable).

- **What is the project schedule?**

- |  |              |
|--|--------------|
| 1. Award bid and approval with City Council  | May 26, 2020 |
| 2. Kick-off meeting by consultant with staff | June         |
| 3. Community engagement process begins       | July         |
| 4. Community review of recommendations       | August       |
| 5. Plan development                          | September    |

### **Budgetary/Fiscal Issues:**

The proposed selected contract falls well below the estimated \$100,000 for the development of the wayfinding plan. Funding to develop the wayfinding plan is proposed to come equally from park bond funding (included in the City's Capital Improvement Program [CIP]) and the EDA. The EDA's 2020 budget will likely cover this \$34,250 cost, but it will depend on what other work advances this year. Staff will monitor and evaluate whether an EDA budget amendment is needed later in the year to accommodate this project.

Once the plan is developed, implementation funding would likely be needed from both the city's CIP and from the EDA. The multi-year CIP for park-related wayfinding projects currently includes \$250,000 programmed for 2021 and \$150,000 programmed for 2022.

**Attachments:**

- 4.1A RESOLUTION
- 4.1B PROFESSIONAL SERVICE AGREEMENT
- 4.1C EXHIBIT A
- 4.1D EXHIBIT A ADDENDUM
- 4.1E STAFF PRESENTATION

RESOLUTION #2020-

RESOLUTION TO APPROVE A PROFESSIONAL SERVICE AGREEMENT WITH AVIA DESIGN GROUP, INC. IN THE AMOUNT OF \$68,500 TO DEVELOP A CITY-WIDE MASTER PROGRAM DEVELOPMENT, DESIGN DEVELOPMENT AND DESIGN SPECIFICATIONS FOR THE WAYFINDING PROJECT

WHEREAS, on February 18, 2020, the City of Brooklyn Park's Economic Development Authority (EDA) authorized the release of a Request for Proposals (RFP) for the development of a Citywide Wayfinding Plan; and

WHEREAS, on February 21, 2020, a Request for Proposal was advertised on the websites of the City of Brooklyn Park, the American Planning Association, and the American Society of Landscape Architects seeking a Lead Consultant for the City Wide Master Program Development, Design Development, and Design Specifications for the Wayfinding Project; and

WHEREAS, the Selection Committee reviewed and scored the proposals received based on the proposed Project Approach, Service Experience, Project Cost and Value-Added Plan; and

WHEREAS, the Selection Committee interviewed the Project Manager and Assistant Project Manager for each of the firms that submitted proposals; and

WHEREAS, after completing the Clarification Phase, the Selection Committee is recommending entering into a Professional Services Agreement with Avia Design Group, Inc. in the amount of \$68,500; and

WHEREAS, funding for the City-Wide Master Program Development, Design Development and Design Specifications for the Wayfinding Project is proposed to come equally from park bond funding (included in the City's Capital Improvement Program [CIP]) and the EDA; and

WHEREAS, the City-Wide Master Program Development, Design Development and Design Specifications costs are within the estimated budget; the \$68,500 proposal from Avia Design Group, Inc. is the lowest responsible bidder.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park to approve a Professional Service Agreement with Avia Design Group, Inc. in the amount of \$68,500 to provide Master Program Development, Design Development and Design Specifications for the Wayfinding Project; and

1. The City of Brooklyn Mayor and the City Manager to enter into a Professional Services Agreement for the Wayfinding Project with Avia Design Group Inc., based on the proposal presented to the City Council; and
2. The City of Brooklyn Park Mayor and the City Manager to execute the Agreement on behalf of the City Council and to carry out, on behalf of the City Council, the City Council's obligations thereunder.

**PROFESSIONAL SERVICES AGREEMENT**

BETWEEN: City of Brooklyn Park  
AND: Avia Design Group, Inc.  
EFFECTIVE DATE: May 26, 2020

This Agreement is made this 26<sup>th</sup> day of May, 2020, by and between the City of Brooklyn Park, a public body corporate and politic under laws of the State of Minnesota, hereafter referred to as the “City”, and Avia Design Group, Inc. a Florida corporation with a Minnesota associate, hereafter referred to as the “Consultant”:

**RECITALS**

- A. Consultant is engaged in the business of providing professional services for wayfinding project program development, design development and design specifications services.
- B. The City of Brooklyn Park desires to engage Consultant to provide the services described in this Agreement and Consultant is willing to provide such services on the terms and conditions set forth herein.

**AGREEMENT**

- 1. **Services to be Provided.** Consultant agrees to provide the City with master program development, design development and design specification services as set forth in the Scope of Work proposal attached hereto as Exhibit 4.1C and/or any supplemental letter agreements entered into between the City and Consultant (the “Work”). The services referenced in the attached Exhibit 4.1C or any supplemental letter agreements shall be incorporated into this Agreement by reference. All Work shall be provided in a manner consistent with the level of care and skill ordinarily exercised by professionals currently providing similar services.
- 2. **Term for Completion.** This Agreement shall remain in force and effect commencing from May 26, 2020 and continuing until the completion of the project unless terminated by the City or amended pursuant to the Agreement.
- 3. **Consideration.** The consideration, which the City shall pay to Consultant, for both the Work performed by Consultant and the expenses incurred by Consultant in performing the Work, shall be as set forth in the fee schedule of the proposal. City shall make progress payments, based on invoices from Consultant. City’s payment shall be made within 30 days after Consultant’s statement. Consultant’s statement shall contain a detailed list of project labor and hours, rates, titles, and amounts undertaken by the Consultant during that billing period.
- 4. **Approvals.** The Consultant will secure the City’s written approval before making any expenditures, purchases, or commitments on the City’s behalf or before releasing any material to the media.

5. **Termination.** Notwithstanding any other provision hereof to the contrary, this Agreement may be terminated as follows:
- a. The parties, by mutual written agreement, may terminate this Agreement at any time
  - b. Consultant may terminate this Agreement in the event of a material breach of the Agreement by the City upon providing seven (7) days written notice to the City.
  - c. The City may terminate this Agreement upon providing seven (7) days' written notice to Avia Design Group at any time at its option, for any reason, or no reason at all.
  - d. The City may terminate this Agreement immediately upon Consultant's failure to have in force any insurance required by this Agreement.

In the event of a termination, the City shall pay Consultant for Work performed to the date of termination and for all equipment costs or other expenses incurred prior to the date of termination.

7. **Amendments.** No amendments may be made to this Agreement except in writing signed by both parties.
8. **Remedies.**
- a. In the event of a termination of this Agreement by the City, City may complete the Work either by itself or by contract with other persons or entities, or any combination thereof.
  - b. The foregoing remedies provided to the City for breach of this Agreement by Consultant shall not be exclusive. City shall be entitled to exercise any one or more other legal or equitable remedies available because of Consultant's breach.
9. **Records/Inspection.** Pursuant to Minnesota Statutes § 16C.05, Subd. 5, the Consultant agrees that the books, records, documents, and accounting procedures and practices of the Consultant, that are relevant to the contract or transaction, are subject to examination by the City and the state auditor or legislative auditor for a minimum of six years. The Consultant shall maintain such records for a minimum of six years after final payment.
10. **Indemnification.** To the fullest extent permitted by law, the Consultant, and the Consultant's successors or assigns, agree to indemnify and hold harmless the City, its officers, agents, and employees from all claims, suits, or actions of any kind, nature, or character, and the reasonable costs, disbursements, and expenses of defending the same, including but not limited to, reasonable attorneys' fees, consulting project management services, and other technical, administrative or professional assistance to the extent caused by the negligence, breach of contract or willful misconduct of Consultant or its subcontractors, agents, or employees under this Agreement or arising out of the failure to obtain or maintain the insurance required by this Agreement. Nothing in this Agreement shall constitute a waiver or limitation of any immunity or limitation on liability to which the City is entitled. The parties agree that these indemnification obligations will survive the completion or termination of this Agreement.

11. **Insurance.** Consultant will maintain insurance coverage for: Worker's Compensation, General Liability, and Professional Liability in an amount of not less than \$2,000,000.00 (two million dollars and no/100) per occurrence, and will provide information as to specific limits upon receipt of signed Agreement. Consultant shall provide the City with a current certificate of liability insurance for all insurance coverage referenced above. Such certificate of liability insurance shall list the City of Brooklyn Park as an additional insured and contain a statement that such policies of insurance shall not be canceled unless thirty (30) days written notice (ten (10) days' written notice for non-payment of premiums) is provided to the City.
12. **Subcontracting.** Neither the City nor the Consultant shall assign, sublet, or transfer any rights under or interest (including, but without limitation, moneys that may become due or moneys that are due) in the Agreement without the written consent of the other except to the extent that the effect of this limitation may be restricted by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under this Agreement. Nothing contained in this paragraph shall prevent the Consultant from employing such independent consultants, associates, and subcontractors, as it may deem appropriate to assist it in the performance of services hereunder. Notwithstanding the foregoing, NTH may retain, at it's expense, the services of consultant(s) for this Project.
13. **Assignment.** Neither the City nor Consultant shall assign this Agreement or any rights under or interest in this Agreement, in whole or in part, without the other party's prior written consent. Any assignment in violation of this provision is null and void.
14. **Independent Contractor.** Consultant shall be deemed an independent contractor. Consultant's duties will be performed with the understanding that Consultant has special expertise as to the services which Consultant is to perform and is customarily engaged in the independent performance of the same or similar services for others. The manner in which the services are performed shall be controlled by Consultant; however, the nature of the services and the results to be achieved shall be specified by the City. Consultant is not to be deemed an employee or agent of the City and has no authority to make any binding commitments or obligations on behalf of the City except to the extent expressly provided herein. All services provided by the Consultant pursuant to this Agreement shall be provided by the Consultant as an independent contractor and not as an employee of the City for any purpose, including but not limited to: income tax withholding, workers' compensation, unemployment compensation, FICA taxes, liability for torts and eligibility for employee benefits.
15. **Compliance with Laws.** Consultant shall exercise due professional care to comply with applicable federal, state and local laws, rules, ordinances and regulations in effect as of the date Consultant agrees to provide the applicable services detailed in Exhibit A or any supplemental letter agreement.
16. **Notices.** Any notices permitted or required by this Agreement shall be deemed given when personally delivered or upon deposit in the United States mail, postage fully prepaid, certified, return receipt requested, addressed to:

Consultant:

Avia Design Group Inc.  
12161 Ken Adams Way, Suite # 110 – Y1  
Wellington, FL 33414  
Attention: **Todd Mayfield**

Avia Design Group Inc.  
5000 81<sup>st</sup> Lane North  
Brooklyn Park, MN 55443  
Attention: **Michael Haug**

City of Brooklyn Park:           City Manager  
  City of Brooklyn Park  
  5200 85th Avenue North  
  Brooklyn Park, MN 55443

Or such other address as either party may provide to the other by notice given in accordance with this provision.

17. **Attorney Fees.** In the event of any action to enforce or interpret this Agreement, the prevailing party shall be entitled to recover from the losing party reasonable attorney fees incurred in the proceeding, as set by the court, at trial, on appeal or upon review.
18. **Entire Agreement.** This Agreement, any attached exhibits and any addenda or amendments signed by the parties shall constitute the entire agreement between the City and the Consultant, and supersedes any other written or oral agreements between the City and the Consultant. This Agreement can only be modified in writing signed by the City and the Consultant.
19. **Third Party Rights.** The parties to this Agreement do not intend to confer on any third party any rights under this Agreement.
20. **Choice of Law and Venue.** This Agreement shall be governed by and construed in accordance with the laws of the state of Minnesota. Any disputes, controversies, or claims arising out of this Agreement shall be heard in the state or federal courts of Minnesota, and all parties to this Agreement waive any objection to the jurisdiction of these courts, whether based on convenience or otherwise.
21. **Conflict of Interest.** The Consultant shall use reasonable care to avoid conflicts of interest and appearances of impropriety in representation of the City. In the event of a conflict of interest, Consultant shall advise the City and either secure a waiver of the conflict or advise the City that it will be unable to provide the requested services. It is the intent of the Consultant to refrain from handling advertising, digital, and public relations matters for any other person or entity that may pose a conflict of interest.
22. **Work Products and Ownership of Documents.** Upon full payment for all amounts due hereunder, all records, information, materials and other work products, including, but not limited to the completed reports, drawings, plans, and specifications prepared and developed in connection with the provision of services pursuant to this Agreement shall become the property of the City of Brooklyn Park, but reproductions of such records, information, materials and other work products in whole or in part may be retained by the Consultant. Avia Design Group and its subconsultants

shall not be responsible for the City's use of such Work Product and Documents unless Avia Design Group is retained to provide professional services in connection with such use.

23. **Agreement Not Exclusive.** The City of Brooklyn Park retains the right to hire other representation for other matters, in the City's sole discretion.
24. **Data Practices Act Compliance.** Any and all data provided to the Consultant, received from the Consultant, created, collected, received, stored, used, maintained, or disseminated by the Consultant pursuant to this Agreement shall be administered in accordance with, and is subject to the requirements of the Minnesota Government Data Practices Act, Minnesota Statutes, Chapter 13. This paragraph does not create a duty on the part of the Consultant to provide access to public data to the public if the public data are available from the City, except as required by the terms of this Agreement.
25. **No Discrimination.** Consultant agrees not to discriminate in providing products and services under this Agreement on the basis of race, color, sex, creed, national origin, disability, age, sexual orientation, status with regard to public assistance, or religion. Violation of any part of this provision may lead to immediate termination of this Agreement.
26. **Authorized Agents.** The City's authorized agent for purposes of administration of this contract is the City Manager, or its designee. The Consultant's authorized agent for purposes of administration of this contract is Todd Mayfield. All Work shall be performed by or under the supervision of Todd Mayfield.
27. **Waiver.** No waiver of any provision or of any breach of this Agreement shall constitute a waiver of any other provisions or any other or further breach, and no such waiver shall be effective unless made in writing and signed by an authorized representative of the party to be charged with such a waiver.
28. **Headings.** The headings contained in this Agreement have been inserted for convenience of reference only and shall in no way define, limit or affect the scope and intent of this Agreement.
30. **Severability.** In the event that any provision of this Agreement shall be illegal or otherwise unenforceable, such provision shall be severed, and the balance of the Agreement shall continue in full force and effect.

[The rest of this page was left blank intentionally.]

**IN WITNESS WHEREOF**, the City of Brooklyn Park and the Consultant have caused this Professional Services Agreement to be executed by their duly authorized representatives in duplicate on the respective dates indicated below.

**CITY OF BROOKLYN PARK**

By: \_\_\_\_\_

Jay Stroebel, City Manager  
City of Brooklyn Park  
5200 85th Avenue North  
Brooklyn Park, MN 55443

Date: \_\_\_\_\_

By: \_\_\_\_\_

Jeffrey Lunde, City Mayor  
City of Brooklyn Park  
5200 85th Avenue North  
Brooklyn Park, MN 55443

Date: \_\_\_\_\_

**AVIA DESIGN GROUP, INC**

By: \_\_\_\_\_

Todd Mayfield, Principle & Creative Director  
Avia Design Group Inc  
12161 Ken Adams Way, Suite # 110 – Y1  
Wellington, FL 33414

Date: \_\_\_\_\_

**EXHIBIT A**  
**SCOPE OF WORK**

(Attach Avia Design Group of Florida, Inc. proposal and addendum dated March 26, 2020 Revised)



Proposal for  
**City of Brooklyn Park City-wide  
Wayfinding Project**

March 26, 2020

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**Engrafik**

Michael Haug is Principle of Engrafik, a design firm specializing in branded environments, experiential graphics, signage and wayfinding. He is a Brooklyn Park resident and you may know him as the designer of the Brooklyn Park City Hall monument sign or as the designer helping the city with the rebranding of other site signs. Some of his past projects around the Twin Cities include the Target Northern Campus, the Guthrie Theater, downtown Minneapolis Public Library, Orchestra Hall, and TCF Bank Stadium.

Michael is the regional representative for Avia Design Group and has been a strategic partner since 2014. Working with Avia provides the experience and support necessary for large-scale public wayfinding projects.

**Avia Design Group**

Avia is run by Todd Mayfield and is an award-winning visual communications company that specializes in branding, signage and wayfinding for municipalities and regional destinations around the country and in Canada. Many of these projects have a strong tourism component which means that wayfinding strategies must be effective for newcomers and designed to enhance the brand experience of the place.

As a design group with projects from Sitka, Alaska to Gulf Shores, Alabama, Avia has extensive experience working with government agencies to develop a wayfinding strategy, an efficient system of signage and gain public input and support. Exterior wayfinding signage for vehicles and pedestrians alike exist in the outdoor environment and are intended to last many years. Avia has industry background and material knowledge to design signs that can withstand the cold winters of Canada and the salt air in Florida.

Together, we will provide the experience and knowledge you need to make your project a success.

**Primary Project Contact**

Michael Haug  
Midwest Project Manager and Senior Designer  
763-218-4051  
mike@aviadg.com

**Proposal Binding Authority**

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# UNDERSTANDING

Project Description

Smart, Effective, Efficient

Community Engagement

**Project Description**

The Avia Team understands that the City of Brooklyn Park desires to develop a brand supportive, city-wide wayfinding system that is primarily comprised of sign types to enhance pedestrian and bike navigation on a multi-mode trail system that criss-crosses the City of Brooklyn Park. The RFP identifies multiple objectives.

- The design of the signs must reflect the city's brand and mesh with the other existing city signage.
- The system must enhance the area with attractive, brand supportive signage that is efficiently designed to mitigate fabrication and maintenance costs.
- Signs in the system must be cost-effective to produce and maintain. This includes replaceable components and mounting mechanisms and the use of materials that don't require ongoing upkeep.
- The wayfinding program will be designed to support recreational users and those using the system to commute, including connecting to local transit hubs.
- The system must coordinate with the Bottineau Corridor wayfinding and brand initiatives as well as be compatible with neighboring wayfinding programs in Maple Grove, Champlin, Brooklyn Center, Three Rivers Park District and other regional partners.
- In an effort to stay ahead of the curve, the City requires the consultant to explore ways to connect digital technology with the signage. We will explore ways to include methods of technology transfer for wayfinding information used in signage to online users via QR code or comparable technological means.
- Because the City has a very diverse population and is home to many non-English speakers, the design of the system must support multi-lingual content and may include widely understood pictographs.
- The project will include the design of interpretive panels that provide information about Brooklyn Park's key historic sites along the trail.
- The system must not only be designed beautifully, it must function well by communicating pertinent information to users in an easy-to-understand format.
- Their design partner is expected to provide forward thinking solutions that are innovative, well thought-through and designed to be highly functional, simple to update and economical to maintain.
- The system will be planned to be implemented in phases. As the program is rolled out or added to, the wayfinding plan should be able to expand with seamless continuity.

**Smart, Effective and Efficient**

Our approach to wayfinding and sign design lines up with your expectations: to create a plan that is not only beautiful and reflects the city's unique brand, but is also helpful to those using the trails.

Smart, Effective and Efficient applies to both the wayfinding strategy and the design of the signs themselves. The wayfinding strategy must be well organized and presented succinctly for quick reading. The signs need to communicate directional information in an easy-to-understand format, and needs to be easily understood by users who may not speak English. On other wayfinding projects, we have employed commonly understood pictographs, color-coding and alpha-numeric designations to help those with limited English proficiency.

The sign structures themselves also need to follow this goal. Our experience building signs across North America provides us with the material and fabrication knowledge to ensure your signs will last a very long time. The signs need to be produced cost-effectively while still providing protection against the elements and vandalism. Ongoing maintenance and upkeep needs to be kept to a minimum as well.

Technology is being integrated into almost everything in our lives. Even on a bike/pedestrian trail where users are often trying to find a way to disconnect from technology, a link to pertinent information has its place. We will explore options on how to best connect the sign system with technology. It may be as simple as scanning a QR code which links to the Eidem Historical Farm website, or could involve solar-powered beacons to help with navigation or provide emergency alerts to users on the trail. The ability for technology to provide a link to translated text is a key benefit to your multi-lingual community.



## Community Engagement

The Avia team strongly believes in collaborative community engagement that goes beyond simply asking people for input. It involves them in the development process, considers their functional needs, determines how the system can reflect the character of the environment and instill a sense of community pride.

As we move into the early steps of the project, we will invite the advisory commissions and the Brooklyns Youth Council to participate in workshops. These workshops will be structured discussions with specific tasks and goals to be addressed. We will begin each workshop with some background information. We get more out of these workshops when people are fully informed about program objectives, design criteria, functional requirements, code compliance requirements and mechanical constraints.

Something that works very well for us is encouraging participants to submit additional comments and ideas after the workshop within a predetermined period. Some people get an idea a few days later, others feel more comfortable providing their feedback outside of the group. During the course of the design development, we will update a password-protected on-line portal that will be accessible to all workshop attendees. Here they will be able to view design updates and monitor the development progress.

The key to success when trying to run an open public forum is to clearly explain the program objectives, what the desired benefits are and what is expected of the attendees. With these things communicated it is easier to keep meetings on track. Since you have quite a bit of background information already gathered—plus the information we will gain from staff and the citizen commissions—defining exactly what additional information we need from the general public will streamline the process and simplify the interaction.

The ultimate objective for Community Engagement is to create a successful system that is tailored to those who will use it. The system will be aesthetically beautiful, intuitive, informational, expandable, vandal resistant and easy to maintain for the long term.



# PROCESS

Program Development

Design Development

Design Specification

## PHASED APPROACH

Our approach is to divide this project into three primary phases. Phase 1 will focus on gaining a better understanding of the project and the initial development of content and strategy. Phase 2 will begin the design exploration of options and continue with development and refinement. Phase 3 will pull the details and specifications together into a final Master Plan Document. At every stage of the process, we will include your insights and perspective to ensure that our final product is exactly in line with your goals and objectives.



## PHASE 1 | Program Development

Charles Kettering once said, **“A problem well stated is a problem half solved.”** We believe in this approach and will begin by learning more about the project through a series of meetings and workshops. From there, we will be better prepared to provide solutions that are intelligent and designed at the highest level.

- **Kick-off Meeting.** We will schedule a series of meetings and check-in points with the city team. The first meeting will be to review the logistical aspects of the project such as schedule, budget, timing, goals and expectations. We will review and reconfirm the provided background information including the trail maps, and branding guidelines. We will also set up subsequent project reviews, workshops and meetings, and map out the following phases.
- **Site Review.** An important initial task will be to conduct an on-site review of the trails and will include a detailed mapping and photo documentation of the trails so we can become very familiar with all the turns, intersections and connection points. We are connected to Brooklyn Park. Because our office is located here, we are able to visit the project area frequently and at a moments notice. This give us an advantage to fully understand the area and continue to interact with residents and staff.
- **Staff Workshop.** The second meeting will be a workshop to talk at length about the project, what we have learned, additional information you might add and where additional study is needed. In this meeting we will talk about the various types of destinations, trail connection points, critical nodes, and how the system will connect with other neighboring trails, including the Blue Line light rail extension. We will also learn more about the diverse cultures of the community, spoken languages and how best to design a system to support them. In addition, we will discuss potential interpretive content near the historical sites.
- **Technology Transfer Workshop.** We propose dedicating a team meeting to the discussion of technology transfer, since this may require members of your IT department to help us understand what you have in place already. In this meeting we will discuss desires and expectations you have around the incorporation of digital information into the wayfinding system and review both your existing delivery systems and discuss potential opportunities.
- **Commission Workshops.** We propose workshops with your city commissions and the youth council to learn about the project from their point of view. Their input is important for us to develop at a well-rounded design approach. These Avia hosted workshops will begin with project criteria and progress updates. We will provide background information, talking points and objectives focused on the most relevant information for each group.

PHASE 1 | Program Development *continued*

- **Community Engagement.** Hearing from residents early in the process will help us determine the best path forward. We envision a few ways that we could engage with the broader community. Since you have quite a bit of background information, our desire would be to connect with those who are actively using the trails.

One idea is to set up three or four stations at key points along the trail and ask people to comment on a few key questions. These stations would be staffed by city employees and/or volunteers while the engagement plan, questions and displays would be created by Avia.

A variation on this idea would be to set up unmanned displays along the trail with a website link asking them to participate in a survey. This link could also be shared with residents via the city website and publications. An article in the city magazine or Sun Post would draw attention to the project, resulting in a higher response rate.

With any engagement process, establishing a clear sense of what information you need from this broad group will determine its success.

**DELIVERABLE**

After the initial meetings, workshops and site review are complete, we will create a Program Assessment Progress Report for review and comment.

After we have collected information from interviews and workshops, we will begin the developing the program strategy. This will include identifying sign types, their content and plausible locations.

- **Sign Schematics.** In this step, we will develop a family of types that will efficiently communicate informative content and directional guidance. We start with these generic types of signs to make sure we get the content and strategy right before delving into the aesthetic design. Proper content structure and functionality are the foundations of effective design.
- **Content Organization.** In this step, we will gather and organize in a hierarchical format all the various content that will appear on signs, including destinations, trail connections, maps, distance and time information. This step will also include a preliminary look at interpretive content for the historical sites.
- **Diversity and Languages.** Along with the content organization step, we will explore options on how to best display the sign content for constituents who do not speak English. This may include the use of common pictographs, organizing the information using color, using simple alpha-numeric designations when possible, even displaying distances in kilometers as well as miles.

**PHASE 1** | Program Development *continued*

- **Wayfinding Strategy.** We take a holistic approach to wayfinding strategy. We combine our collective understanding of the trail environment, user expectations, their psychological habits, their safety, natural terrain and potential experiential attributes of the trail system in order to develop an easy to understand collection of devices that elevate the user's overall experience. Our goal is to not only connect dots to destinations but to create a memorable experience along the way. This strategy may include, but not necessarily limited to, signage, interpretive graphics, visual corridors, nodes and landscaping. The design and messaging character of the physical system extends to other communication media such as your website, city magazines and other published materials. The consistent presentation of this information is a critical aspect of wayfinding.
- **Budget Planning.** We will put together a budget planning spreadsheet to help with the design, development and implementation of the project as it moves forward. We will also identify any other potential costs associated with this type of project such as landscaping, tree-trimming, existing sign removal, etc.
- **Staff Review.** We will present our content development structure, our recommendations on how to communicate with non-English speakers using the trail, the wayfinding strategy and our recommended sign types and how each will function along the trail to the staff team. With input from staff, we will put together documentation of our understanding, strategy and recommendations.

**DELIVERABLE**

Avia will update and finalize the Program Assessment Report with our recommended content structure, wayfinding strategy, foreign language approach and a recommended series of sign types.

## PHASE 2 | Design Development

Once we have a handle on all the aspects of the project and an approved schematic plan for content, strategy and sign types, we will move into design concepts, continued development and refinements.

- **Design Concepts.** Based on the approved wayfinding strategy, schematic sign types, content requirements and information hierarchy, we will explore several design concepts and apply the design to primary sign types. Concepts will explore style, material and structural options and will focus on brand expression. Concepts will illustrate how the wayfinding information will be communicated to non-English speaking users. We will also look for ways in which to integrate information about the environment through interpretive imagery and content. The design concepts will be presented to staff for their input and recommendations. From there, one or two options will be further explored and developed.
- **Technology Transfer.** Based on our discussions with the team, commission input and community input, we will prepare a System Technology Recommendations Report that will be part of our Concept Summary presentation. When we look at options for digital content, we will explore ideas that are the most feasible from an implementation point of view and most useful for those using the trail. It will be important for us to understand current and potential technology trends and how trail users can benefit. We recommend that technological delivery systems are simple, concise and pertinent to the place.
- **Budget Review.** Budget planning estimates will be adjusted and qualified to give the team an idea as to the cost difference of each design concept.

### DELIVERABLE

Design concept presentation to staff. This will include 3-4 design concepts applied to example primary sign types. One or two refined concepts will be resubmitted for review. A Concept Summary Report will be submitted in two formats: a PowerPoint presentation and a PDF document for internal distribution

**PHASE 2** | Design Development *continued*

- **Design Development.** With the approval of one design concept, we will begin to develop, detail and refine the design and apply it to all system sign types. This will include development of materials, finishes and production fabrication options. During this phase we will also explore cost effective options for updating maps and sign faces, and look at using recycled or easily recyclable materials.
- **Location Plan.** A working location plan with sign type placements and messaging will be used as a collaborative tool throughout the development process and will be updated until the final wayfinding plan has been adopted. As we progress through the project, the map will become increasingly populated and detailed.
- **Staff Review.** The design development drawings and location plan will be presented to staff for review and comment. An updated version of the development document will be used for the Commission Review and Community Engagement steps. A final document will be submitted with input from the commissions incorporated.
- **Commission Review.** At this point, we will review our progress with the two city commissions and the Brooklyn Youth Council. This meeting will allow for in-depth discussions and give us the opportunity to make any final adjustments to the materials for the Community Engagement.
- **Community Engagement.** For the community engagement process at this point, we recommend presentations of the proposed design be publicly displayed, within a section of your website and potentially set up at various public places for visitors to view and comment. City Hall trail entry points, or park shelters that receive ample traffic work well. In the first community engagement process we are looking for specific information about the functionality of the system to help guide our strategy. At this point, we are looking for more general comments about design and the overall system.

**DELIVERABLE**

The final deliverable for this phase is a Design Development Summary Document that catalogs the designs and decisions made through this process. This summary would proceed the final design development drawings of each sign type in the family.

## PHASE 3 | Design Specification

The last phase is where we finalize all the details and specifications.

- **Specification Drawings.** This document will contain scaled drawings of each sign type and will include elevation, plan, section and detail drawings as necessary. The drawings will also specify all materials, finishes, graphic specifications, hardware and footing information.
- **Location Plan.** The location plan will be finalized to include all of the proposed sign types and their exact location along the trail. Sign locations will include a sign type code and location designation.
- **Implementation Cost Update.** With tighter specifications and quantities for each sign type, the budget planning spreadsheet can be further refined and tightened. Fabrication, installation and anticipated maintenance costs and costs associated with information updates will be further refined.
- **Staff Review.** Specification drawings, location map and cost update will be presented to city staff for review and comment. Staff will review again after the council presentation.
- **Phasing Plan.** Working with staff and the estimates obtained in the cost update, we will create a plan to phase the project implementation over 3-5 years.
- **City Council Presentation.** Avia will create a presentation for the city council that summarizes the final design and specifications, describes the function and location of each sign type, and provides the council with a planning estimate for fabrication, broken down into a phased implementation plan.
- **Final Master Plan Document.** The final document will contain the final wayfinding strategy, content organization and hierarchy, design renderings, scaled drawings, specifications, and the location map.

### DELIVERABLE

The final deliverables for this project include a PowerPoint presentation to the City Council and a PDF Master Plan.

**PART 4 | SCHEDULE AND FEES**

**Project Schedule**

Our step-by-step process involves three primary phases illustrated in the chart below. We have included deliverables and/or staff presentations at the mid-point of each phase to ensure we are on track. We are proposing a 21-week process, but this can be adjusted to meet your project schedule and any critical dates that are important to the success of the project.

PROJECT SCHEDULE		
<b>Phase 1</b>	<b>Program Development</b>	<b>April</b>
	Kick-off Meeting	13-17
	Site Review	20-24
	Staff Workshop	27-5/1
	Technology Transfer Workshop	<b>Deliverable:</b> Community Engagement Plan
	Citizen Commission Workshops	<b>May</b>
	Community Engagement	<b>Deliverable:</b> Program Assessment Summary
	Sign Schematic	11-15
	Content Organization	18-22
	Diversity and Languages	25-29
<b>Phase 2</b>	Wayfinding Strategy	
	Budget Planning	
	Staff Review	<b>Deliverable:</b> Program Development Document
	<b>Design Development</b>	<b>June</b>
	Design Concepts	1-5
	Technology Transfer	8-12
	Budget Review	<b>Presentation:</b> Design Concept
	Design Development	15-19
	Location Plan	22-26
Staff Review	29-7/3	
<b>Phase 3</b>	Commission Review	<b>July</b>
	Community Engagement	6-10
	<b>Design Specification</b>	<b>July</b>
	Specifications Drawings	20-24
	Location Plan	27-31
	Cost Update	<b>August</b>
	Staff Review	<b>Deliverable:</b> Design Specifications Document
	Phasing Plan	3-7
City Council Presentation	<b>Presentation:</b> City Council	10-14
	<b>Deliverable:</b> Master Plan Document	17-21
	Master Plan	24-28

**PART 4 | SCHEDULE AND FEES CONTINUED****Proposed Fees**

Based on our past experience with similar projects, we believe your budgeted fee range of \$75k to \$100k is high for the scope you have defined. Because of our working history with the city, familiarity with the area and trails, and our efficient process, we are confident we can complete this project as defined by your deliverables and still achieve the high-quality results you are looking for at a lower rate.

Since our Midwest office is located in Brooklyn Park (and due to Michael's desire to support his community) we are also happy to extend a discount to the city for this project.

Our fee proposal is broken down into the three primary phases. Avia sends progress invoices on the first of each month unless otherwise negotiated. Client payment is requested within 30 days of billing.

PROFESSIONAL FEES		
Phase 1	Program Development	\$15,500
Phase 2	Design Development	\$28,500
Phase 3	Design Specification	\$24,500
Total		\$68,500

\*Operational and travel related expenses are included in the professional fee. Because of our stand practice to operate as a paperless operation and due to the uncertainty regarding the cost of presentation and documentation expenses at this point, we have left this item open. If requested, we are happy to include document and/or presentation material printing expenses during contract negotiation.

**PART 4 | SCHEDULE AND FEES CONTINUED**

**Team Member Involvement**

Below is a chart of anticipated involvement by each of the primary team members and divided by each phase. Michael and Todd will be deeply immersed throughout the project, but we may enlist additional help with production tasks or specialty services. We will provide you with information regarding any additional team members we employ.

<b>TASK BY PERSONNEL</b>							
<b>Phase 1</b>	<b>Program Development</b> Kick-off Meeting Site Review Staff Workshop Technology Transfer Workshop Citizen Commission Workshops Community Engagement Sign Schematic Content Organization Diversity and Languages Wayfinding Strategy Budget Planning Staff Review	<b>Michael Haug</b> Consulting and Strategy Development Meetings and Workshops Content Development and Design	<b>45%</b>				
		<b>Todd Mayfield</b> Consulting and Strategy Development Meetings and Workshops Content Development and Design	<b>35%</b>				
		<b>Mike Voermans</b> Consulting and Strategy Development	<b>5%</b>				
		<b>Lara Sawczak</b> Design Support and Production	<b>15%</b>				
		<b>Phase 2</b>	<b>Design Development</b> Design Concepts Technology Transfer Budget Review Design Development Location Map Staff Review Commission Review Community Engagement	<b>Michael Haug</b> Consulting and Strategy Development Meetings and Workshops Design Concepts and Development	<b>50%</b>		
				<b>Todd Mayfield</b> Consulting and Strategy Development Meetings and Workshops Design Concepts and Development	<b>30%</b>		
				<b>Mike Voermans</b> Technology Transfer Consulting	<b>10%</b>		
				<b>Lara Sawczak</b> Design Support and Production	<b>10%</b>		
				<b>Phase 3</b>	<b>Design Specification</b> Specifications Drawings Location Plan Cost Update Staff Review Phasing Plan City Council Presentation Master Plan	<b>Michael Haug</b> Design Specification Drawings Meetings and Presentations Location, Phasing and Master Plan	<b>50%</b>
						<b>Todd Mayfield</b> Design Specification Consulting Master Plan	<b>20%</b>
						<b>Lara Sawczak</b> Design Support and Production	<b>30%</b>

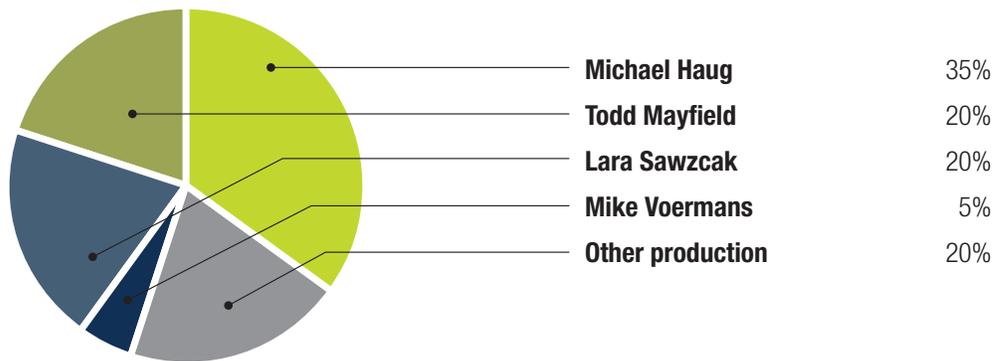
**PART 4 | SCHEDULE AND FEES CONTINUED**

**Fees, Rates, Costs Schedule**

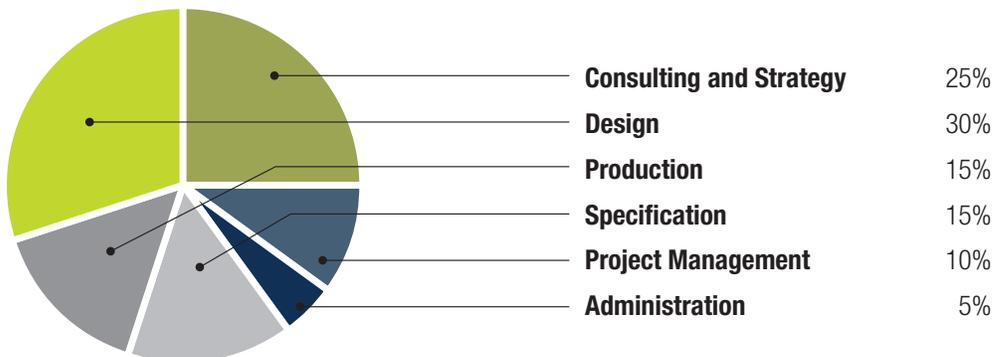
The chart below identifies each team member, hourly rate and percentage of anticipated time spent on the project. Other Production is Michael or Todd's time working on design production tasks, at the design production rate.

<b>Fees</b>	<b>Michael Haug</b>	\$120 / hr
	<b>Todd Mayfield</b>	\$120 / hr
	<b>Mike Voermans</b>	\$120 / hr
	<b>Lara Sawczak</b>	\$85 / hr
	<b>Other production</b>	\$85 / hr

**Percentage of Time by Employee**



**Percentage of Cost by Task**



## Project Deliverables

### Phase 1 Program Development

#### Program Development Document

- Summary of our assessment report from staff, commission and community input, plus our own site review.
- Content hierarchy and structure plan and a wayfinding strategy plan.
- Description and illustrations of how the proposed sign types and locations align with the cities goals to increased equitable access. This document will also contain information on how the sign system addresses community diversity issues and how we will engage with non-English speaking users.
- Schematic design description and illustrations showing the sign types and how they are integrated with other city signage and city branding, and how they visually connect with neighboring bike/pedestrian/transit signage.

#### Community Engagement Plan

- Workshop plan and how we will engage with the citizen commissions and youth council, purpose of the workshop and the desired outcomes. Also includes a secondary review with each group.
- Plan on how to engage with the broader community that defines the purpose of the engagement and desired outcomes, how we plan to connect with users, and how we will collect information.

### Phase 2 Design Development

#### Design Concept Presentation

- Illustrated family of sign types illustrating sign hierarchy and typical locations. This includes directional signs, map kiosks, node signage, interpretive signage, bike lane signs, pedestrian pathway signs, key destination signs, and trail signs marking entrance points into the city.

#### Design Development Document

- Design development of all sign types with refined materials, finishes and graphic specifications.

### Phase 3 Design Specification

#### Signage Specification Document

- Detailed scale drawings of each sign type elevation, plan, section, and detail drawings as necessary to document fabrication and assembly. Detail drawings showing how map and other changeable components.
- Specifications for each sign type will include materials, hardware, graphic specifications, and finishes.
- The design of five interpretive panels for historical sites along the trail.
- Location Plan for all sign types and grouped by installation phases. Location plan will also mark existing city gateway signs, park identification signs, golf-course identification signs, and city facility signs.

#### Planing Budget

- Planning budget for fabrication and installation by sign type, grouped into 3-5 installation phases.
- Planning budget will also include estimates for maintenance and update costs for each sign type.

#### Master Wayfinding Plan

- The final Master Wayfinding Plan document will contain information from all above deliverables. Some areas may be summarized in the document and/or included in an appendix.

**COVID 19**

With uncertainty regarding the COVID 19 pandemic, potential orders to avoid contact, and possible home isolation requirements, we will have contingency plans in place to keep the project on track. All team members already have the capability of working from home. Because we work on projects throughout North America and the Caribbean, we already use web based group meeting software and video conferencing such as GoTo Meeting, Skype Business or Zoom. Individual or small group conference calls are also a way to stay connected and informed throughout the project.

Avia's process includes an on-line project portal where we post documents for review. We use WeTransfer to route large files to groups for review. This makes on-line communication efficient and reliable. If need be, most of our initial interface can be done on-line without delaying the project for an unforeseen period.

Since Michael and Mike both reside in Brooklyn Park, they will have continued access to the trail system and are able to make frequent visits to city hall or other local meeting sites. Michael Haug has already switched to on-line virtual meetings for his hospital and clinic clients and has participated in on-site meetings where each person sits at separate tables in a large conference room. Avia routinely operates as a virtual company because of their international client base and regionally positioned staff.

The Community Engagement process may prove to be the most challenging during this time. Options for face-to-face interaction with residents may need to be in a controlled area with tables separating participants. Another option would be to ask residents to participate in an on-line virtual Town Hall style presentation which we have already employed for other projects.

**Non-Discrimination**

Avia Design Group does not discriminate in hiring practices on the basis of race, color, creed, religion, national origin, sex, age, marital status, public assistance status, veteran status, disability, or sexual orientation.

Avia Design Group is a minority/woman owned business.

# EXPERIENCE

Firm Descriptions

Personnel Bios

Case Studies

**PART 5 | BACKGROUND AND EXPERIENCE**

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**About Avia Design Group**

Avia Design Group (Avia) is an award-winning visual communications company specializing in wayfinding, branding and graphic design services for towns, cities and regions. We have offices in Florida, Minnesota, Colorado, Oregon and Alberta. The company was established in 2003.

We maintain a core staff of 9 people with several freelance professionals who we use for specialized assignments or if our project load requires additional hands.

We partner with specialized consultants on projects that require specific skill sets such as brand strategy, wayfinding programs, product development, market analysis, interpretive writing, website development, urban planning, interior design and architectural services.

Our understanding of strategic branding combined with our extensive experience in wayfinding sets us apart from many creative firms. Avia is an industry leader in the development of branded wayfinding for communities and public spaces.

Our strength comes, in part, from the trusted relationships we establish with our clients and strategic partners.

If we are selected to be your consultant, we will encourage your team to participate early in the analysis and design process. We value your input because it is based on insight and passion.





### **Todd Mayfield**

Principal & Group Creative Director

As the Group Creative Director, Todd will oversee in all aspects of the project from conceptualization through the final execution of project deliverables and review all creative presentations. Todd will serve as the secondary contact for this project—but feel free to call him anytime!

Having over 33 years of experience in visual communications including wayfinding, brand development, advertising and print graphics, Todd has earned numerous awards for design excellence and profound respect among his constituents. He is also an accomplished fine artist, illustrator and published author.

His work has been featured in national publications and books such as Print Magazine, Signs of the Times and American Corporate Identity. He was featured in an online interview by the European-based Placebrand Observer and now serves on their expert panel.

Prior to opening Axia Creative, Todd was the Creative Director for Nth Degree in Georgia where he provided design direction for large events and trade shows. While there, he designed audience acquisition campaigns and event graphics for high-profile companies such as Qualcomm, Intel, Kyocera, Hot Jobs, Mohawk and Pfizer.

Previously, he served as the Design Director for the Douglas Group in Washington, DC where he headed branding, wayfinding and interpretive projects for clients such as the US Capitol (DC), the US National Arboretum (DC), the City of Rockville (MD), the Ronald Reagan Building (DC), Marriott Hotels and Ritz-Carlton.

In Chicago, Todd was a senior designer for Ambrosi & Associates. His projects included in-store and point-of-sale graphics for Sears, Jacobsons, Walgreens and Herbingers. He also provided brand development and wayfinding for retail malls owned by General Growth Properties.

In Hawaii, Mr. Mayfield worked for a large international architectural and interior design firm called Media Five, Ltd. He was the lead designer for their graphic design team that specialized in creative services for the hospitality industry. His projects included branding and wayfinding for large hotels, resorts and communities such as the historic Royal Hawaiian Hotel in Waikiki, the Kapalua Beach Hotel on Maui and the Kapolei residential development on Oahu.

Todd attended Western State College in Gunnison then transferred to the University of Hawaii where he received his Bachelor of Fine Arts in Design.



### **Michael Haug**

Senior Designer | Project Manager

Michael will serve as the project manager, senior designer and primary contact. He is a Brooklyn Park resident and designed the new City Hall monument sign.

Michael is currently working with the city on the rebranding of other city signage. He will conduct on-site interviews, meetings and presentations and will lead the team from conceptualization through the final execution of project deliverables.

Michael is the Senior Experiential Designer and Midwest Project Manager for Avia Design Group. He has over 25 years of experience working on a wide variety of environmental graphics from tradeshow, office buildings, stadiums, casinos, hospitals and clinics, to bike trail systems, historic sites, and art installations. His approach to wayfinding focuses on content and how people interpret information. He tackles the nomenclature, information hierarchy and content organization first to ensure signs send the right message at the right place.

In addition to public wayfinding projects, he's had the privilege of working on a number of important cultural projects around the Twin Cities including the Minneapolis Institute of Arts, the Guthrie Theater, Minneapolis Central Library, Musical Instrument Museum in Phoenix, Landmark Center, TCF Bank Stadium and Orchestra Hall.

For nearly 20 years, Michael worked for Larsen Design in Minneapolis and was the design director for numerous branding and branded environment projects. Because of this experience, he is fully in-tune with how branding, messaging, and style work to create the right perception.

His most recent experience is managing the wayfinding programs for the City of Topeka Kansas and the City of Luverne Minnesota, both still in contract with Avia. He is currently engaged in the identity and wayfinding program for the City of Sturgeon Bay, Wisconsin which is in production and will be installed this spring. Also in-progress are the Scott County Regional Trail wayfinding system and Historic Fort Snelling interior and exterior signage, Past civic wayfinding systems include the Downtown Minneapolis Riverfront District, The Minnesota Zoo, The Landscape Arboretum in Chanhassen, City of Brooklyn Park, and the City of Aberdeen, SD.



### **Mike Voermans**

Digital Communications Developer

Mike will serve as the technical consultant. He has developed experiences for the Mississippi River Trail system as well as the City of Red Wing. Mike is also a Brooklyn Park resident.

Mike is the founder of Pixelsmith, a creative web development shop serving clients across the country. He has over 15 years of development experience and showcases well beyond traditional websites. He has developed digital experience enhancements for tradeshow, exhibits, lobbies, and sales tools. His focus is not only on performance and exceeding design expectations, but on the people who manage products after they're built. Mike speaks in easy-to-understand layman's terms and focuses on providing the best possible solutions for digital communications.

Whether the assignment is large or small, Mike thrives on making complex technological challenges simple and easy to navigate. Leveraging the tools available from APIs and mapping to metrics and CRMs, Mike's success in helping clients exceed their goals has earned him a solid reputation in the industry. He has created store locators, multilingual, multi-site (single admin controlling multiple sites), eCommerce, and many more. Pixelsmith has provided services for a variety of industries including healthcare, education, non-profit and fortune 500 companies.



### **Lara Sawzcak**

Graphic Designer  
& Production Manager

Lara will assist Michael and Todd with graphic design support tasks. She will help prepare presentation materials and final documentation.

Lara provides graphic design support and coordinates production for Avia. She produces presentation materials, brand guidelines and collateral templates that can be used by internal marketing departments to communicate a coordinated marketing message.

She produces and expedites signage standards manuals and assists other designers. For print and web media, she prepares final art files and expedites their deployment.

She has extensive schooling and two degrees in graphic design. She earned a Bachelor of Arts Degree in Graphic Design, while at Middlesex University, London, England. She attended Central Saint Martins School of Art, in London, England where she earned a Certificate of Graphic Design.

## PART 5 | BACKGROUND AND EXPERIENCE CONTINUED

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Since 2003, Avia, along with our strategic partners, have been providing a great product – Creativity. It is at the center of everything we do. Whether you call it “thinking out of the box,” “taking one step beyond” or simply “dancing on the edge of reality” it all adds up to one thing—Success. When we engage with a client, we aim for a long-term relationship. **The following is a partial list of our municipal and destination clients:**

- The Town of Canmore, AB
- The City of Leduc, AB
- The City of St. Albert, AB
- Vulcan County, AB
- Inside Passage, AK
- The City of Sitka, AK
- The Town of Foley, AL
- The City of Gulf Shores, AL
- The City of El Dorado, AR
- The City of Sedona, AZ
- Parksville Downtown, BC
- The City of Fullerton, CA
- The City of Oxnard, CA
- The City of Pittsburg, CA
- Russian River, CA
- Downtown Stockton, CA
- U.S. Capitol Campus, D.C.
- The City of Margate, FL
- The City of Wilton Manors, FL
- The City of Coral Springs, FL
- The City of Burlington, IA
- The City of Fairfield, IA
- The City of Topeka, KS
- Terrebonne Parish, LA
- Moosehead Lake, ME
- The City of Luverne, MN
- The City of Mankato, MN
- Downtown Great Falls, MT
- The Town of Kalispell, MT
- The Town of White River, MT
- The Town of Carrboro, NC
- Granville County, NC
- The City of Williston, ND
- Coos County, NH
- Hudson County, NJ
- The City of Barrie, ON
- The Town of Bracebridge, ON
- The Town of Kenora, ON
- Vermillion, ON
- Tillamook Coast, OR
- Lincoln City, OR
- The City of Rapid City, SD
- The City of Gatlinburg, TN
- The City of Bothell, WA
- The Town of Enumclaw, WA
- The City of Monroe, WA
- The City of Moses Lake, WA
- The City of Snoqualmie, WA
- The City of Tukwila, WA
- The City of Sturgeon Bay, WI
- The City of Janesville, WI
- The Town of Green River, WY
- The City of Rock Springs, WY
- West Arkansas Planning & Dev. District

**PART 5 | BACKGROUND AND EXPERIENCE CONTINUED****Brooklyn Park Experience**

Michael Haug has been a resident of Brooklyn Park for over 21 years, and previously was a resident of Brooklyn Center for ten. His wife, Diane, is the school secretary for Edinbrook Elementary and all three of their children graduated from Park Center High School.

Michael designed the new City Hall monument sign and is currently working with the city to update other city signage with the new brand. He has recently completed a Master Wayfinding Plan for North Hennepin Community College and designed the interior and exterior signage for the Target Northern Campus.



### Community Engagement Experience

Engaging the community—either during the design process or as a project goal—is part of many of our projects. Of the dozens of projects we have completed, 90% include some form of community engagement. This experience has given us an agile approach to community interaction resulting in successful public consensus within a range of challenging conditions.

#### Canmore, Alberta Wayfinding

- Held an initial collaborative workshop with the primary stakeholder group to review the assessment findings and preliminary visual schematics
- A public open house followed in where developed concepts were shared and comments were received.
- A final survey with revised concepts was issued to open house attendees for final comments prior to bid documentation.

#### North Hennepin Community College Wayfinding Strategy

- Design workshop with the Student Council and English Language Learners.
- Public presentation and student input session.

#### Regions Hospital Interior and Exterior Signage

- Series of design and strategy workshops with Patient Advisory Council
- Using the Hablamos Juntos universal pictograms for medical facilities, developed a series of icons for non-English speaking patients and visitors.

#### Minnesota Landscape Arboretum

- Built sign prototypes and created a survey handout for visitors to evaluate the new design, based on a set of predetermined criteria.

#### Topeka, Kansas Wayfinding System

- Held a Town Hall style presentation at a local park shelter. Afterwards, attendees were invited to fill out an evaluation form or post comments to an online forum.
- A second public presentation was held to unveil a working prototype of a vehicle guide sign to show progress and to allow final public input.

#### Russian River, CA Branding & Regional Wayfinding

- Conducted a progressive series of community presentations and collaborative workshops for both branding and wayfinding programs.

#### Moosehead Lake, Maine Regional Wayfinding

- Held two community presentation/workshops. The first was to present the assessment findings which facilitated community questions and input.
- The second workshop presented concepts and a wayfinding strategy where further community input was received and ultimate public buy-in was accomplished.
- Prototypes were erected to allow the community to see and react to the system before it was fully adopted and dedicated to implementation.

**PART 5 | BACKGROUND AND EXPERIENCE CONTINUED**

**Town of Canmore**

Alberta, Canada

Avia designed a wayfinding system to support a new brand for the Town of Canmore in Alberta.

The project included primary, secondary and district gateways, vehicular and pedestrian guides, bike and hiker trailblazers, parking guide and identity signs, regulatory signs, pedestrian directory maps, bike fix-it stations, identity monuments and guide signage for the Rocky Mountain Legacy Trail and temporary event signage.



## PART 5 | BACKGROUND AND EXPERIENCE CONTINUED

### US Botanic Garden

Washington DC

Avia, in conjunction with the Douglas Group DC office, developed identity, wayfinding and interpretive programs for the US Botanic Garden located next to the US Capitol in Washington, DC.

The scope included facility and exhibit identity signage, ADA compliant pedestrian guides, interpretive experiences, information kiosks with directory maps for two properties in the National Garden including the Conservatory (glass atrium) and the exterior gardens.



**PART 5 | BACKGROUND AND EXPERIENCE CONTINUED**

**City of Gulf Shores**

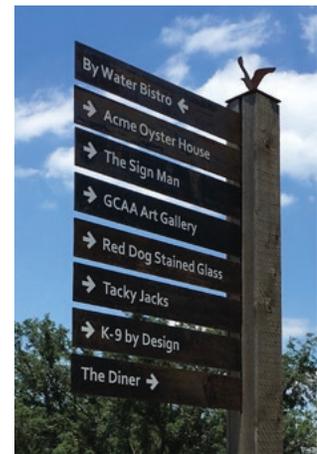
Alabama

Wayfinding | 2013 - 2015

Following the comprehensive branding initiative, a regional wayfinding program was designed for Gulf Shores.

The wayfinding program included full assessment and planning, stakeholder interviews and public outreach. The system included city and district gateways, vehicular and pedestrian guides, beach access identities, information kiosks, regulatory signage, street banners, street and intersection identity signs, facility identities and digital message displays.

Gulf Shores represents an on-going relationship of ours that has rendered several branding and wayfinding assignments beyond the original contract.



**PART 5 | BACKGROUND AND EXPERIENCE CONTINUED**

**City of Sturgeon Bay**

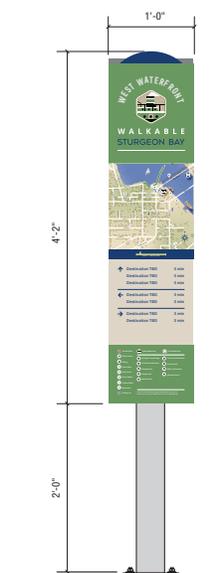
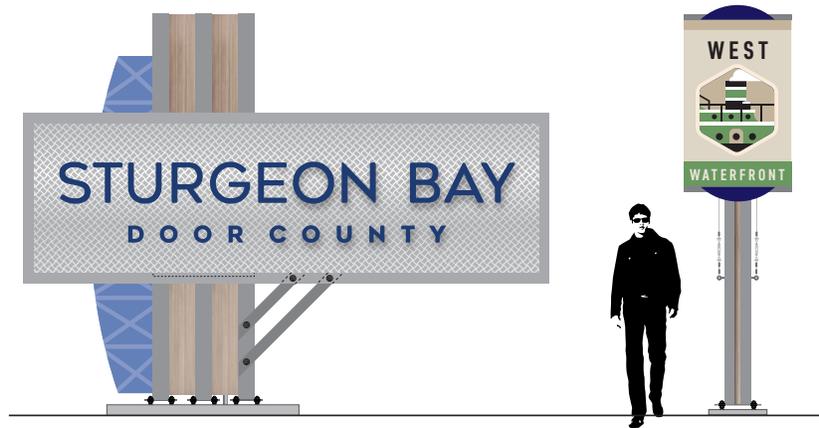
Wisconsin  
Wayfinding & Branding  
2019 - 2020

Avia recently completed a branded wayfinding program for Sturgeon Bay. The first phase of the project is currently being fabricated and will be installed this spring. The program included city and district gateways, vehicular guides, thematic parking identities and guides, pedestrian signage and a suite of fully articulated graphic elements including illustrated district maps.

One of the major obstacles visitors faced when visiting Sturgeon Bay, was the fact that the downtown retail area was split in half by the bay. A key feature of our wayfinding program was to clearly identify and direct drivers to the East and West Waterfront.

**Scope**

- Site Assessment
- Stakeholder Interviews
- Public Workshops
- Concept Generation
- Design Development
- Bid Documentation
- Production Oversight



**PART 5 | BACKGROUND AND EXPERIENCE CONTINUED**

**Sitka**

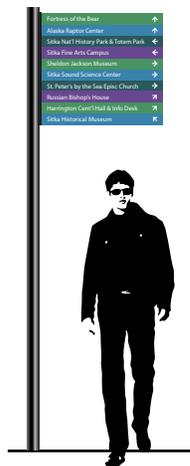
Alaska, USA

Avia developed community wayfinding system that provides pedestrians with an intuitive guidance system through the city and adjoining park trails. The system design features cultural aesthetics that support the Sitka brand and celebrates the indigenous culture and the historical Russian influence.

Avia worked with artisans from the Tlingit Tribe in order to respectfully incorporate visual elements of their totemic art.

**Scope**

- Brand Development
- Marketing Communications
- Site Assessment
- Stakeholder Interviews
- Strategic Planning
- Concept Generation
- Design Development
- Illustrated Map Design
- Presentations
- Final Pedestrian Wayfinding Plan
- Bid Documentation
- Production Oversight



**PART 5 | BACKGROUND AND EXPERIENCE CONTINUED**

**Luverne Wayfinding**

Luverne, Minnesota

Avia designed a vehicle and pedestrian wayfinding system for the City of Luverne, Minnesota, located in Rock County, just on the south edge of Blue Mounds State Park.

Last fall, Phase 1 of the vehicular guide sign were installed and Phase 2 will include the pedestrian guide signs and parking identification signs.

Currently we are designing trail signage and wayfinding plan for the Luverne Loop and Blue Mounds Bike Trails. As part of our assessment, we recommended they turn a vacant corner into a trailhead park, providing ample parking, amenities and easy walking distance to downtown shops and restaurants.



## PART 5 | BACKGROUND AND EXPERIENCE CONTINUED

**Minnesota Zoo**

Apple Valley, Minnesota

We designed an interior and exterior wayfinding system for the first phase of their entrance renovation.

The design of the exterior wayfinding signs and kiosks got their inspiration from banner posts already being used in the central plaza. Digital signage was incorporated into kiosks near the entrances to provide up-to-date schedules for events.

Because of the size of the site, our wayfinding strategy organized destinations into groups to make planning and navigating easier for families.



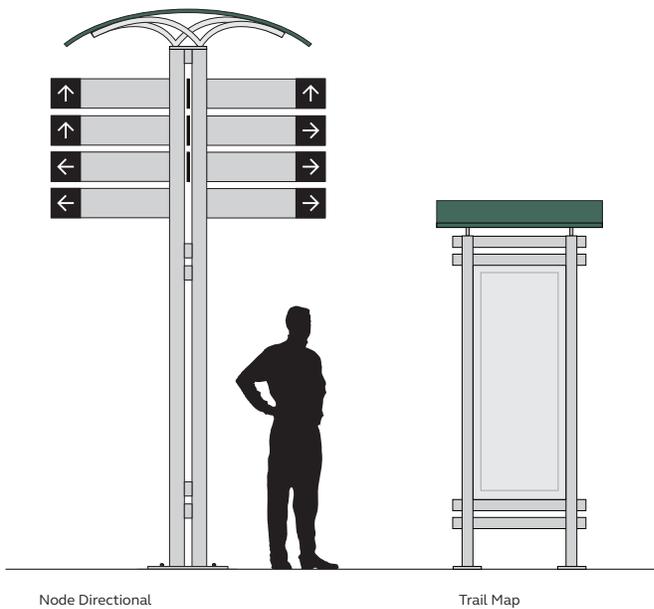
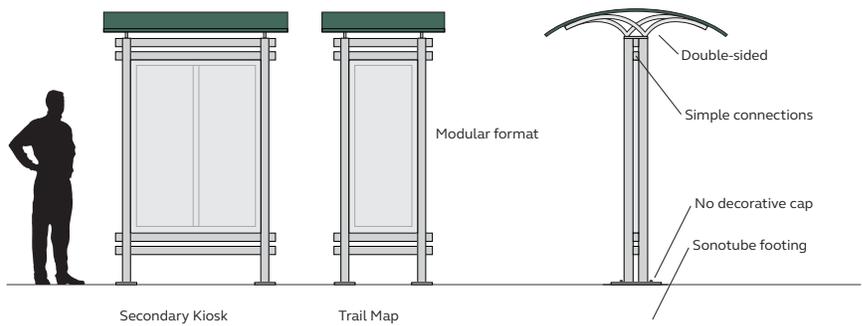
**PART 5 | BACKGROUND AND EXPERIENCE CONTINUED**

**Scott County Regional Trail**  
 Scott County, Minnesota

Another project that is still in-progress—but germane to your project—is the signage for the Scott County Regional Trail.

Scott County wanted a sign system that worked in tight relationship with the Three Rivers Park Trail System. But the cost and inflexibility of the Three Rivers system concerned them. We designed structures that were very similar, but were modular and had unique elements for branding. The new designs were less expensive to build and maintain, and the signs accommodated more information and allowed for better content flexibility.

Michael worked in partnership with Signia Design on this project.

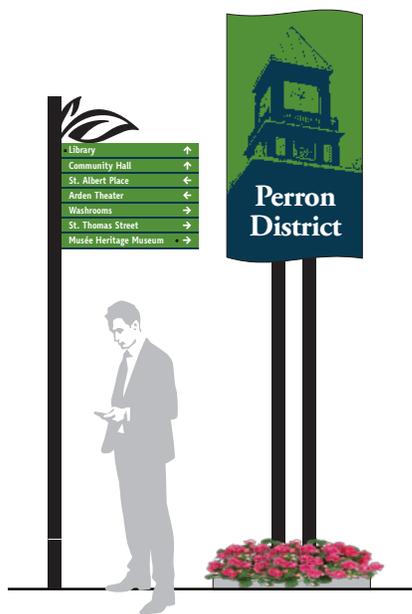


**PART 5 | BACKGROUND AND EXPERIENCE CONTINUED**

**City of St. Albert**

Alberta Canada

In collaboration with Roger Brooks International, Avia designed a brand supportive wayfinding program for the City of St. Albert. The program included a retail district gateway, vehicular and pedestrian guides, information kiosks, bike and walking trailblazers, parking guides, parking facility identification and a block numbering system.



## References

Please feel free to reach out to any of these references and we would be happy to supply many more.

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City of Gulf Shores, Alabama

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#### ***Wayfinding and Trail signage***

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### **Jennifer Wesselhoff**

President/CEO, CDME, Sedona Chamber  
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City of Sedona, Arizona

#### ***Wayfinding***

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Proposal for  
**City of Brooklyn Park City-wide  
Wayfinding Project**

**ADDENDUM**

May 6, 2020

**ADDENDUM | FOLLOW-UP QUESTIONS**

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**1 | Can you provide an example design specification for what the deliverable would be in Phase III – what you provide a fabricator?**

At the end of Phase 3 we will create a Design Specifications Document which is comprised of three companion documents. These will be used by qualified sign contractors to prepare fabrication and installation bids.

The companion documents include a Design Intent document that contains scaled drawings, general specifications, graphic specifications, colors and finishes schedule. It also includes fabrication details and installation information for each sign type in the final system. A Sign Location Plan will specify locations for every sign and indicate its orientation. It also includes general information per sign type such as the specified distance off the trail, minimum distance ahead of a decision point, and minimum distance between signs and other trail features. The Location Plan will be divided into Installation Phasing groups as determined by the team. Finally, a 10430 CSI Format will provide detailed written specifications for materials, products and performance expectations.

We have included a Bid Document package for the City of Sedona, AZ. This represents a comprehensive vehicular and pedestrian program which is an example of what would be provided to the sign fabrication vendor.

**2 | How would you go about getting cost estimates?**

Although we have ample pricing data collected from other projects that we use to begin forecasting costs, our approach is to reach out to one or more fabricators to help generate an Estimate of Probable Cost. Fabricators stay current with changing material costs and will be aware of new products and/or techniques that may reduce costs and simplify processes or improve on structural design. These estimates are collected and analyzed before the design is finalized. Depending on the resulting estimates, it will tell us if the design needs to be value-engineered to reduce costs or helps us determine which signs are segmented into installation phases over a given period of time.

In some cases a client has asked us to keep the organization name private as to not give a specific vendor(s) an advantage over others—especially for a public bidding process. In this case we use generic placeholder names, destinations and maps when working with vendors so as to not divulge the client name.

By using qualified sign companies to help us estimate the project, we have been able to provide much more accurate numbers than in-house estimating departments can—plus the added benefit of their advice and recommendations.

**3 | We see you have a digital communications developer on the team. How would you plan to use him and how would you plan to incorporate technology into this project?**

Mike Voermans is the Principle of Pixelsmith, and has worked on projects that deal with the integration of technology and spaces. Mike will act as a consultant on our team to provide advice as to how best to incorporate technology. He will be involved early to learn about what types of systems and content you already have in place, evaluate the options, and provide practical advice.

An important aspect will be determining the needs of the users. Technology can get expensive quickly, so you want to be efficient with its use and focus on the needs of trail users. Below are three approaches for how to make technology useful for people out on the trail.

> Link to an existing web page: A simple URL or QR code would link to a page that already exists, such as the Parks information page or the Eidem Farm page on your website.

> Link to a new web page that is tuned to a trail user. This approach would use content that already exists on your website, but set up to be more useful to someone out on the trail or in a park. Trail information, park information, park events, trail closures would all be pushed to the top of the page and use graphic icons to make it easy for someone using a mobile device. Down the page would be other information such as park hours, park shelter rental, park adoption, etc.

> Create a customized map. Using a Google map as the base, we can create a customized map that highlights the trails, parks and amenities. For example, the trail pathway can be made thicker and in a bright color so it is easier to see and follow. Park locations can be pre-loaded and highlighted. Even better, custom map icons can highlight things a standard Google map doesn't show: restrooms, water fountains, playgrounds, park shelters, etc. This custom map would be far more useful to people out on the trail than the regular Google map app.

These are a few of the less expensive solutions. As we delve into the project, we will research additional resources that will meet the needs of your users—efficiently and effectively.

**4 | Can you submit a revised timeline and community engagement plan, based on our delay in making a decision and COVID?**

Following is our revised schedule which includes is a longer period for community engagement and to accommodate COVID-19 challenges. We also understand from our interview that the city has many projects in the works and that other park projects may dictate the sign installation schedule. Our fees will not change due to length of the project timeline.

Once we are engaged to begin the project, our first task will be to work with you in establishing a detailed project schedule with key milestones, meeting dates and deliverable due dates. We will hard to accommodate your needs and are able to work aggressively toward project deadlines.

If we extend this project through February of 2021, you can expect that the installation of the first phase of signs would occur mid to late summer.

If you hope to install the first phase of signs in spring of 2021, we recommend wrapping up this project by the end of the year or early January 2021. This will allow you time for the bidding process, shop drawing review, material procurement, fabrication and installation of the signs.

**ADDENDUM | FOLLOW-UP QUESTIONS**

PROJECT SCHEDULE				
<b>Phase 1</b> 17 wks*	<b>Program Development</b> Kick-off Meeting Schedule Planning Site Review Staff Workshop Content Review Preliminary Location Plan	June wk 1 wk 2 wk 3 wk 4		
	Community Engagement Planning	<b>Deliverable:</b> Community Engagement Plan July wk 1 wk 2 wk 3 wk 4 wk 5		
	Citizen Commission Workshops	<b>August</b> wk 1 wk 2 wk 3 wk 4		
	Community Engagement Exercise	<b>Deliverable:</b> Program Assessment Summary		
	Sign Schematic Content Organization Wayfinding Strategy Staff Review	<b>September</b> wk 1 wk 2 wk 3 wk 4 <b>Deliverable:</b> Program Development Document		
	<b>Phase 2</b> 12 wks*	Design Concepts Staff Review Budget Review	<b>October</b> wk 1 wk 2 wk 3 wk 4 <b>Presentation:</b> Design Concept	
		Design Development Staff Review Commission Review Community Engagement Planning	<b>November</b> wk 1 wk 2 wk 3 wk 4	
		Community Engagement	<b>December</b> wk 1 wk 2 wk 3 wk 4 <b>Deliverable:</b> Design Development Summary	
		<b>Phase 3</b> 8 wks*	Specifications Drawings and Location Plan Cost Update and Staff Review Phasing Plan	<b>January</b> wk 1 wk 2 wk 3 wk 4 <b>Deliverable:</b> Design Specifications Document
			City Council Presentation Changes and Updates	<b>February</b> wk 1 wk 2 wk 3 wk 4 <b>Presentation:</b> City Council
Master Plan	<b>Deliverable:</b> Master Plan Document			

\*Detailed project timeline and duration per task will be established with your input to accommodate needs and schedules.

**ADDENDUM | FOLLOW-UP QUESTIONS**

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**5 |** If in the finalization of the community engagement plan, we wanted to bring in another consultant/sub to complete that work (for an additional fee), would you be open to that?

Yes, we often work with other groups on various aspects of a project. Especially when they have a specific expertise or a strong working relationship with a client. We could work with this group to ensure we are getting what we need from the community; their insight and perspective.

# **4.1 Consider Approving Professional Services Agreement with Avia Design Group, Inc.**

Breanne Rothstein, Economic Development and Housing Director

# What is Wayfinding?

- A linked suite of signs that provide information on location and directional information on a wide variety of community amenities - trails, commercial nodes, and key community destinations
  - Example – Three Rivers Park District
- Incorporates existing City efforts in changing out signage and the Bottineau LRT corridor wayfinding project



# Why do this project?

- Park System Survey results and Station Area planning call for wayfinding
- Park Bond commits funds to wayfinding
- Signage promotes brand/identity
- Highlights community assets and creates connectivity (BLRT)

# Background

- February 18: EDA commissioners authorized staff to issue an RFP for a wayfinding project consultant
- February 21: Citywide wayfinding RFP released
- March 9: Pre-bid conference meeting held
- March 27: Applications due, 10 proposals received

# Criteria used to evaluate proposals

- Develops a citywide wayfinding system design plan that:
  - Incorporates the city's existing brand
  - Aligns with cities equity priorities
  - Relatively low cost to install and maintain
- Focuses on the needs of both recreational users and residents
- Coordinates with the Bottineau Corridor work
- Compatible with adjacent communities' and regional partners' wayfinding
- Allows for technology transfer

# Why was Avia Design Group selected?

- Broad range of wayfinding plan development and implementation
- Local presence
- Strong timeline and concise process
- Competitive pricing
- Professional experience in community engagement in a diverse community

# Project schedule

- **May 26, 2020:** Award bid with City Council approval
- **June 2020:** Kick-off meeting by consultant with staff
- **July 2020:** Community engagement process begins
- **August 2020:** Community review of recommendations
- **September 2020:** Plan development
- **2021:** Project implementation

# Budgetary/fiscal issues

- Proposed selected contract falls well below the estimated project cost of \$100,000
  - Funding is proposed to come equally from park bond funding included in the City's Capital Improvement Program (CIP) and the EDA
- Future implementation funding will likely be needed
  - CIP for park-related wayfinding projects currently includes \$250,000 programmed for 2021 and \$150,000 programmed for 2022

# City Council action tonight

- Consider Approving Professional Services Agreement with Avia Design Group, Inc. in the Amount of \$68,500 to Provide Master Program Development, Design Development and Design Specifications for the Wayfinding Project
- Authorize the City Manager to execute a professional services agreement with Avia Design Group, Inc.

# City of Brooklyn Park Request for Council Action

<b>Agenda Item:</b>	4.2	<b>Meeting Date:</b>	May 26, 2020
<b>Agenda Section:</b>	Consent	<b>Originating Department:</b>	Community Development
<b>Resolution:</b>	N/A	<b>Prepared By:</b>	JoAnn Millette, Development Specialist
<b>Ordinance:</b>	N/A		
<b>Attachments:</b>	N/A	<b>Presented By:</b>	Cindy Sherman, Planning Director
<b>Item:</b>	Letters of Credit/Bond Releases, Escrow/Cash Bond Releases		

## City Manager's Proposed Action:

MOTION \_\_\_\_\_, SECOND \_\_\_\_\_, TO REDUCE THE VILLAGE BANK ON AND OFF-SITE LETTER OF CREDIT #40002257/510 FROM \$146,800 TO \$37,400 FOR SATISFACTORY PROGRESS OF THE "SAMARA CIRCLE" PROJECT #18-104 LOCATED AT 7630 AND 7646 RIVERDALE DR N FOR AJ CONSTRUCTION /JOSH AND JOHN AHLQUIST.

The City will continue to hold a cash bond in the amount of \$7,600 and an engineering escrow in the amount of approximately \$5,300 until the engineering punch list is completed and landscape turf is established.

**Primary Issues/Alternatives to Consider:** N/A

**Budgetary/Fiscal Issues:** N/A

**Attachments:** N/A

# City of Brooklyn Park Request for Council Action

<b>Agenda Item:</b>	4.3	<b>Meeting Date:</b>	May 26, 2020
<b>Agenda Section:</b>	Consent	<b>Originating Department:</b>	Operations and Maintenance Engineering Services Division
<b>Resolution:</b>	X	<b>Prepared By:</b>	Jesse Struve, P.E., City Engineer
<b>Ordinance:</b>	N/A		
<b>Attachments:</b>	3	<b>Presented By:</b>	Jesse Struve
<b>Item:</b>	Accept Bids and Award Contract for 93 <sup>rd</sup> Avenue Reconstruction, CIP 4054-20		

## City Manager's Proposed Action:

MOTION \_\_\_\_\_, SECOND \_\_\_\_\_, TO WAIVE THE READING AND ADOPT RESOLUTION #2020-\_\_\_\_ ACCEPTING BIDS AND AWARDING CONTRACT IN THE AMOUNT OF \$1,572,514.02 TO NORTHWEST ASPHALT, INC. OF SHAKOPEE, MN FOR 93<sup>RD</sup> AVENUE RECONSTRUCTION, CIP 4054-20.

## Overview:

On December 9, 2019, the City Council authorized staff to reconstruct 93<sup>rd</sup> Avenue from Zane Avenue to Regent Avenue in 2020. The main goals of the project are to reduce speed along 93<sup>rd</sup> Avenue, provide a sidewalk between Zane Avenue and Regent Avenue, and provide a multi-use path from Zane Avenue to Noble Parkway. Staff and the consulting engineers analyzed numerous layouts and narrowed these down to two options. Ultimately, on February 10, 2020, the City Council directed staff to move forward with a 6' wide sidewalk along the north side of 93<sup>rd</sup> Avenue, and to place a 10' multiuse path on the south side.

Bids were electronically opened on May 12, 2020, with twelve bids received. Bids ranged from \$1,572,514.02 to a high of \$2,010,735.75. The lowest responsible bidder is Northwest Asphalt, Inc. They have been a responsible prime contractor and subcontractor on numerous paving projects in the City of Brooklyn Park for both public and private projects. The 2020-2024 Capital Improvement Plan includes \$3,240,000 for the project.

**Primary Issues/Alternatives to Consider:** N/A

## Budgetary/Fiscal Issues:

The project was included in the adopted 2020-2024 Capital Improvement Plan (CIP) for a scheduled 2020 completion as Project No. 4054-20 with an estimated cost of \$3,240,000. During the 2020 Budget process, City Council made the decision to reallocate \$290,000 from the Economic Development Authority (EDA), Housing and Redevelopment Authority, Heritage Funds, and Contingency fund for the expected cost in 2020. The remaining balance of the project was to be funded by an interfund loan between the City and the EDA for a 15-year period.

Staff will recommend how to fund this project during the budget process this fall. If a loan is still a recommendation, estimated yearly payments could range from \$114,000 to \$191,000 depending on duration (10 or 15 years) and interest rate applied (0%, 1%, or 2%).

## Attachments:

- 4.3A RESOLUTION
- 4.3B LOCATION MAP
- 4.3B BOLTON & MENK AWARD LETTER

RESOLUTION #2020-

RESOLUTION ACCEPTING BIDS AND AWARDING CONTRACT  
TO NORTHWEST ASPHALT, INC. OF SHAKOPEE, MINNESOTA  
FOR 93<sup>RD</sup> AVENUE RECONSTRUCTION, CIP 4054-20

WHEREAS, the City Engineer has prepared plans and specifications for the following improvements to wit:

CIP 4054-20: Reconstruction of 93<sup>rd</sup> Avenue between Zane Avenue and Regent Avenue, trail construction on 93<sup>rd</sup> Avenue between Regent Avenue and Noble Parkway. The project will include curb and gutter replacement, pedestrian curb ramp upgrades (to meet current ADA standards), sidewalk on the north side of 93<sup>rd</sup> from Zane Avenue to Regent Avenue and a trail on the south side of 93<sup>rd</sup> Avenue from Zane Avenue to Noble Parkway and storm sewer construction and new street section.

Bids were received, opened, and tabulated according to law and the following bids were received complying with the advertisement:

<u>BIDDER</u>	<u>TOTAL AMOUNT OF BID</u>
NORTHWEST ASPHALT	\$1,572,514.02
NEW LOOK CONTRACTING	\$1,598,137.00
PETERSON COMPANIES	\$1,648,939.32
NORTH PINE AGGREGATE	\$1,700,016.20
VEIT & COMPANY	\$1,731,664.85
PARK CONSTRUCTION COMPANY	\$1,844,095.91
MAX STEININGER	\$1,858,091.22
NORTHDAL CONSTRUCTION	\$1,928,588.94
VALLEY PAVING	\$1,934,578.00
DRESEL CONTRACTING	\$1,958,674.47
FOREST LAKE CONTRACTING	\$1,997,000.40
RAMSEY COMPANIES	\$2,010,735.75
Engineer's Estimate	\$2,000,000.00

and;

WHEREAS, the City Manager recommends award of contract to Northwest Asphalt, Inc of Shakopee, MN as the lowest responsible bidder.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park.

1. The Mayor and Manager are hereby authorized and directed to enter into a contract with Northwest Asphalt, Inc. of Shakopee, MN in the name of the City of Brooklyn Park for the improvements aforesaid according to the plans and specifications thereof approved by the Council and on file in the office of the City Clerk.

# LOCATION MAP

## CIP 4054-20



 **STREET, TRAIL AND SIDEWALK PROJECT**  
 **TRAIL PROJECT**



NO SCALE



Real People. Real Solutions.

Ph: [952] 448-8838

Fax: [952] 448-8805

Bolton-Menk.com

May 12, 2020

City of Brooklyn Park  
Attn: Jesse Struve, P.E.  
5200 85th Ave. N.  
Brooklyn Park, MN 55443

**RE: 93<sup>rd</sup> Avenue Reconstruction Project - Award Recommendation Letter**

Honorable Mayor and City Council Members:

Bids were received for the above referenced project on May 12, 2020. Twelve bids were received and are tabulated below. The low bid was submitted by Northwest Asphalt, Inc. from Shakopee, MN.

CONTRACTOR	TOTAL AMOUNT BID
Northwest Asphalt	\$1,572,514.02
New Look Contracting	\$1,598,137.00
Peterson Companies	\$1,648,939.32
North Pine Aggregate	\$1,700,016.20
Veit & Company	\$1,731,664.85
Park Construction	\$1,844,095.91
Max Steininger	\$1,858,091.22
Northdale Construction	\$1,928,588.94
Valley Paving	\$1,934,578.00
Dresel Contracting	\$1,958,674.47
Forest Lake Contracting	\$1,997,000.40
Ramsey Companies	\$2,010,735.75

Evaluation of the bids indicates the bidding process was very competitive. The low bid submitted was approximately 21% below the engineer's estimated amount of \$2,000,000.00 and 22% below the high bid of \$2,010,735.75.

Northwest Asphalt, Inc. has successfully completed projects of this type in the past and have shown themselves to be a responsible contractor. Based on the items above, we recommend the City award a contract in the amount of **\$1,572,514.02** to Northwest Asphalt, Inc.

Respectfully Submitted,

**Bolton & Menk, Inc.**

**Joshua Eckstein, P.E.**

Project Engineer

# City of Brooklyn Park Request for Council Action

<b>Agenda Item:</b>	6.1	<b>Meeting Date:</b>	May 26, 2020
<b>Agenda Section:</b>	Land Use Actions	<b>Originating Department:</b>	Community Development
<b>Resolution:</b>	X	<b>Prepared By:</b>	Todd A. Larson, Senior Planner
<b>Ordinance:</b>	N/A		
<b>Attachments:</b>	6	<b>Presented By:</b>	Cindy Sherman, Planning Director
<b>Item:</b>	Edinburgh Centre ATM (Reed Burdine) – Conditional Use Permit #20-107 for a Remote Drive-Thru ATM at 8549 Edinburgh Centre Drive North		

## City Manager's Proposed Action:

MOTION \_\_\_\_\_, SECOND \_\_\_\_\_, TO WAIVE THE READING AND ADOPT RESOLUTION #2020-\_\_\_\_ APPROVING A CONDITIONAL USE PERMIT FOR A DRIVE-THRU AUTOMATED TELLER MACHINE AT 8549 EDINBURGH CENTRE DRIVE.

## Planning Commission Recommendation:

At its meeting on May 13, 2020, the Planning Commission unanimously recommended approval of the conditional use permit (CUP) with the conditions that are listed in the attached resolution.

## Overview:

The applicant, on behalf of Chase Bank, is proposing a stand-alone automated teller machine (ATM) drive-thru in the parking lot at Edinburgh Festival Center. The proposed ATM and drive lanes would replace nine parking spaces along the northern edge of the parking lot east of the Dollar Tree store. This is a seldom-used area of the parking lot and removal of these spaces will not be detrimental to the site or the businesses. Drive-thrus are permitted, subject to a conditional use permit (CUP).

The site alterations include adding a concrete island and bollards to protect the ATM. A new light pole will be added to the island. New curbing will be installed to define the drive-thru exit. The applicant stated that these ATMs typically see around 100 users per day and that the two stacking spaces shown should not create any negative back-ups.

**Budgetary/Fiscal Issues:** N/A

## Alternatives to consider:

1. Approve the CUP as recommended by the Planning Commission.
2. Approve the CUP with modifications.
3. Deny the CUP based on certain findings.

## Attachments:

- 6.1A RESOLUTION
- 6.1B LOCATION MAP
- 6.1C PLANNING AND ZONING INFORMATION
- 6.1D EMAIL FROM NEIGHBOR
- 6.1E PLANNING COMMISSION MINUTES
- 6.1F PLANS

RESOLUTION #2020-

RESOLUTION APPROVING A CONDITIONAL USE PERMIT  
FOR A DRIVE-THRU AUTOMATED TELLER MACHINE  
AT 8549 EDINBURGH CENTRE DRIVE

Planning Commission File #20-107

WHEREAS, an application has been made by Mr. Reed Burdine of RMTA for a Conditional Use Permit under the provisions of the City Code on property legally described as:

*Lot 2, Block 1, Edinburgh Centre Second Addition, Hennepin County, Minnesota*

WHEREAS, the Edinburgh Festival Centre has several conditional use permits pertaining to retail, restaurant, and service uses and the proposed use supports those businesses; and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission who held the public hearing on May 13, 2020.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park:

The Conditional Use Permit for a drive-thru automated teller machine (ATM) is hereby approved with the following conditions:

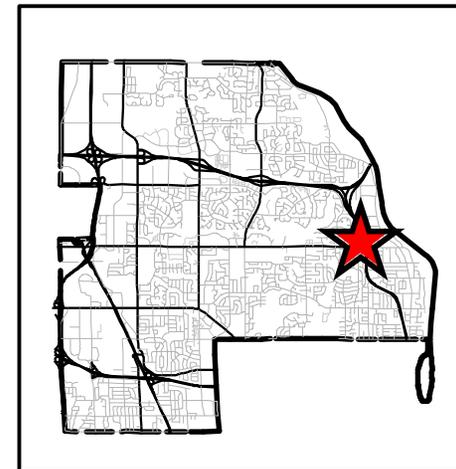
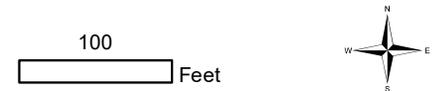
1. Per site and civil plans dated 04-23-2020.
2. After construction, sod must be planted in the areas disturbed.

This Conditional Use Permit (CUP) Resolution must be recorded with the Hennepin County Recorder's office. The CUP expires one year from the date of City Council approval unless all conditions are met.

**Conditional Use Permit #20-107 Chase Bank  
8549 Edinburg Centre Drive N.**



Spring 2018 Air Photo.



Map Date April 10, 2020

Land Use Plan	Community Commercial
Current Zoning	Planned Community Development District (PCDD)
Surrounding Zoning	All Sides – Planned Community Development District (PCDD)
Neighborhood	Edinburgh
Lot Area	7.7 acres
Conforms to:	
Land Use Plan – Yes	
Zoning Code – Yes	
Variances Needed – None	
Public Notification	65 Mailed Notices SunPost Legal Notices Neighborhood Update Email – Edinburgh and Norwood



Photo 1. The area of the proposed ATM (May 11, 2020).

From: steve palmberg  
Sent: Saturday, May 9, 2020 11:16 AM  
To: Todd Larson

Thumbs up on proposed ATM at Edinburgh Festival centre

Steven Palmberg  
8156 James ave n  
Brooklyn Park MN 55444  
Sent from Yahoo Mail on Android

**MINUTES OF THE BROOKLYN PARK PLANNING COMMISSION**  
**Regular Meeting – May 13, 2020**  
Unapproved Minutes

**1. CALL TO ORDER/SWEAR IN NEW MEMBERS**

The meeting was called to order at 7:00 PM.

Chair Kisch swore in Commissioner Erin Aarestad.

Chair Kisch swore in Commissioner Christian Muvundamina.

**2. ROLL CALL/PLEDGE OF ALLEGIANCE**

Those present were: Commissioners Aarestad, Herbers, Husain, Kiekow, Kisch, Mohamed, Morton-Spears, Muvundamina, and Vosberg; Planning Director Sherman; Planning Program Assistant Davis.

Those not present were: Council Liaison Russell; Senior Planner Larson.

**6. PUBLIC HEARING**

**A. Edinburgh Festival Centre ATM (Reed Burdine) – Conditional Use Permit #20-107 for a remote drive-thru ATM at 8549 Edinburgh Centre Drive North.**

Planning Director Sherman introduced the application for a Conditional Use Permit that will allow for a remote drive-thru ATM at Edinburgh Centre. The ATM will create a minimum impact to the overall parking lot as it will take up approximately 8 parking stalls located on the edge of the parking lot. She explained modifications will include new curbing and striping will be provided for directional signs. Staff recommends approval.

Reed Burdine, representative of JP Morgan Chase Bank, introduced himself to the Commission for questions.

Chair Kisch open and closed the public hearing explaining no one registered to speak on this item. He explained comments from the public can still be submitted via email to City Staff, and those comments will be passed on to the City Council for consideration.

Commissioner Herbers asked how the applicant estimated 100 users a day to be accommodated by 2 stacking spaces. He asked if the ATM would only be open to Chase customers.

Reed Burdine explained the estimate was based on data collection in recent years from existing ATMs. He said the ATM will be open to anyone who would like to use it.

Commissioner Morton-Spears commented that she thinks this will be a nice addition as that area does not yet have a bank.

Chair Kisch asked City Staff and the applicant if there is a concern about stacking overflowing into the main roadway if there are ever more than 2 cars at the same time.

Planning Director Sherman explained 100 users over 24 hours is actually very little use, the drive aisle is wide enough to accommodate multiple vehicles, so there are no concerns that more stacking space is needed.

**MOTION HERBERS, SECOND VOSBERG TO RECOMMEND APPROVAL OF CONDITIONAL USE PERMIT #20-107 FOR A DRIVE-THRU ATM AT 8549 EDINBURGH CENTRE DRIVE NORTH, SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION. *MOTION CARRIED UNANIMOUSLY.***



2000 SHAWNEE MISSION PARKWAY  
 STE 100 MISSION WOODS, KS 66205  
 TEL 816 502 1500 FAX 816 842 1878

PROJECT

# JP MORGAN CHASE ATM - SITE PLAN

8595 Edinburgh Center Dr  
 Brooklyn Park, MN 55443

NORTH FACING - (8 STALLS / 1413 SQ. FT.)

PROJECT NUMBER  
 2019033.078

SHEET AUTHOR  
 TEM

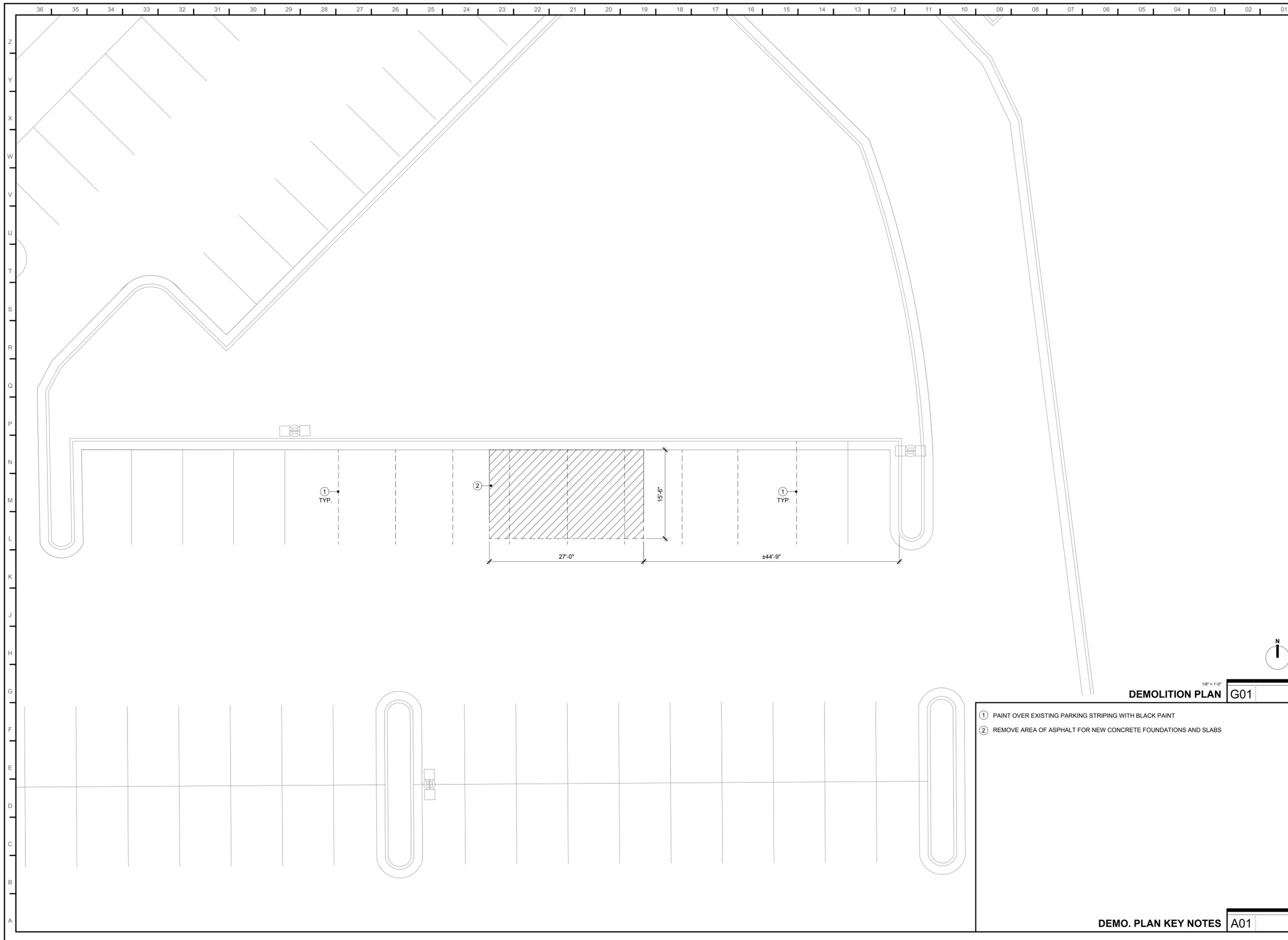
DATE  
 APRIL 23, 2020

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SHEET NUMBER

# A01

RMTA.BIZ



**GOLDEN SANDS**  
GENERAL CONTRACTORS



2000 SHAWNEE MISSION PARKWAY  
STE 100 MISSION WOODS, KS 66205  
TEL 816 502 1500 FAX 816 842 1878

MATTHEW MASILONS - ARCHITECT  
MINNESOTA # 41791

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Other drawings and specifications attached for the above-mentioned project have been by and are the responsibility of the licensed engineer whose stamp and firm appear on that sheet.  
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PROJECT  
**EDINBURGH PARKWAY & 85th AVENUE N. DRIVE-UP ATM**

8595 EDINBURGH CENTER DR  
BROOKLYN PARK, MINNESOTA 55443

SHEET TITLE  
**DEMOLITION PLAN**

PROJECT NUMBER  
2019033 078

SHEET AUTHOR  
TEM

CHECKED BY  
RAB

DATE  
MARCH 12, 2020

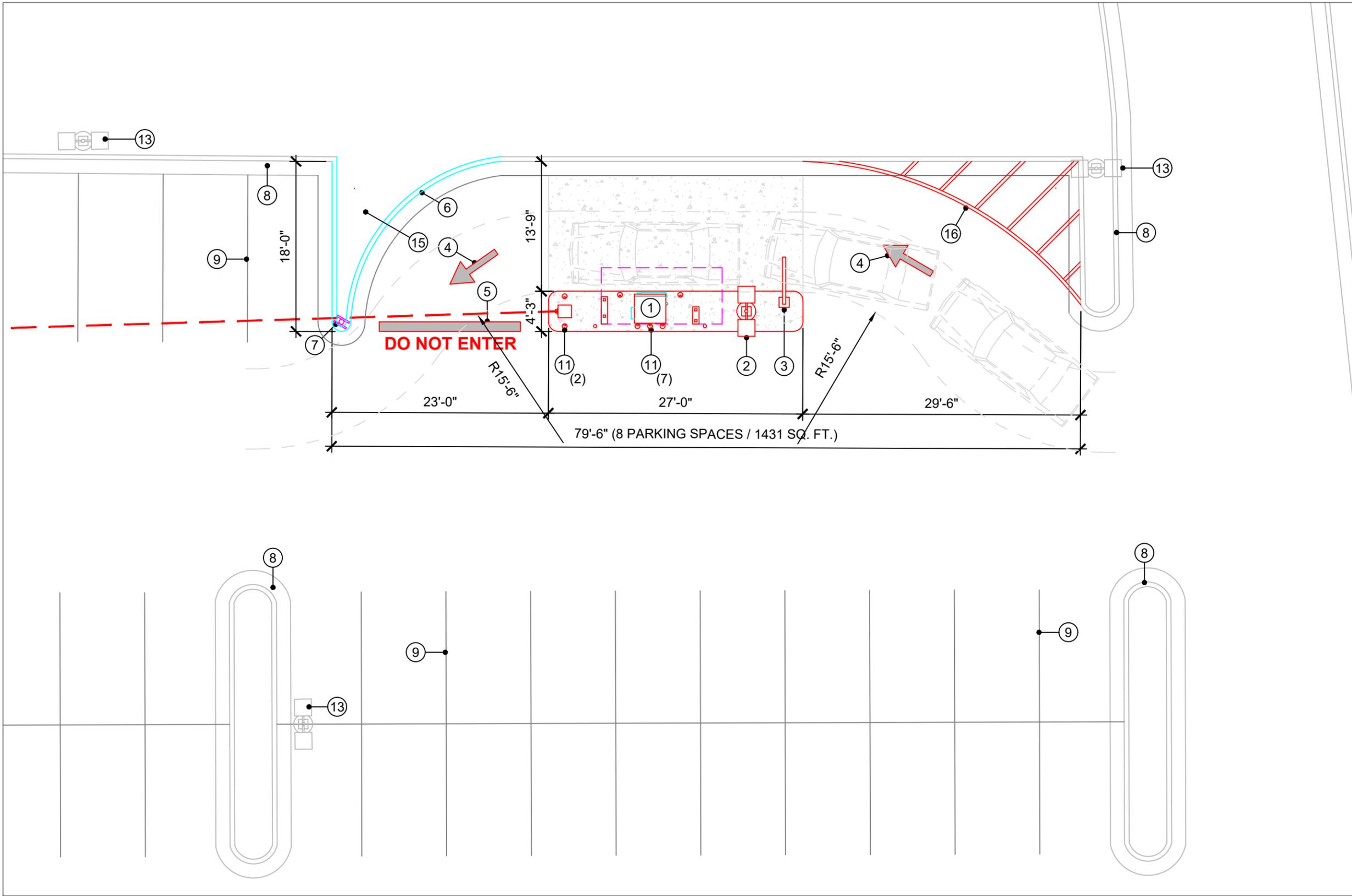
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SHEET NUMBER  
**A10**  
RMTA.BIZ

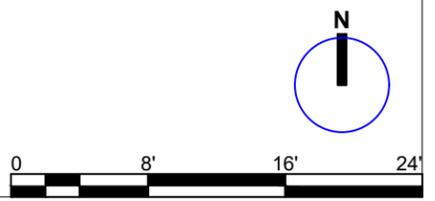
1/8" = 1'-0"  
**DEMOLITION PLAN G01**

- ① PAINT OVER EXISTING PARKING STRIPING WITH BLACK PAINT
- ② REMOVE AREA OF ASPHALT FOR NEW CONCRETE FOUNDATIONS AND SLABS

**DEMO. PLAN KEY NOTES A01**



- ① LOCATION OF NEW DRIVE-UP MACHINE AND CANOPY
- ② LIGHT STANDARD
- ③ CLEARANCE BAR
- ④ PAINTED DIRECTIONAL ARROW
- ⑤ PAINTED STOP STRIPE AND "DO NOT ENTER"
- ⑥ NEW CURB AND GUTTER
- ⑦ DIRECTIONAL SIGNS/BOLLARD
- ⑧ EXISTING CURB AND GUTTER
- ⑨ EXISTING PARKING STRIPING
- ⑩ EXISTING POWER POLE
- ⑪ SECURITY BOLLARD(S)
- ⑫ EXISTING PLANTINGS
- ⑬ EXISTING LIGHT STANDARD
- ⑭ EXISTING SIDEWALK
- ⑮ NEW SOD LANDSCAPING
- ⑯ NEW REFLECTIVE STRIPING



PROJECT  
**JP MORGAN CHASE ATM - ENLARGED SITE PLAN**  
 NORTH FACING - (8 STALLS / 1431 SQ. FT.)

8595 Edinburgh Center Dr  
 Brooklyn Park, MN 55443

SCALE 3/32" = 1'-0"

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SHEET AUTHOR TEM	SHEET NUMBER <b>A02A</b>
DATE APRIL 23, 2020	

RMTA.BIZ





MATTHEW MASLONIS - ARCHITECT  
MINNESOTA # 41791

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PROJECT  
**EDINBURGH PARKWAY & 85th AVENUE N. DRIVE-UP ATM**

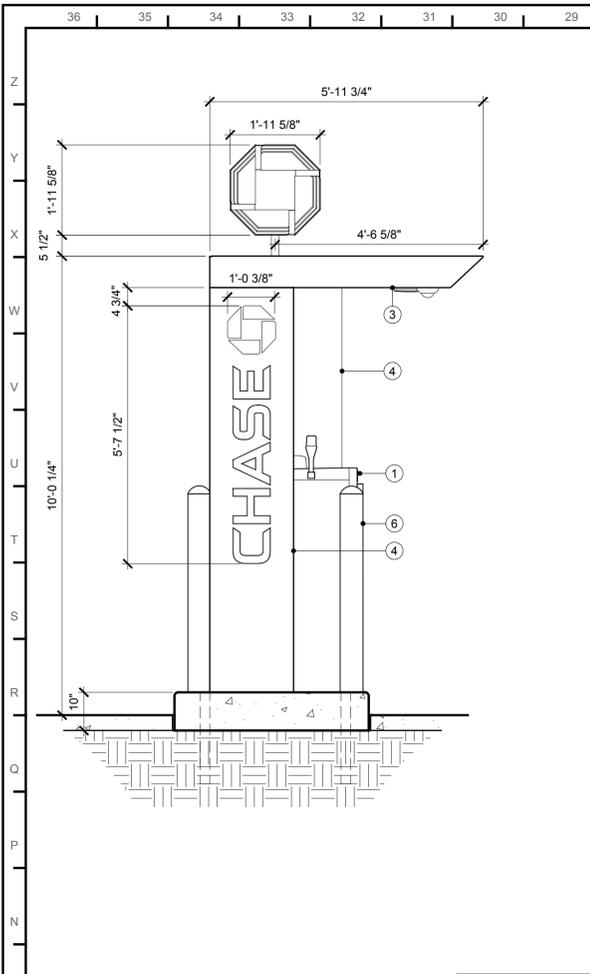
8595 EDINBURGH CENTER DR  
BROOKLYN PARK, MINNESOTA 55443

SHEET TITLE  
**ELEVATIONS**

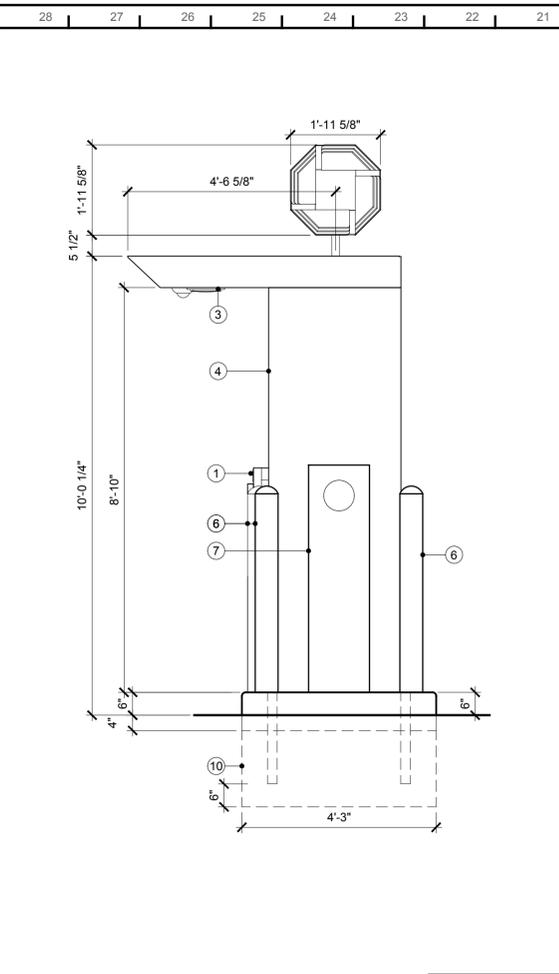
PROJECT NUMBER  
2019033 078  
SHEET AUTHOR  
TEM  
CHECKED BY  
RAB  
DATE  
MARCH 12, 2020

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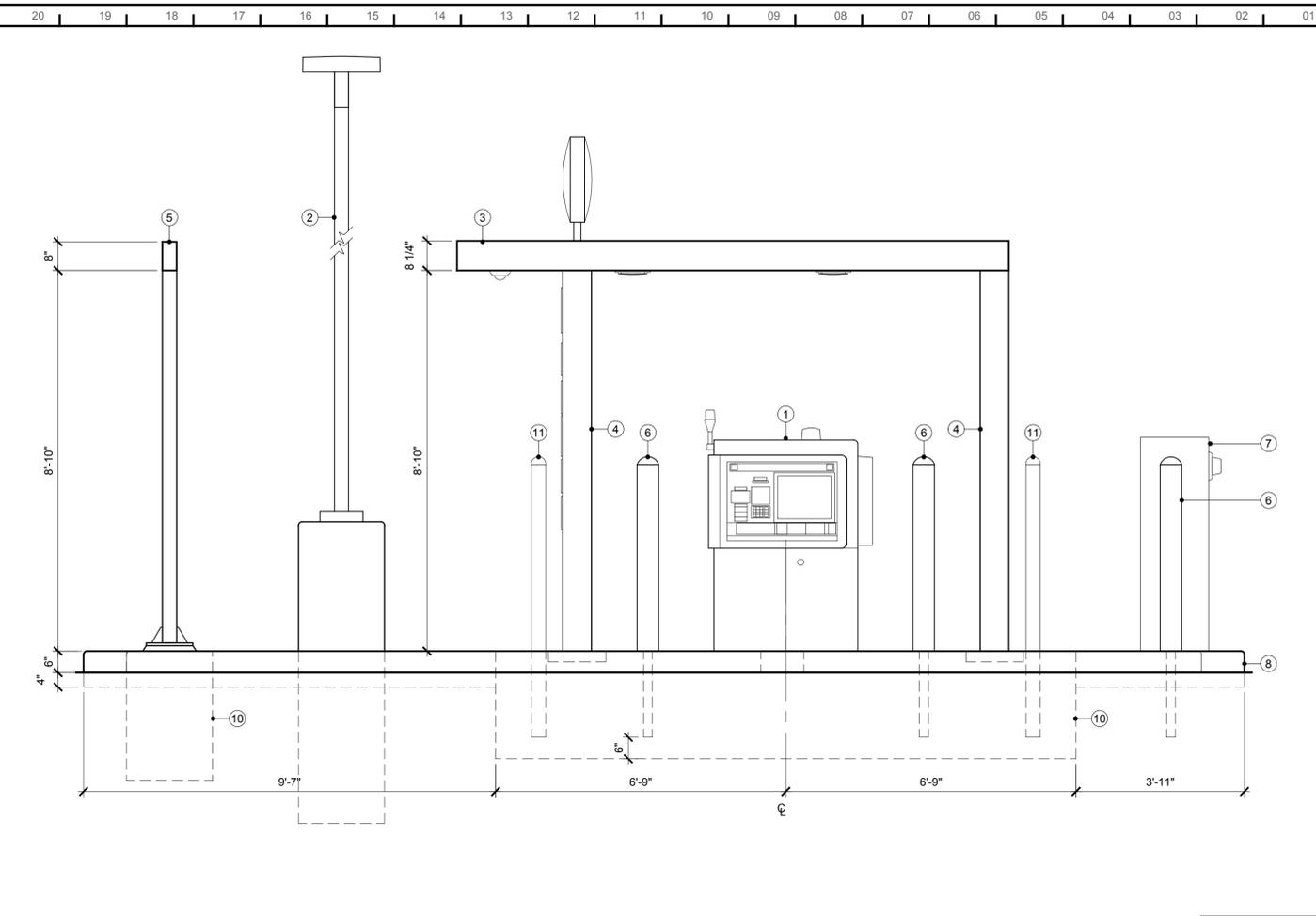
SHEET NUMBER  
**A21**  
RMTA.BIZ



ISLAND (ENTRY) SIDE SECTION M29



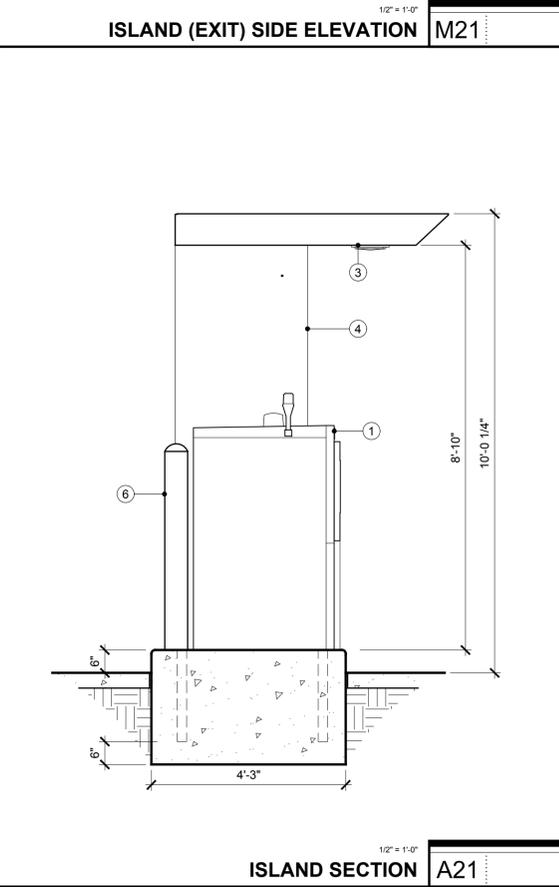
ISLAND (EXIT) SIDE ELEVATION M21



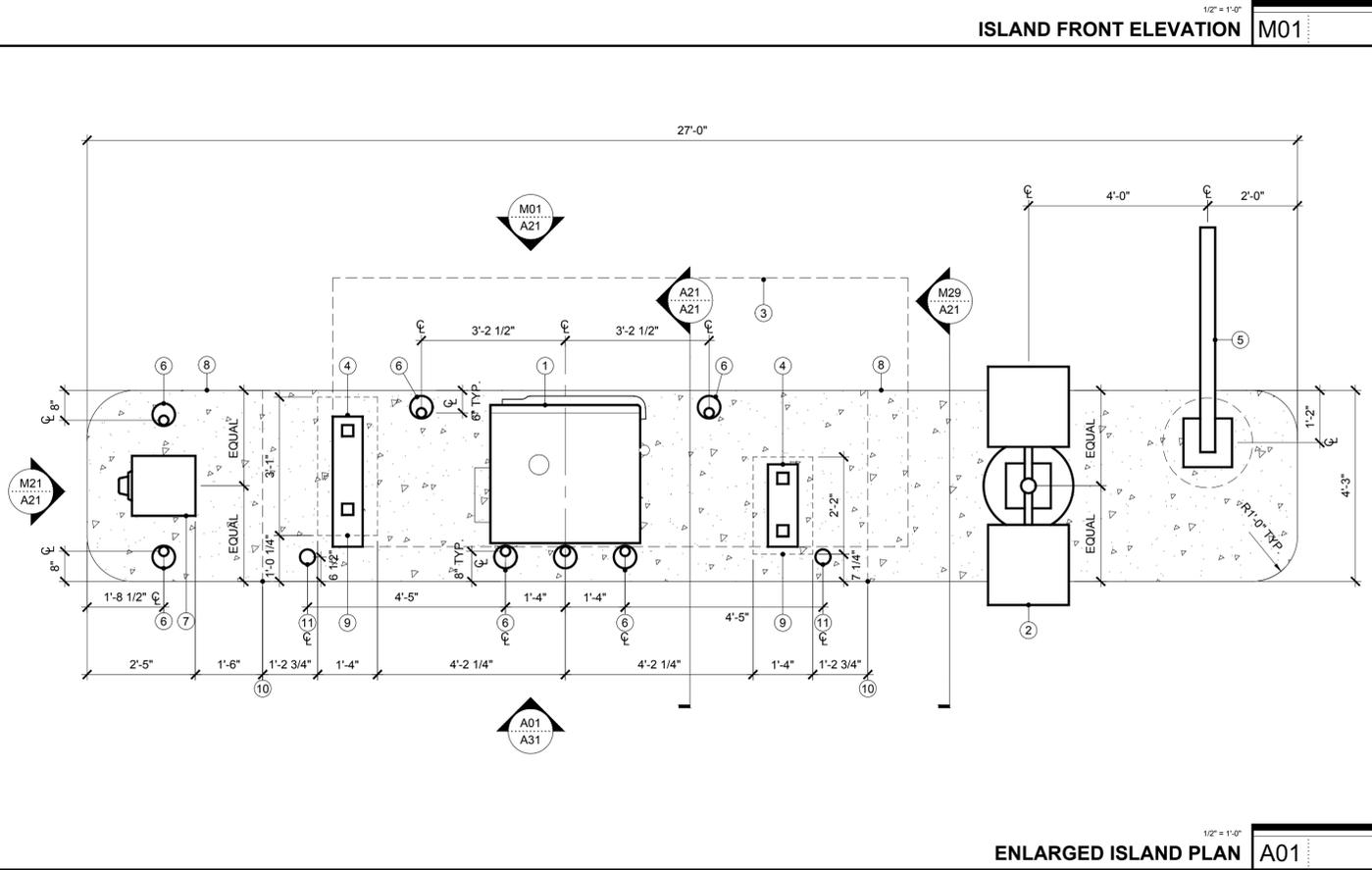
ISLAND FRONT ELEVATION M01

- 1/2" = 1'-0"
- ① AUTOMATIC TELLER MACHINE.
  - ② LIGHT STANDARD. RE: A23/A31 & ELECTRICAL
  - ③ PRE-MANUFACTURED ATM CANOPY (ABOVE)
  - ④ PRE-MANUFACTURED ATM CANOPY UPRIGHTS
  - ⑤ OVERHEAD CLEARANCE POLE/BAR
  - ⑥ COMBINATION BOLLARD. RE: Q01/A31
  - ⑦ MILBANK METER PEDESTAL. RE: ELECTRICAL
  - ⑧ CONCRETE SLAB. EASE ALL EXPOSED EDGES
  - ⑨ CONCRETE "WELL". RE: STRUCTURAL
  - ⑩ EDGE OF CONCRETE FOOTING. RE: STRUCTURAL
  - ⑪ 4" BOLLARD. RE: Q15/A31

ISLAND KEY NOTES A29



ISLAND SECTION A21



ENLARGED ISLAND PLAN A01

MATTHEW MASILONS - ARCHITECT  
MINNESOTA # 41791

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PROJECT  
**EDINBURGH PARKWAY & 85th AVENUE N. DRIVE-UP ATM**

8595 EDINBURGH CENTER DR  
BROOKLYN PARK, MINNESOTA 55443

SHEET TITLE  
**DETAILS**

PROJECT NUMBER  
2019033078

SHEET AUTHOR  
TEM

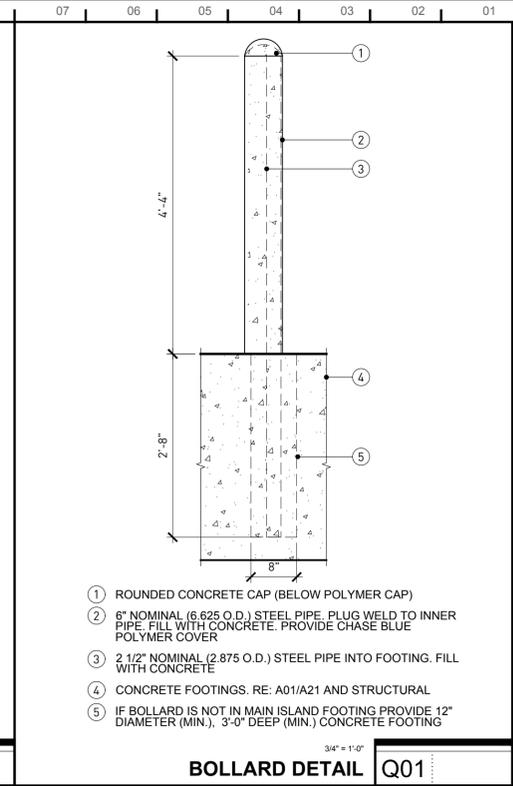
CHECKED BY  
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DATE  
MARCH 12, 2020

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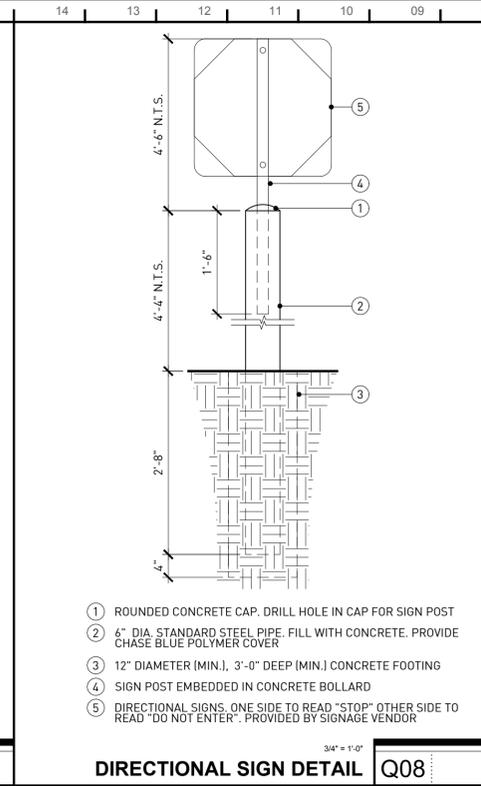
SHEET NUMBER  
**A31**

RMTA.BIZ



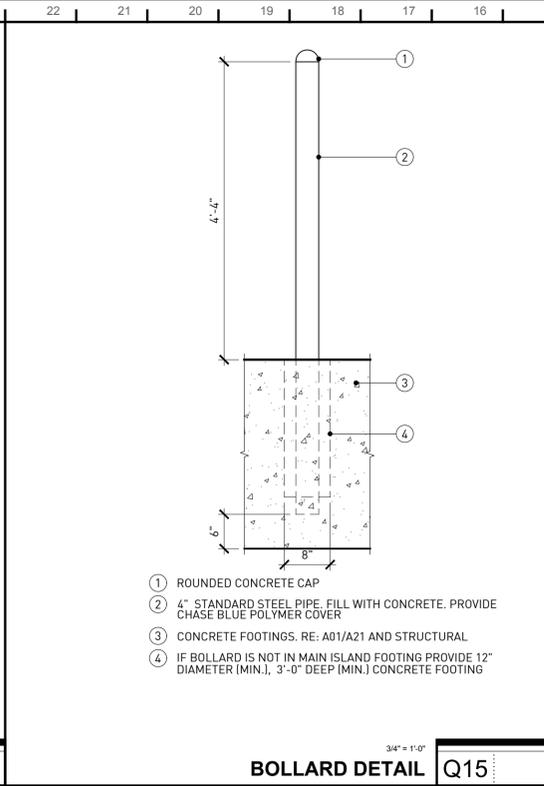
- ① ROUNDED CONCRETE CAP (BELOW POLYMER CAP)
- ② 6" NOMINAL (6.625 O.D.) STEEL PIPE. PLUG WELD TO INNER PIPE. FILL WITH CONCRETE. PROVIDE CHASE BLUE POLYMER COVER
- ③ 2 1/2" NOMINAL (2.875 O.D.) STEEL PIPE INTO FOOTING. FILL WITH CONCRETE
- ④ CONCRETE FOOTINGS. RE: A01/A21 AND STRUCTURAL
- ⑤ IF BOLLARD IS NOT IN MAIN ISLAND FOOTING PROVIDE 12" DIAMETER (MIN.), 3'-0" DEEP (MIN.) CONCRETE FOOTING

**BOLLARD DETAIL Q01**



- ① ROUNDED CONCRETE CAP. DRILL HOLE IN CAP FOR SIGN POST
- ② 6" DIA. STANDARD STEEL PIPE. FILL WITH CONCRETE. PROVIDE CHASE BLUE POLYMER COVER
- ③ 12" DIAMETER (MIN.), 3'-0" DEEP (MIN.) CONCRETE FOOTING
- ④ SIGN POST EMBEDDED IN CONCRETE BOLLARD
- ⑤ DIRECTIONAL SIGNS. ONE SIDE TO READ "STOP" OTHER SIDE TO READ "DO NOT ENTER". PROVIDED BY SIGNAGE VENDOR

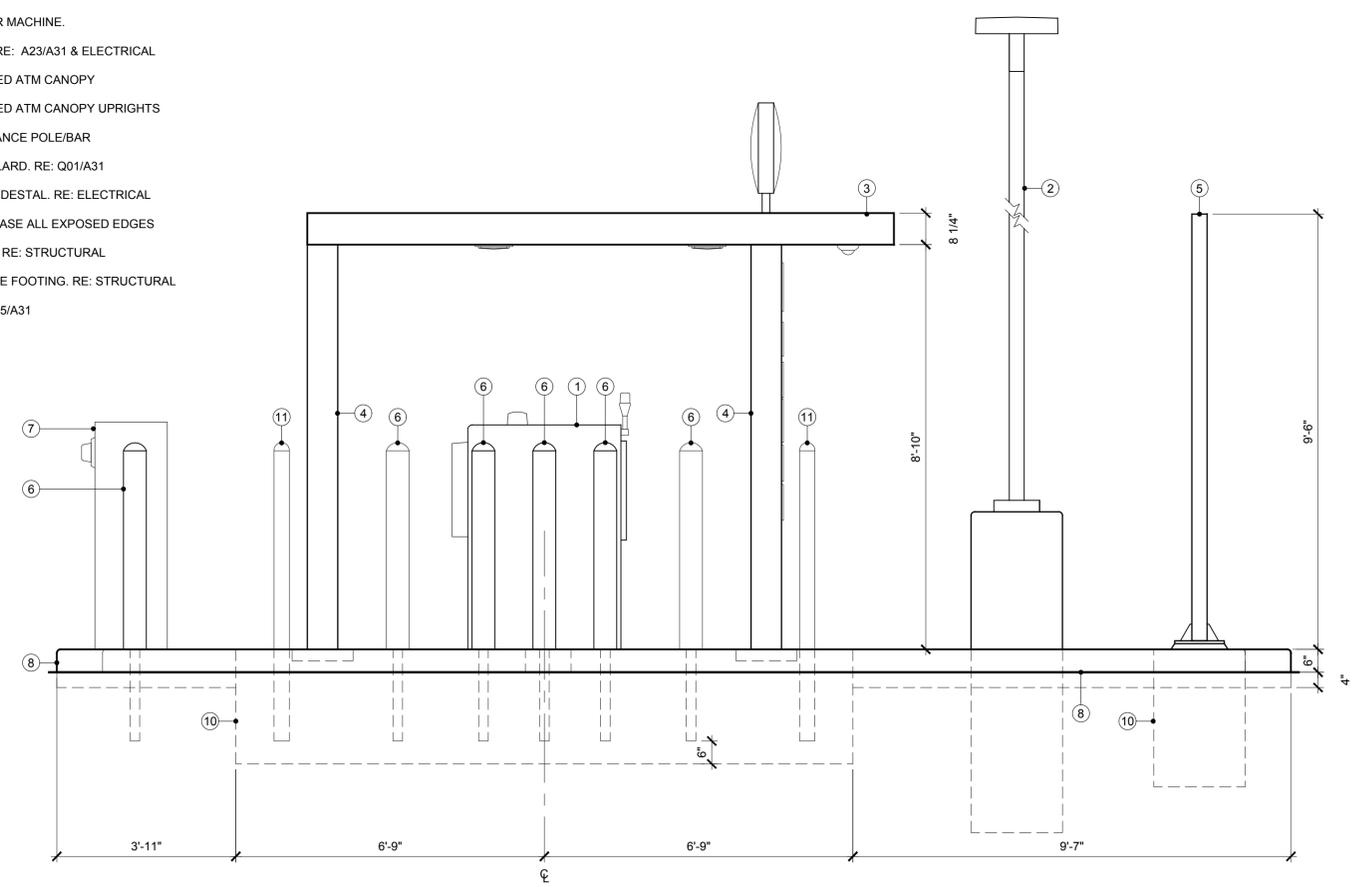
**DIRECTIONAL SIGN DETAIL Q08**



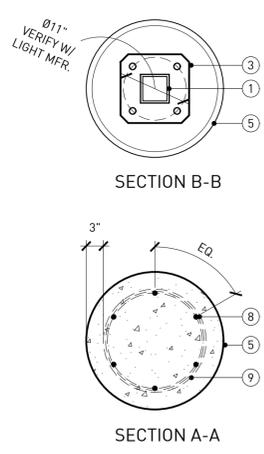
- ① ROUNDED CONCRETE CAP
- ② 4" STANDARD STEEL PIPE. FILL WITH CONCRETE. PROVIDE CHASE BLUE POLYMER COVER
- ③ CONCRETE FOOTINGS. RE: A01/A21 AND STRUCTURAL
- ④ IF BOLLARD IS NOT IN MAIN ISLAND FOOTING PROVIDE 12" DIAMETER (MIN.), 3'-0" DEEP (MIN.) CONCRETE FOOTING

**BOLLARD DETAIL Q15**

- ① AUTOMATIC TELLER MACHINE.
- ② LIGHT STANDARD. RE: A23/A31 & ELECTRICAL
- ③ PRE-MANUFACTURED ATM CANOPY
- ④ PRE-MANUFACTURED ATM CANOPY UPRIGHTS
- ⑤ OVERHEAD CLEARANCE POLE/BAR
- ⑥ COMBINATION BOLLARD. RE: Q01/A31
- ⑦ MILBANK METER PEDESTAL. RE: ELECTRICAL
- ⑧ CONCRETE SLAB. EASE ALL EXPOSED EDGES
- ⑨ CONCRETE "WELL". RE: STRUCTURAL
- ⑩ EDGE OF CONCRETE FOOTING. RE: STRUCTURAL
- ⑪ 4" BOLLARD. RE: Q15/A31

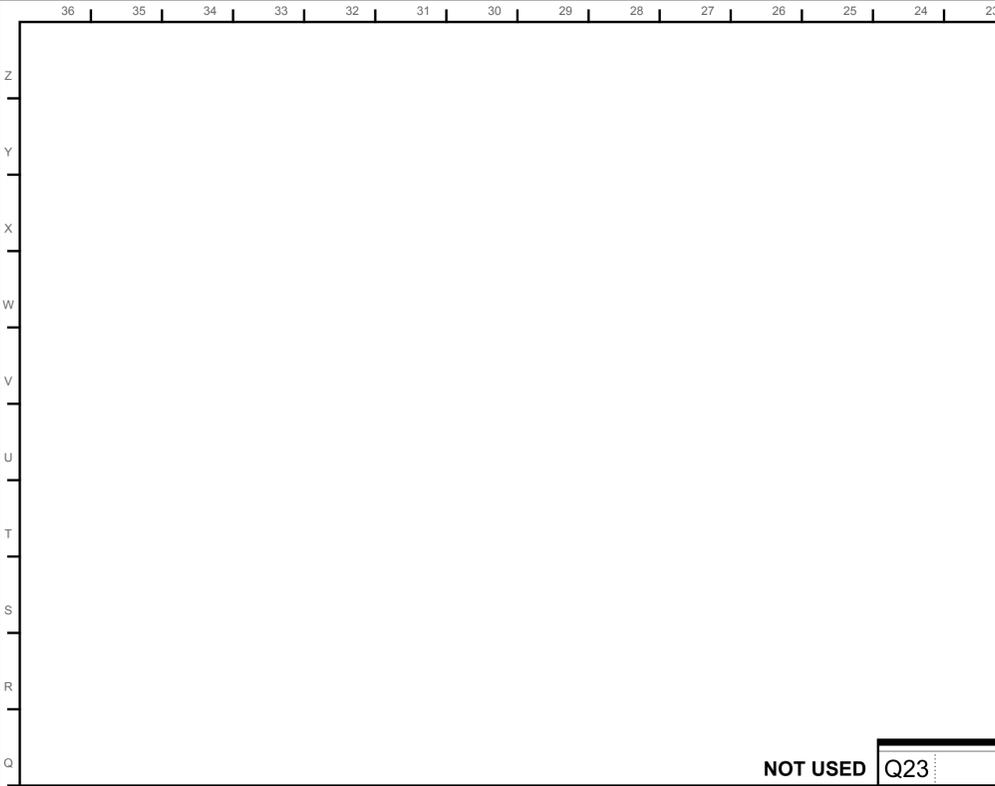


**ISLAND REAR ELEVATION A01**

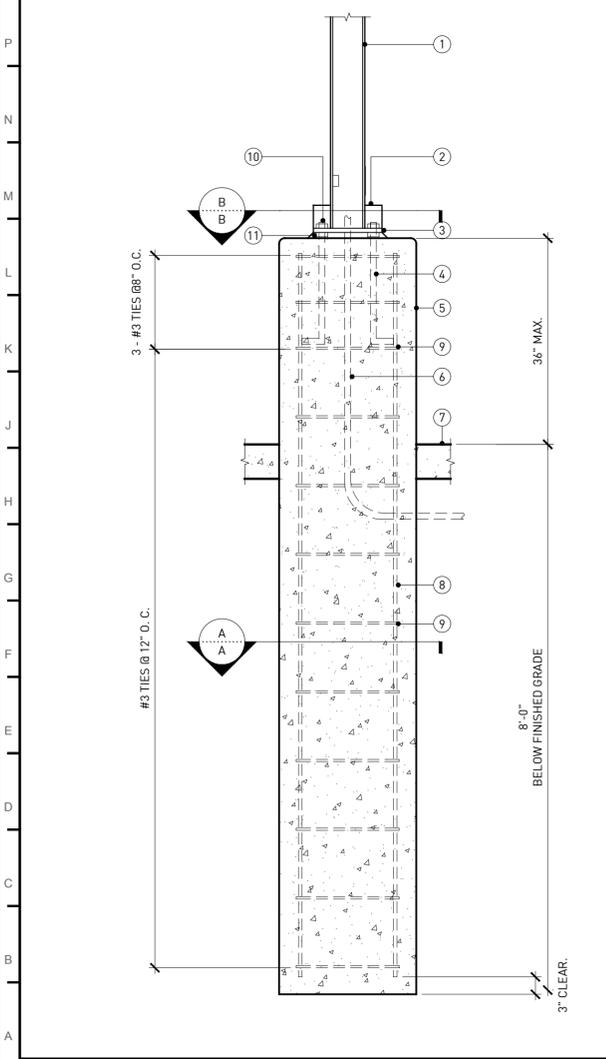


- ① TWO-HEAD LIGHT POLE. RE: ELECTRICAL
- ② BASE COVER, BY LIGHT MANUFACTURER
- ③ BASE PLATE, BY LIGHT MANUFACTURER
- ④ FOUR (4) 5/8" DIA. X 24" (A307) ANCHOR BOLTS
- ⑤ 24" DIAMETER CONCRETE BASE. 3000 PSI CONCRETE (MIN.). SMOOTH SACK FINISH
- ⑥ 3/4" CONDUIT. RE: ELECTRICAL
- ⑦ TOP OF CONCRETE ISLAND
- ⑧ SIX (6) #6 REBAR (VERTICAL)
- ⑨ #3 WIRE TIES
- ⑩ LOCK NUT AND WASHER
- ⑪ LEVELING NUT AND WASHER

**LIGHT POLE DETAILS A23**



**NOT USED Q23**



**LIGHT POLE DETAILS A23**

# City of Brooklyn Park Request for Council Action

<b>Agenda Item:</b>	6.2	<b>Meeting Date:</b>	May 26, 2020
<b>Agenda Section:</b>	Land Use Actions	<b>Originating Department:</b>	Community Development
<b>Resolution:</b>	N/A	<b>Prepared By:</b>	Todd A. Larson, Senior Planner
<b>Ordinance:</b>	FIRST READING		
<b>Attachments:</b>	9	<b>Presented By:</b>	Cindy Sherman, Planning Director
<b>Item:</b>	The Luther Company, LLLP (Linda McGinty) – Rezoning and Conditional Use Permit #20-105 to Redevelop 8100 Brooklyn Boulevard for an Expanded Parking Lot for Luther Brookdale Chrysler Dealership at 8100 and 8188 Brooklyn Boulevard with a Variance to the Sign Code to Allow a Second Free-Standing Sign		

## City Manager's Proposed Action:

MOTION \_\_\_\_\_, SECOND \_\_\_\_\_, TO WAIVE THE READING AND ADOPT ON FIRST READING AN ORDINANCE AMENDING CHAPTER 152 REZONING PROPERTY FROM GENERAL BUSINESS DISTRICT (B3) TO VEHICLE SALES AND SHOWROOM DISTRICT (B4) AT 8100 BROOKLYN BOULEVARD.

*The conditional use permit and variance resolution will be considered with the second reading of the rezoning ordinance.*

## Planning Commission Recommendation:

At its meeting on May 13, 2020, the Planning Commission unanimously recommended approval of the rezoning, amended conditional use permit, and variance to Sign Code with the conditions that are listed in the attached draft resolution.

## Overview:

Luther Auto recently purchased the former NTB/Big-O Tires building at 8100 Brooklyn Boulevard. The property is adjacent to the Brookdale Chrysler Jeep Dodge Ram at 8188 Brooklyn Boulevard. The dealership was approved in 2000 and constructed in 2001. Big-O Tires closed last fall and the building has since been demolished. Luther would like to incorporate the property into its dealership to provide more parking for inventory vehicles.

The dealership property is zoned Vehicle Sales and Showroom District (B4) where car sales are a conditional use. The 8100 property is zoned General Business District (B3) where car sales are not allowed. Rezoning of the 8100 property will allow it to be combined (an administrative action) with the dealership property. Also, the existing conditional use permit (CUP) that is on the dealership property will need to be extended onto the 8100 property in order for car sales to occur. Extending the CUP will allow for an additional 73 parking spaces for inventory vehicles. The proposed site, lighting, and landscaping plans for expanding the dealership parking lot conform to City Code requirements.

The applicant is also requesting a variance to the Sign Code to allow the existing Big-O Tires monument sign facing Jolly Lane to remain. The existing 67 square-foot sign would be re-faced with a new panel. This sign would be a second free-standing sign on the property after the lots are combined. Only one free-standing sign is permitted for a business. The business has frontage on three roads—Brooklyn Boulevard, Bottineau Boulevard, and Jolly Lane—and the existing pylon sign near the intersection of Brooklyn Boulevard and Bottineau Boulevard is not visible from Jolly Lane. With no driveway directly onto Brooklyn Boulevard, using the existing sign can

provide direction to the driveway on Jolly Lane. This is a similar situation to the justification for a variance granted to CarMax with a stipulation that the sign contain some directional language.

**Budgetary/Fiscal Issues:** N/A

**Alternatives to consider:**

1. Approve the proposal as recommended by the Planning Commission.
2. Approve the proposal with modifications.
3. Deny the proposal based on certain findings.

**Attachments:**

- 6.2A ORDINANCE
- 6.2B DRAFT CONDITIONAL USE PERMIT AND VARIANCE RESOLUTION
- 6.2C LOCATION MAP
- 6.2D PLANNING AND ZONING INFORMATION
- 6.2E VARIANCE REQUEST EMAIL
- 6.2F PLANNING COMMISSION MINUTES
- 6.2G CONDITIONAL USE PERMIT #99-166
- 6.2H APPLICANT'S NARRATIVE
- 6.2I PLANS

ORDINANCE #2020-

ORDINANCE AMENDING CHAPTER 152  
REZONING PROPERTY FROM GENERAL BUSINESS DISTRICT (B3)  
TO VEHICLE SALES AND SHOWROOM DISTRICT (B4)  
AT 8100 BROOKLYN BOULEVARD

WHEREAS, the subject property is described as:

*That part of Section 19, Township 119, Range 21 described as follows: Beginning at a point on the East line of the Southeast quarter of the Southeast quarter a distance of 161.81 feet North from the Southeast corner thereof, then South 128.81 feet then West parallel with the South line of the Southeast quarter a distance of 201.43 feet, then North at right angles 128.79 feet, then East to the beginning point, except road, Hennepin County, Minnesota*

WHEREAS, the subject property is guided for Community Commercial land uses in the 2040 Comprehensive Plan; and

WHEREAS, the subject property will be used for commercial purposes; and

WHEREAS, the subject property will be combined with the following described property, also zoned B4, in order to meet the minimum lot area requirements of the zoning district:

*Lot 1, Block 1, BBPG Addition, Hennepin County, Minnesota*

NOW, THEREFORE, the City of Brooklyn Park Does Ordain:

**Section 1.**

Section 152 of the Zoning code is amended to rezone the subject property from General Business District (B3) to Vehicle Sales and Showroom District (B4). The map in the City Clerk's office shall be updated accordingly.

*This resolution will be considered with the second reading of the rezoning ordinance*

RESOLUTION #2020-

RESOLUTION EXTENDING A  
CONDITIONAL USE PERMIT  
TO 8100 BROOKLYN BOULEVARD  
AND A VARIANCE TO THE SIGN CODE

Planning Commission File #20-105

WHEREAS, The Luther Company LLLP owns the following properties within the City of Brooklyn Park:

Parcel 1: *Lot 1, Block 1, BBPG Addition, Hennepin County, Minnesota*

Parcel 2: *That part of Section 19, Township 119, Range 21, described as follows: Beginning at a point on the East line of the Southeast quarter of the Southeast quarter a distance of 161.81 feet North from the Southeast corner thereof, then South 128.81 feet then West parallel with the South line of the Southeast quarter a distance of 201.43 feet, then North at right angles 128.79 feet, then East to the beginning point, except road, Hennepin County, Minnesota*

WHEREAS, a conditional use permit was granted for Parcel 1 through Resolution #2000-82 and recorded as Document 7928584 for an automobile dealership; and

WHEREAS, the owner of Parcel 1 purchased Parcel 2 with the intent to expand the automobile dealership; and

WHEREAS, the two properties will be combined into a single parcel.

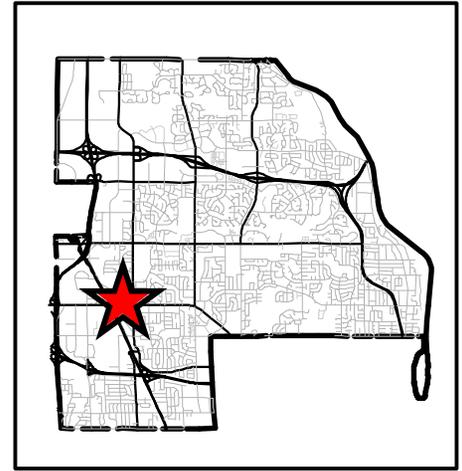
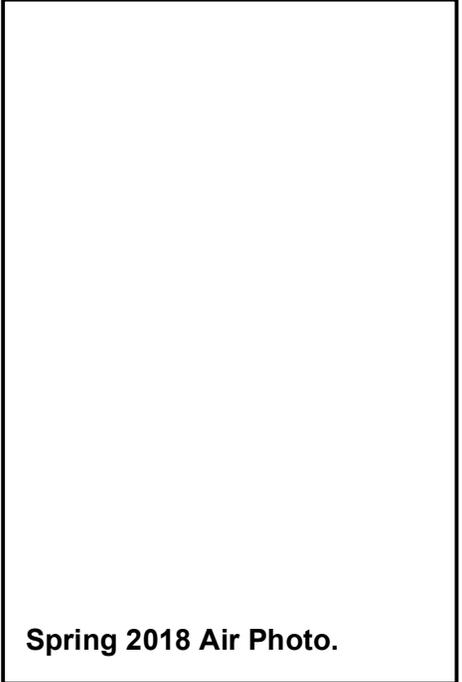
NOW, THEREFORE, BE IT RESOLVED by the Brooklyn Park City Council that the conditions listed within Conditional Use Permit #99-266, including its Exhibit Z, as approved by Resolution #2000-82 for Parcel 1 shall be extended onto Parcel 2 in full force and effect with site and lighting plans dated March 2, 2020, and landscape plan dated March 10, 2020.

NOW, THEREFORE, BE IT FURTHER RESOLVED, a variance to Section 150.28(A)(1) of City Code is hereby granted allowing a 67 square foot monument sign near the northwest corner of Brooklyn Boulevard and Jolly Lane as a second freestanding sign on a property based on the following:

1. The sign is existing and will be re-faced;
2. An existing pylon sign near the intersection of Bottineau Boulevard and Brooklyn Boulevard is not visible from the vicinity of Jolly Lane;
3. The sign must contain directional information; and
4. Both Parcel 1 and Parcel 2 must be combined.

This resolution must be recorded with the Hennepin County Recorder's Office prior to construction.

**Conditional Use Permit/Rezoning #20-105 Luther Auto  
8100/8188 Brooklyn Blvd. N.**



Map Date March 10, 2020

Land Use Plan	Community Commercial (2040)
Current Zoning	General Business District (B3)
Proposed Zoning	Vehicle Sales and Showroom District (B4)
Surrounding Zoning	North and West – Vehicle Sales and Showroom District (B4) <i>Luther Chrysler Jeep Dodge Ram dealership</i> East – Transit Oriented Development Center (TOD-C) <i>Brooklyn Park Auto Mall</i> South – Transit Oriented Development Center (TOD-C) <i>Park Commons Shopping Center</i>
Neighborhood	College Park
Lot Areas	8100 Brooklyn Blvd. – 0.5 acres Total after combination with 8188 Brooklyn Blvd. – 9.37 acres
Conforms to:	Land Use Plan – Yes Subdivision Code – Yes Zoning Code – Yes Variances Needed – sign code request
Public Notification	11 Mailed Notices 1 Proposed Development Sign Sun-Post Legal Notices (March 26, 2020) Neighborhood Update Email – College Park and Hartkopf



Photo of the former Big-O Tires Monument Sign

From: Sean Murphy, PE  
Sent: Friday, March 27, 2020 3:06 PM  
To: Todd Larson  
Cc: Linda McGinty  
Subject: 8100 Brooklyn Boulevard - Sign Variance Request

The Luther Company, LLLP formerly requests a variance to keep the existing monument sign at 8100 Brooklyn Boulevard to accompany it's request for Rezoning, Conditional Use Permit Amendment, and Lot Combination.

The existing monument sign is in great condition and will be repurposed into directional signage for the dealership. The property fronts three streets and has two accesses to the site. One is located on Jolly Lane (only direct access to public right of way) and the other is on the private drive connecting County Road 81 and 79th Avenue North. Vehicles traveling on Brooklyn Boulevard cannot see the existing free standing sign and there is no signage alerting of the access on Jolly Lane. The current sign location is ideal for directing traffic to the Jolly Lane entrance, which reduces the need for traffic to turn onto Country Road 81 to enter through the shared access into the dealership.

We appreciate your consideration.

Sean Murphy, PE  
LANDFORM, Associate, Project Lead  
Direct: 612-638-0244

**MINUTES OF THE BROOKLYN PARK PLANNING COMMISSION**  
**Regular Meeting – May 13, 2020**  
Unapproved Minutes

**1. CALL TO ORDER/SWEAR IN NEW MEMBERS**

The meeting was called to order at 7:00 PM.

Chair Kisch swore in Commissioner Erin Aarestad.

Chair Kisch swore in Commissioner Christian Muvundamina.

**2. ROLL CALL/PLEDGE OF ALLEGIANCE**

Those present were: Commissioners Aarestad, Herbers, Husain, Kiekow, Kisch, Mohamed, Morton-Spears, Muvundamina, and Vosberg; Planning Director Sherman; Planning Program Assistant Davis.

Those not present were: Council Liaison Russell; Senior Planner Larson.

**6. PUBLIC HEARING**

- B. The Luther Company, LLLP (Linda McGinty) – Rezoning and Conditional Use Permit #20-105 to redevelop 8100 Brooklyn Boulevard for an expanded parking lot for Luther Brookdale Chrysler dealership at 8100 and 8188 Brooklyn Boulevard with a variance to the Sign Code to allow a second free-standing sign.**

Planning Director Sherman presented the application for a Rezoning and Conditional Use Permit that will allow for an expanded parking lot at Luther Brookdale Chrysler dealership for storage and display of vehicles. The proposal also includes a variance to allow a second free-standing sign that is already in existence for 8100 Brooklyn Blvd, which was most recently occupied by BigO Tires. 8100 and 8188 Brooklyn Blvd will be consolidated, but Luther hopes to be able to continue using the existing sign. This will allow the auto dealership to have a signage presence on Brooklyn Blvd. The site improvements also include landscaping. Staff recommends approval.

Sean Murphy, representative of Luther Company LLLP, introduced himself to the Commission for any questions.

Chair Kisch open and closed the public hearing explaining no one registered to speak on this item.

Commissioner Kiekow asked how the sign will be modified.

Linda McGinty, representative of Luther Company LLLP, explained the exterior color of the sign will be change to a charcoal gray and the inset will be updated with the dealership name with a band that explains the entrance is on Jolly Lane and a directional arrow.

Commissioner Kiekow asked if they intend it to be a lighted sign.

Linda McGinty explained the sign does have power, but the decision has not yet been made whether the sign would have a lighting component.

Commissioner Kiekow asked Planning Director Sherman if the sign was previously up to code.

Planning Director Sherman confirmed the sign was previously up to standards.

Commissioner Muvundamina asked if there are any other potential modifications for the sign.

Linda McGinty explained there are no plans to change the structure of the sign and reiterated their plans to update the color and inset.

Commissioner Vosberg provided her support for the proposal.

Chair Kisch also echoed support for the proposal to allow for aesthetic updates to the site.

MOTION HUSAIN, SECOND VOSBERG TO RECOMMEND APPROVAL OF REZONING ORDINANCE #20-\_\_\_\_ REZONING 8100 BROOKLYN BOULEVARD NORTH FROM GENERAL BUSINESS DISTRICT (B3) TO VEHICLE SALES AND SHOWROOM DISTRICT (B4).

*MOTION CARRIED UNANIMOUSLY.*

MOTION HUSAIN, SECOND HERBERS TO RECOMMEND APPROVAL OF AMENDED CONDITIONAL USE PERMIT WITH A VARIANCE TO SIGN CODE AT 8100 AND 8188 BROOKLYN BOULEVARD, SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.

*MOTION CARRIED UNANIMOUSLY.*

JAN 24 2003

RESOLUTION #2000-82

HENNEPIN COUNTY MINN  
BY  DEPUTY

RESOLUTION GRANTING CONDITIONAL USE PERMIT #99-166  
FOR AN AUTOMOBILE DEALERSHIP  
FOR THE LUTHER COMPANY LIMITED PARTNERSHIP  
AT THE NORTHEAST CORNER OF BROOKLYN BOULEVARD  
AND COUNTY ROAD 81

WHEREAS, The Luther Company Limited Partnership has made application for a Conditional Use Permit under the provisions of Section 365.02 and 366 of the City Code on property legally described as:

PARCEL 1. That part of the southeast quarter of the southeast quarter of Section 19, Township 119 North, Range 21 West of the 5<sup>th</sup> Principal Meridian, Hennepin County, Minnesota, described as follows:

Commencing at the intersection of the north line of the south half of the south half of the southeast quarter of Section 19, Township 119, Range 21 and the northeasterly right-of-way of U.S. Highway Numbers 52 and 218; thence east along the north line of said south half of the south half of said southeast quarter a distance of 528.59 feet; thence 90 degrees to the right a distance of 167.99 feet; thence deflect to the right 62 degrees 25 minutes to a point on said northeasterly right-of-way line of U.S. Highway Numbers 52 and 218; thence northwesterly along said right-of-way to the point of beginning, except the westerly 30 feet thereof.

PARCEL 2 ... That part of the southeast quarter of the southeast quarter of Section 19, Township 119 North, Range 21 West of the 5<sup>th</sup> Principal Meridian, Hennepin County, Minnesota, described as follows:

Commencing at a point 322.00 feet west and 33 feet north of the southeast corner of Section 19, Township 119, Range 21; thence at a deflection angle to the right of 62 degrees 26 minutes a distance of 228.17 feet to the actual point of beginning of the land to be described; thence 90 degrees to the right a distance of 143.20 feet; thence 90 degrees 00 minutes to the left a distance of 148.97 feet; thence 90 degrees 00 minutes left to the northeasterly right-of-way line of U.S. Highway Numbers 52 and 218; thence southeasterly along said right-of-way line a distance of 148.90 feet; thence northeasterly 174.58 feet, more or less, to the point of beginning.

PARCEL 3 ... That part of the southeast quarter of the southeast quarter of Section 19, Township 119, Range 21, Hennepin County, Minnesota, described as follows:

Commencing at a point 322.00 feet west and 33 feet north of the southeast corner of said Section 19; thence northwesterly along a line drawn from the point of commencement at

#2000-82

an angle of 62 degrees 26 minutes with a line parallel with and 33 feet north of the south line of said southeast quarter of the southeast quarter, a distance of 145.38 feet to the point of beginning of the tract of land to be described; said angle as measured from the west to east; thence continue northwesterly along last described course a distance of 82.79 feet; thence northeasterly, deflecting to the right 90 degrees, a distance of 143.20 feet; thence northwesterly deflecting to the left 90 degrees, a distance of 178.97 feet, more or less, along a line to its intersection with the following described line:

Commencing at the intersection of the north line of the south half of the south half of the southeast quarter of said Section 19, and the northeasterly right-of-way line of U.S. Highway Numbers 51 and 218; thence east along the north line of said south half of the south half a distance of 528.59 feet to the point of beginning of the line to be described; thence southerly deflecting to the right 90 degrees a distance of 167.99 feet to a point hereinafter to be known as Point "A"; thence southwesterly deflecting to the right 62 degrees 25 minutes a distance of 100 feet and there terminating; thence northeasterly deflecting to the right 90 degrees along the aforescribed intersection line a distance of 64.44 feet to Point "A"; thence northerly deflecting to the left 66 degrees 25 minutes along the said aforescribed line a distance of 167.99 feet to the point of beginning of the said aforescribed line and the north line of said south half of the south half of the southeast quarter; thence easterly along said north line to the east line of said southeast quarter; thence south along said east line to a point thereon distant 161.90 feet north of the southeast corner of said southeast quarter; thence westerly along a line parallel with the south line of the said southeast quarter to the point of beginning of this description, and that part of the southeast quarter of the southeast quarter, Section 19, Township 119, Range 21, Hennepin County, Minnesota, described as follows:

Commencing at a point 322.00 feet west and 33 feet north of the southeast corner of said Section 19; thence northwesterly along a line drawn from the point of commencement at an angle of 62 degrees 26 minutes with a line parallel with and 33 feet north of the south line of said southeast quarter of the southeast quarter a distance of 145.38 feet to the point of beginning of the tract of land to be described; said angle as measured from the west to east; thence continue northwesterly along last described course a distance of 82.79 feet; thence northeasterly deflecting to the right 90 degrees, a distance of 143.20 feet; thence northwesterly deflecting to the left 90 degrees, a distance of 148.97 feet, to the actual point of beginning; thence along said line a distance of 30 feet, more or less, to its intersection with the following described line:

Commencing at the intersection of the north line of the south half of the south half of the southeast quarter of said Section 19, and the northeasterly right-of-way line of U.S. Highway Numbers 52 and 218; thence east along the north line of said south half of the south half a distance of 528.59 feet to the point of beginning of the line to be described; thence southerly deflecting to the right 90 degrees, a distance of 167.99 feet to a point hereafter to be known as Point "A"; thence southwesterly deflecting to the right 62

degrees 25 minutes, a distance of 100 feet and there terminating; thence southwesterly deflecting to the right 90 degrees, more or less, along the aforescribed intersecting line the northeastern right-of-way of U.S. Highway Numbers 52 and 218; thence southeasterly along said right-of-way line to a point intersected by the following described line:

Commencing at a point 322.00 feet west and 33 feet north of the southeast corner of Section 19, Township 119, Range 21, Hennepin County, Minnesota; thence at a deflection angle to the right of 62 degrees 26 minutes a distance of 228.17 feet; thence 90 degrees to the right a distance of 143.20 feet; thence 90 degrees 00 minutes to the left a distance of 148.97 feet; thence 90 degrees 00 minutes left to the northeasterly right-of-way line of U.S. Highway Numbers 52 and 218; thence northeasterly along said line 292.00 feet, more or less, to the point of beginning.

PARCEL 4 ... The westerly 30 feet of that part of the southeast quarter of the southeast quarter of Section 19, Township 119 North, Range 21 West of the 5<sup>th</sup> Principal Meridian, Hennepin County, Minnesota, described as follows:

Commencing at the intersection of the north line of the south half of the south half of the southeast quarter of Section 19, Township 119, Range 21 and the northeasterly right-of-way line of U.S. Highway Numbers 52 and 218; thence east along the north line of said south half of the south half of said southeast quarter a distance of 528.59 feet; thence 90 degrees to the right, a distance of 167.99 feet; thence deflect to the right 62 degrees 25 minutes to a point on said northeasterly right-of-way line of U.S. Highway Numbers 52 and 218; thence northwesterly along said right-of-way line to the point of beginning.

WHEREAS, the matter has been referred to the Planning Commission who have given their advice and recommendation to the City Council, and

WHEREAS, the effect of the proposed use upon the health, safety and welfare of surrounding lands, existing and anticipated traffic conditions and its effect on property values in the neighborhood have been considered,

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BROOKLYN PARK:

1. It is hereby determined that the proposed development is in harmony with the general purposes and interest of the Zoning Ordinances of the City.
2. The Conditional Use Permit is granted to allow an automobile dealership in accordance with the conditions set forth in Exhibit Z which is made a part of this resolution by reference and is on file and can be examined in the City Clerk's office. This property is subject to the terms set forth in Exhibit Z.

3. That the petitioner shall be required to record a copy of this resolution with the Hennepin County Recorder and/or Registrar of Titles and to pay all fees for said recording and shall file proof of said recording with the City. The building permit shall not be issued until or unless the recording is made within one year from the date of this approval.

The foregoing resolution was introduced by Council Member Enge and duly seconded by Council Member Feess.

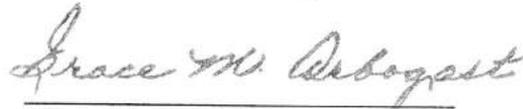
The following voted in favor of the resolution: Arbogast, Enge, Feess, and Trepanier.

The following voted against: Draeger, Meyer.

The following were absent: Eder.

Whereupon the resolution was adopted.

ADOPTED: March 27, 2000

  
\_\_\_\_\_  
GRACE ARBOGAST, MAYOR

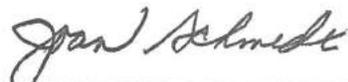
CERTIFICATE

STATE OF MINNESOTA  
COUNTY OF HENNEPIN  
CITY OF BROOKLYN PARK

I, the undersigned, being the duly qualified City Clerk of the City of Brooklyn Park, Minnesota, hereby certify that the above resolution is a true and correct copy of the resolution as adopted by the City Council of the City of Brooklyn Park on March 27, 2000.

WITNESS my hand officially as such Clerk and the corporate seal of the City this 28<sup>th</sup> day of March, 2000.

(SEAL)

  
\_\_\_\_\_  
JOAN SCHMIDT, CITY CLERK

FILE COPY

EXHIBIT Z

CONDITIONAL USE PERMIT #99-166  
FOR THE LUTHER COMPANY LIMITED PARTNERSHIP  
FOR AN AUTOMOBILE DEALERSHIP  
AT THE NORTHEAST CORNER  
OF BROOKLYN BOULEVARD AND COUNTY ROAD 81

This Conditional Use Permit #99-166 was approved by the City Council on March 27, 2000 subject to the following terms:

**1.0 REQUIRED PLANS**

- 1.1 This Conditional Use Permit #99-166 for an automobile dealership as shown on site plan(s) dated 3-08-00, stamped as Received by the City of Brooklyn Park Planning Commission 3-08-00, and marked "Exhibit A". "Exhibit A" is attached to this permit and made a part hereto.
- 1.2 Street, curb and gutter and sidewalk improvements shall be made per plan(s) dated 3-08-00, stamped as Received by the City of Brooklyn Park Planning Commission 3-08-00, and marked "Exhibit B". "Exhibit B" is attached to this permit and made a part hereto.
- 1.3 Sanitary sewer, storm sewer and water service shall be provided per plan(s) dated 3-08-00, stamped as Received by the City of Brooklyn Park Planning Commission 3-08-00, and marked "Exhibit C". "Exhibit C" is attached to this permit and made a part hereto.
- 1.4 On-site improvements including lighting shall be in accordance with the landscape plan(s) dated 3-08-00, marked as Received by the City of Brooklyn Park Planning Commission 3-08-00d "Exhibit D". "Exhibit D" is attached to this permit and made a part hereto.
- 1.5 All building plans and specifications must:
  - a. Conform to the intent of the plans and building elevations dated 3-08-00 , stamped as Received by the City of Brooklyn Park Planning Commission 3-08-00 and marked "Exhibit E";
  - b. Be approved by the Brooklyn Park Building Inspector to make this permit effective.
- 1.6 All utility, street construction and drainage and development plans with specifications must be prepared by a Registered Civil Engineer or Landscape Architect to make this permit effective. These plans must be approved by the City Engineer prior to issuance of any building permits.

## **2.0 BONDS, ESCROWS AND DIRECT PAYMENTS**

- 2.1 An "on-site" development bond or an irrevocable Letter of Credit in the amount of \$831,445 and a cash bond in the amount of \$43,760 must be posted with the City. The performance bond or irrevocable Letter of Credit must be dated to expire the same as the development contract and shall have a maintenance clause guaranteeing work for one year after acceptance. Together these two bonds guarantee that the developer will construct or install the following per the plans and specifications approved by the Planning Director and the City Engineer:
- a. Streets
  - b. Curb and gutter
  - c. Traffic control and street signs
  - d. Street lights
  - e. Repair and/or adjustment of new and existing utilities
  - f. On-site utilities
  - g. Landscaping, lighting, bituminous paving, and grading
  - h. Shaping and sodding of boulevards, berming, drainage-ways and other landscaping. Sodding shall be completed 30 days after structure is occupied during the sod-growing season between May 15th and September 30th or by June 15th for structures occupied between October 1st and May 15th.
- 2.2 A Developer's Escrow in the amount of \$37,925 must be posted with the City Treasurer to cover engineering, legal and administrative costs incurred by the City. If this account becomes deficient it shall be the developer's responsibility to deposit additional funds. This must be done before final bonding obligations are complete.

## **3.0 REQUIRED DOCUMENTS**

- 3.1 A Developer's Contract relating to the items covered in the developer's bond shall be signed by the developer and shall be marked as "Exhibit F". "Exhibit F" is attached to this permit and made a part hereof. A construction schedule must be approved by the City Engineer prior to issuance of a building permit.
- 3.2 Approval of driveway entrances on State and County highways shall be secured from the respective agencies and filed with the Community Development Director prior to release of this resolution.

## **4.0 GENERAL CONDITIONS**

- 4.1 It shall be the developer's responsibility to keep active and up to date the developers contract and financial surety (letters of credit, bonds, etc.). These documents must remain active until the developer has been released from any further obligation by City Council motion received in writing from the Engineering Department.
- 4.2 There shall be "No Parking Fire Lane" signs as designated by the Fire Chief.

- 4.3 All private fire hydrants shall be contracted with the City for annual maintenance and inspection.
- 4.4 All dumpsters shall be enclosed in a fireproof three-sided enclosure six feet in height on a concrete pad with an exterior finish that shall match the finish of the building and secured with a metal gate.
- a. The interior of the dumpster area shall be constructed of masonry, and;
  - b. The sides and bottom of the dumpster enclosure must be treated with an epoxy finish per City Health Sanitarian requirements.
- 4.5 The lowest floor of property adjacent to flood prone areas shall be at or above the Regulatory Flood Protection Elevation as defined by City Ordinance 364.25.
- 4.6 Paving requirements:
- a. The final site plans shall indicate final grades, location and size of utility services, thickness of paving section and location of concrete curbs and gutters. Interior paved areas of site plan shall provide for a minimum of 1% grade and .5% concrete gutter grade. Minimum paving thickness shall be three inches.
  - b. The perimeter of all bituminous and concrete areas will be of poured-in-place concrete curb according to Engineering Department recommendations.
- 4.7 Landscape:
- a. At no time shall astroturf, landscape rock, or mulch be allowed to be substituted for sod in any area of the site. Landscape rock or mulch will be allowed in shrub planting beds only.
  - b. All landscaped and sodded areas including curb islands and rights-of-way shall be irrigated.
- 4.8 Lighting:
- a. Exterior Lighting - Shall be as indicated on the Site Plan. All lights, including those attached to the building shall be deflected downward. Lighting levels shall be .25 foot candle at the property line in accordance with the Zoning Code Section 367.04.
  - b. Building Lighting - The site will be adequately lit with the fixtures as proposed on the site plan. No light or glare shall be directed onto adjacent properties. Other lighting shall conform to the final lighting plan approved by the Planning Division.

- 4.9 All signs shall conform to City Ordinance Section 356, unless hereby modified.
- 4.10 All storm water utility lines that exist in the right-of-way shall be reinforced concrete pipe.
- 4.11 Ten of the overstory deciduous trees shall be increased in size from 2 ½ inches to 3 ½ inches indiameter.
- 4.12 The site will conform to all aspects of zoning ordinance section 367.13 – Automobile Sales and Showrooms.
- 4.13 A preliminary plat to combine the five parcels will be completed and a final plat recorded prior to any building permit being issued for the car dealership.
- 4.14 The cross easement agreement with the property owner to the north must be secured to allow the north access to County Road 81. If an agreement is not reached there will be no access to County Road 81. The turning radius for the common entrance with Menards must be adjusted to have a larger radius to allow truck turning movements to occur without crossing over the exit lane of the driveway. There is also a tree near the north driveway (on Menards property) that must be trimmed up to a point 6 feet above the ground to allow for clear traffic visibility.
- 4.15 The amount of Exterior Insulation Finishing System (EIFS) on the building will comply with the ordinance that is in effect at the time the building permit is issued.
- 4.16 No transport truck unloading shall be allowed on Jolly Lane. The City may revoke the conditional use permit if this condition is violated.
- 4.17 If an applicant needs additional time to satisfy the requirements listed in this Conditional Use Permit in order to get it released for recording, then a one year time extension must be requested. Time extension requests are subject to the conditions found in Zoning Ordinance Section 365.10 Time Extensions.
- 4.18 All applicable City ordinances not specifically covered herein shall become a part of this Conditional Use Permit.
- 4.19 Section 365.02 g. of the City Code (abandonment, revocation, cancellation) is marked as "Exhibit G" and made a part of this permit.
- 4.17 The undersigned agrees to provide a copy of this document to any or all purchasers and/or lessees who would continue to use the property for the purpose stated in Article #1.

The undersigned declares he has fully examined this Conditional Use Permit and all exhibits attached hereto, and agrees to all the conditions set forth. This approval will expire one year from the date of City Council approval unless all of the conditions have been met, and valid building permits are in force. In no case shall the property be used for the use in which this permit is approved until all of the conditions have been met by the petitioner and are inspected by the City.

The Luther Co.

By 

Title Operations Manager

Witness 

Witness 

OFFICE OF COUNTY RECORDER  
HENNEPIN COUNTY, MINNESOTA

CERTIFIED FILED AND OR  
RECORDED

2003 JAN 24 PM 4: 16

AS DOCUMENT  
**7928584**

*Michael A. Conroy* CO. REC.

*[Signature]*

DEPUTY

Duplicate  
Filing  
Certificate



Narrative

Rezoning, Conditional Use Permit  
Amendment and Lot  
Combination

Prepared for: The Luther Company, LLLP

February 28, 2020



PREPARED FOR  
The Luther Company, LLLP  
3701 Alabama Avenue S.  
St. Louis Park, MN 55416



PREPARED BY  
Landform Professional Services, LLC  
105 5<sup>th</sup> Ave S, Suite 513  
Minneapolis, MN 55401

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## Introduction

On behalf of The Luther Company, LLLP, Landform is pleased to submit this application for rezoning, conditional use permit amendment and lot combination approval to allow redevelopment of 8100 Brooklyn Boulevard. Our redevelopment plan includes demolition of the existing structure, construction of a parking lot expansion for additional vehicle inventory and a lot combination to combine the property with the existing Luther Brookdale Chrysler. We are excited about the improvements proposed for this site.

## Rezoning

We are requesting City approval for a rezoning to change the zoning designation from B-3 General Business District to B-4 Vehicle Sales and Showroom. The rezoning will change the site to a zoning district which allows vehicle inventory storage as a conditional use. The proposed zoning designation is consistent with the existing land use designation.

## Conditional Use Permit Amendment

We are requesting City approval for an amendment to the existing conditional use permit. The amendment would add the 8100 Brooklyn Boulevard property into the existing conditional use permit for the Luther Brookdale Chrysler. The amendment meets the standards for a conditional use permit. Specifically:

1. *Comprehensive Plan. Compliance with the Comprehensive Plan, public facilities and capital improvement plans, and all sections of the City Code.*

The proposed conditional use permit amendment is an expansion of the existing Luther Brookdale Chrysler business and is in compliance with comprehensive plan, public facilities and capital improvement plan.

2. *Traffic. The generation and characteristics of the traffic associated with the use and its impact on the traffic volumes of and safety associated with driveway location on adjacent roads, sidewalks and trail connections.*

The proposed amendment to the conditional use permit will have a minimal effect on the existing traffic associated with the site. The additional parking spaces will be used vehicle inventory which is a low turnover parking use.

3. *Parking. The characteristics of the parking area of the use, including the number and design of parking spaces, landscaping, traffic circulation, drainage, and lighting. The city may require additional parking above that required in §§152.140 through 152.146.*

The proposed parking area is designed to meet all applicable code standards in regard to size requirements, landscaping, traffic circulation, lighting and drainage.

4. *City services. The provision of adequate public facilities and services to the site where the use is proposed and the ability of the existing infrastructure to absorb the additional demand for city services.*

The demolition of the existing building will reduce the use of public water and sewer services for the site. The redevelopment of the site will slightly reduce the impervious surface coverage for the property creating less stormwater runoff going into the public storm sewer system.

5. *Screening and landscaping. The ability to screen and buffer incompatible off-site impacts of the proposed use on adjacent property and the surrounding neighborhood. The city may require additional landscaping or screening above that required in the specific zoning district.*

With the redevelopment of the site, additional interior landscaping and perimeter landscaping is proposed to bring the site into compliance with the code requirements and to screen the parked vehicles from the adjacent sidewalks.

6. *Architectural standards. The degree that the site or building associated with the proposed use meets or exceed the architectural design and landscaping standards for the district in which it is located. The city may require additional architectural standards above those required in the specific zoning district.*

The architectural standards do not apply because the building is being demolished and no new structure will be built.

## Lot Combination

We are also requesting approval of a lot combination to combine the 8100 Brooklyn Boulevard and 8188 Brooklyn Boulevard sites.

## Summary

We respectfully request approval of the Rezoning, Conditional Use Permit Amendment and Lot Combination to allow demolition of the existing structure at 8100 Brooklyn Boulevard and construction of a new parking area on the site.

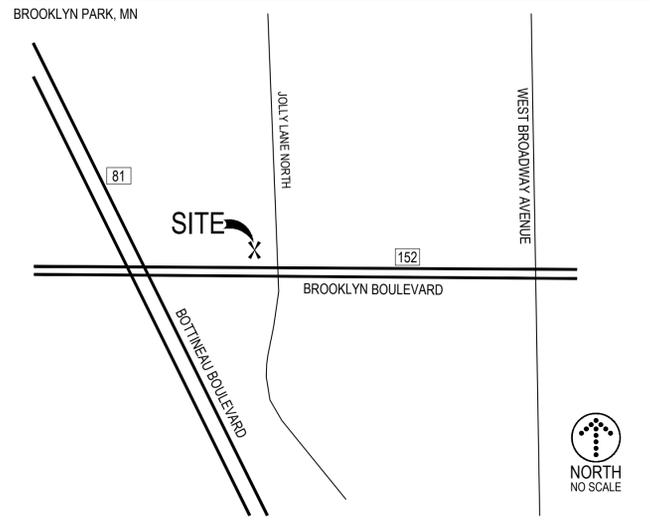
## Contact Information

This document was prepared by:

Kevin Shay  
Landform  
105 South Fifth Avenue, Suite 513  
Minneapolis, MN 55401

Any additional questions regarding this application can be directed to Sean Murphy at [smurphy@landform.net](mailto:smurphy@landform.net) or 612.638.0244.

AREA LOCATION MAP



DEVELOPER

THE LUTHER COMPANY, LLLP  
3701 ALABAMA AVENUE SOUTH  
ST. LOUIS PARK, MN 55416  
TEL (952) 258-8800 - FAX (952) 258-8900

MUNICIPALITY



PROJECT

Luther Brookdale  
Chrysler-Jeep-Dodge-Ram  
Brooklyn Park, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
02 MAR 2020	City Submittal	SES

# Luther Brookdale Chrysler-Jeep-Dodge-Ram

## Brooklyn Park, Minnesota

ABBREVIATIONS

D	Angle	LB.	Pound
&	And	LGU	Local Government Unit
@	At	LB.	Pound
100 YR.	100 Year Flood Elevation	LT.	Longitudinal
A.B.	Anchor Bolt	LT.	Light / Lighting
A.D.	Area Drain	MAINT.	Maintenance
A/C	Air Conditioning Unit	MAS.	Masonry
ADD.	Addendum	MATL.	Material
ADDL.	Additional	MAX.	Maximum
ADJ.	Adjacent / Adjust	MECH.	Mechanical
AHU	Air Handling Unit	MED.	Medium
ALT.	Alternate	MFR.	Manufacturer
ALUM.	Aluminum	MH	Manhole
ANOD.	Anodized	MIN.	Minimum / Minute
APPROX.	Approximate	MISC.	Miscellaneous
ARCH.	Architect / Architectural	MNDOT	Minnesota Department Of Transportation
AUTO.	Automatic	MOD.	Module / Modular
AVG.	Average	MUL.	Mulch
B.C.	Back of Curb	N	North
BW	Bottom of Wall	N.I.C.	Not In Contract
BFE	Basement Floor Elevation	NO. OR #	Number
BIT	Bituminous (Asphaltic)	NO.M	Normal
BLDG	Building	NTS	Not to Scale
BM	Benchmark	NWE	Normal Water Elevation
BSMT.	Basement	NWL	Normal Water Level
C.F.	Cubic Feet	O.F.	On Center
C.F.S.	Cubic Feet Per Second	O.G.	Outside Dimension
C.G.	Corner Guard	O.H.	Overhead Electric
C.J.	Control Joint	OH.	Overhead
C.L.	Centerline	CHWL	Ordinary High Water Level
C.M.U.	Concrete Masonry Unit	OPNG.	Opening
C.O.	Clearout	ORIG.	Original
C.O.E.	U.S. Army Corps Of Engineers	P.C.	Point of Curvature
C.Y.	Cubic Yards	P.I.	Point of Intersection
CB	Catch Basin	P.V.	Post Indicator Valve
CBMH	Catch Basin Manhole	P.L. OR P.L.	Property Line
CEM	Cement	P.O.B.	Point of Beginning
CIP	Cast Iron Pipe	P.S.F.	Pounds Per Square Foot
CMP	Corrugated Metal Pipe	P.S.I.	Pounds Per Square Inch
CONC.	Concrete (Portland)	P.T.	Point of Tangency
CONN.	Connection	P.V.C.	Point of Vertical Curvature
CONST.	Construction	P.V.L.	Point of Vertical Intersection
CONT.	Continuous	P.V.T.	Point of Vertical Tangency
CONTR.	Contractor	PE	Polyethylene
COP.	Copper	PED.	Pedestal / Pedestrian
CU.	Cubic	PERF.	Perforated
D.S.	Down Spout	PREP.	Preparation
DEG.	Degree	PROJ.	Project
DEMO.	Demolition / Demolish	PROP.	Proposed
DEPT.	Department	PVC	Poly-Vinyl-Chloride (Piping)
DET.	Detail	PVMT.	Pavement
DIA.	Diameter	QTR.	Quarter
DIAG.	Diagonal	QTY.	Quantity
DM.	Dimension	R	Radius
DIP	Ductile Iron Pipe	RAD.	Radius
DN	Down	RE	Rim Elevation (Casting)
DWG.	Drawing	R.D.	Roof Drain
E	East	R.E.	Remove Existing
E.J.	Expansion Joint	R.O.	Rough Opening
E.O.	Emergency Overflow	R.P.	Radius Point
E.O.S.	Emergency Overflow Swale	RC	Reinforced Concrete Pipe
E.W.	Each Way	R.S.	Rough Slab
EA.	Each EL. Elevation	RSD	Roof Storm Drain
ELEC.	Electrical	RE	Regarding
ELEV.	Elevation	REINF.	Reinforce
EMER.	Emergency	REQD.	Required
ENGR.	Engineer	REV.	Revision / Revised
ENTR.	Entrance	RSU	Regulatory Government Unit
EQ.	Equal	ROW OR RW	Right of Way
EQUIP.	Equipment	S	South
EQUIV.	Equivalent	S.F.	Square Feet
EXIST.	Existing	SAN.	Sanitary Sewer
EXP.	Expansion	SECT.	Section
F & I	Furnish and Install	SE	Split Entry / Side Exit
F.B.O.	Furnished by Others	SEWO	Split Entry Walk Out / Side Exit Walk Out
F.C.	Face of Curb	SHT.	Sheet
F.D.	Floor Drain	SIM.	Similar
F.D.C.	Fire Department Connection	SI.NT.	Sealant
F.V.	Field Venti	SPEC.	Specification
FB	Full Basement	SQ.	Square
FBWO	Full Basement Walk Out	SSD	Subsurface drain
FBLD	Full Basement Look Out	STMH	Storm Sewer Manhole
FM.	Foundation	STD.	Standard
FES	Flared End Section	STRUCT.	Structural
FFE	Finished Floor Elevation	SYM.	Symmetrical
FIR.	Floor	T	Thickness
FT. OR ( )	Foot	TIR	Top of Rim
FUT.	Future	TW	Top of Wall
G.B.	Grade Break	TEMP.	Temporary
G.C.	General Contractor	THK.	Thick / Thickness
GAL.	Gallon	T.J.	Tooled Joint
GALV.	Galvanized	TNH	Top Nut Hydrant
GFE	Garage Floor Elevation	TYP.	Typical
GL.	Glass	UN.O.	Unless Noted Otherwise
GR.	Grade	V.B.	Vapor Barrier
H.	Height	V.C.	Vertical Curve
H.P.	High Point	V.F.F.	Verify In Field
HDPEP	High Density Polyethylene Pipe	VER.	Verify
HGT	Height	VER.	Vertical
HORIZ.	Horizontal	VEST.	Vestibule
HVAC	Heating, Ventilation, Air Conditioning	W	Width
HYD	Hydrant	W.P.T.	Working Point
I.D.	Inside Dimension OR Identification	W.W.F.	Welded Wire Fabric
IE or IE	Invert Elevation	W	With
IN. OR ( )	Inches	W/O	Without
INFO.	Information	WO	Walk Out
INL.	Inlet Elevation	VER.	Vertical
INSUL.	Insulation	WP	Waterproof
INV.	Invert Elevation	WETL.	Weight
JT.	Joint	YD.	Yard
L.F.	Linear Feet	YR.	Year
L.P.	Low Point / Liquid Petroleum		

SYMBOLS

EXISTING	DESCRIPTION	NEW	DESCRIPTION
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY/OVERHANG
	CONCRETE		UNDERGROUND STRUCTURE
	BITUMINOUS		CONCRETE
	LANDSCAPING		CONCRETE CURB
	GRAVEL		EDGE OF PAVEMENT
	PAVING BLOCK		FENCING
	STORM SEWER LINE		GUARD RAIL
	SANITARY SEWER LINE		CONCRETE RETAINING WALL
	WATER MAIN		MODULAR RETAINING WALL
	OVERHEAD ELECTRIC		FIELDSTONE RETAINING WALL
	UNDERGROUND TELEPHONE		EXIT LOCATION
	UNDERGROUND FIBER OPTIC		LIGHT STANDARD
	UNDERGROUND ELECTRIC		POWER POLE
	GAS LINE		SLOPE DIRECTION
	CONCRETE CURB		CATCH BASIN
	FENCING		MANHOLE
	RETAINING WALL		BOLLARD
	SET 1/2" X 1/4" IRON PIPE		STORM SEWER
	IRON MONUMENT FOUND		SANITARY SEWER WASTE
	SURVEY DISK (BENCHMARK)		FORCE MAIN
	POWERPOLE		ROOF DRAIN SYSTEM
	GUY WIRE		WATERMAIN
	GUARD POST		FIRE LINE (IF SEPARATE)
	GAS METER		FIRE DEPT. CONNECTION
	TRANSFORMER		SOIL SUBDRAIN
	WATER SHUT-OFF VALVE		GAS LINE-UNDERGROUND
	TRAFFIC SIGN		ELECTRIC-UNDERGROUND
	FLAG POLE		TELEPHONE-UNDERGROUND
	LIGHT POLE		UNDERGROUND CABLE/TV
	TREES		LAWN SPRINKLER SLEEVE
	TREE LINE		
	MANHOLE		
	CATCH BASIN		
	FIRE HYDRANT		
	WATER VALVE		
	FLARED END SECTION		
	MAILBOX		
	NOTE NUMBER		
	MEASURED DISTANCE		
	DISTANCE PER RECORDED PLAT		
	SOIL BORING		

EROSION CONTROL SYMBOLS

SYMBOL	DESCRIPTION
	INLET PROTECTION
	EROSION CONTROL BLANKET

DRAWING SYMBOLS

SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

LEGAL DESCRIPTION

That part of the Southeast Quarter of the Southeast Quarter of Section 19, Township 119, North Range 21, West of the 5th Principal Meridian, described as follows: Beginning at a point on the East line of the Southeast Quarter of the Southeast Quarter of said Section, distant 161.81 feet North of the Southeast corner thereof; thence South on said East line a distance of 128.81 feet; thence West parallel the South line of said Southeast Quarter of the Southeast Quarter of Section 19 a distance of 201.43 feet; thence North measured at right angles a distance of 128.79 feet; thence East parallel with the said South line of the Southeast Quarter of the Southeast Quarter of Section 19 a distance of 199.35 feet more or less to the point of beginning.

BENCHMARK

PROJECT BENCHMARK:  
MNDOT GSID STATION #80975  
STATION NAME: 2721 W

IN BROOKLYN PARK, 0.4 MILE SOUTHEAST ALONG COUNTY ROAD 81 FROM THE JUNCTION OF COUNTY ROAD 81 AND TRUNK HIGHWAY 169, 85.2 FEET EAST OF NORTHBOUND COUNTY ROAD 81, 51.0 FEET WEST OF SOUTHBOUND LAKELAND AVENUE, 22.6 FEET EAST OF POWER POLE WITH GUY WIRE, 33.9 FEET NORTHWEST OF NSP UTILITY BOX, 1.4 FEET WEST OF WITNESS POST.  
ELEVATION = 881.16 (NAVD 88)

SITE BENCHMARK:  
TOP NUT OF FIRE HYDRANT

LOCATION: 35 FEET NORTHERLY OF NORTHEAST PROPERTY CORNER OF SITE.  
ELEVATION = 877.86 (NAVD 88)

OWNER

THE LUTHER COMPANY, LLLP  
3701 ALABAMA AVE S  
ST. LOUIS PARK, MN, 55416  
TEL (952) 258-8800  
FAX (952) 258-8900  
CONTACT: LINDA MCGINITY

PROJECT CONTACTS

CIVIL ENGINEER  
LANDFORM  
105 SOUTH FIFTH AVENUE, SUITE 513  
MINNEAPOLIS, MN 55401  
TEL 612-252-9070  
CONTACT: SEAN MURPHY

SURVEYOR  
LANDFORM  
105 SOUTH FIFTH AVENUE, SUITE 513  
MINNEAPOLIS, MN 55401  
TEL 612-252-9070  
CONTACT: LYNN CASWELL

LANDSCAPE ARCHITECT  
LANDFORM

105 SOUTH FIFTH AVENUE, SUITE 513  
MINNEAPOLIS, MN 55401  
TEL 612-252-9070  
CONTACT: JARED LEE

CIVIL / LANDSCAPE SHEET INDEX & REVISION MATRIX

SHEETS ISSUED BY DATE	DESCRIPTION	REV	DATE
C0.1	CIVIL & LANDSCAPE TITLE SHEET	X	
C1.1	EXISTING CONDITIONS	X	
C1.2	DEMOLITION	X	
C2.1	SITE PLAN	X	
C2.2	SITE PHOTOMETRICS	X	
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL	X	
C7.1	CIVIL CONSTRUCTION DETAILS	X	
L2.1	LANDSCAPE	X	

CERTIFICATIONS

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Sean P. Murphy, P.E.  
LICENSE NUMBER: 56604 DATE: 02 March 2020

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Jared C Lee, L.A.  
LICENSE NUMBER: 44369 DATE: 02 March 2020

CERTIFICATION

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED WITHOUT INTERFERED RELIABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

City Submittal  
03.02.2020



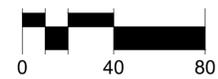
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C001LUT047.DWG  
PROJECT NO.: LUT19047

TITLE SHEET

**C0.1**



## 8100 Brooklyn Boulevard

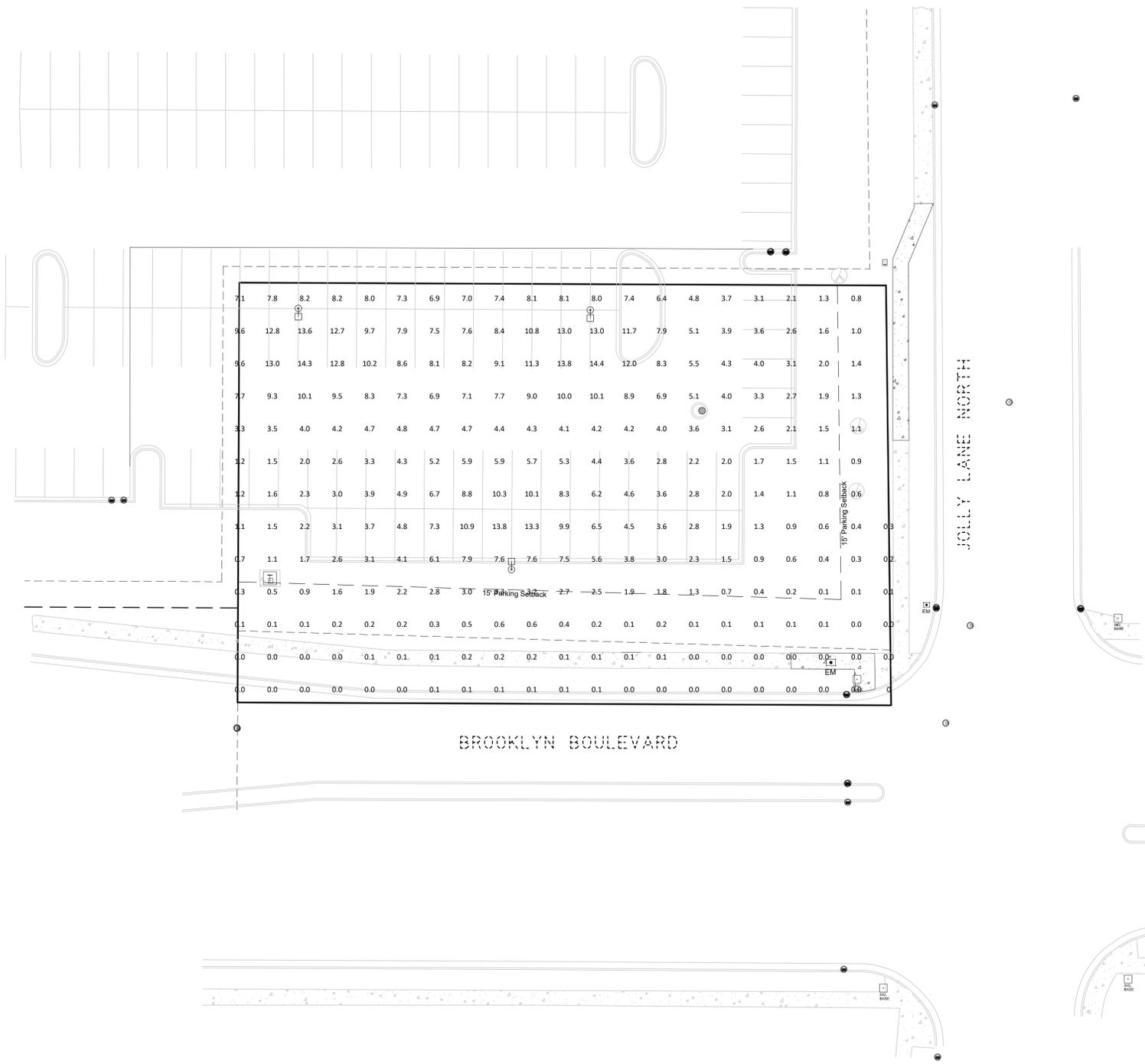
Luther Brookdale Parking Lot Expansion • Brooklyn Park, MN

03.10.2020





PID 19-119-21-44-0019  
 8188 BROOKLYN BLVD.  
 BROOKLYN PARK, MN 55445  
 OWNER: THE LUTHER COMPANY, L.L.P.  
 A MINNESOTA LIMITED LIABILITY LIMITED PARTNERSHIP



CALLOUT	SYMBOL	NAME	QUANTITY	MOUNTING	LLF	LUMEN WATTS	BUG RATING	MODEL*	MOUNTING HEIGHT
A		POLE	2	POLE	1.0	130	B3-UD-G3	OSQ-HO-A-XX-3ME-40L-40K-UL-WH	25'
B		POLE	1	POLE	1.0	130	B2-UD-G2	OSQ-HO-A-XX-2ME-40L-40K-UL-WH-OSQ-HO-BLSF	25'

\*ALL LIGHT FIXTURES ARE BY CREE LIGHTING.

CALCULATION AREA	CALCULATION TYPE	UNITS	AVERAGE	MAXIMUM	MINIMUM
PARKING SURFACE	ILLUMINANCE	FC	6.3	15.2	1.2

**LIGHTING NOTES**

- COORDINATE WITH ELECTRICAL CONTRACTOR TO PROVIDE CONDUITS FOR SITE LIGHTING.
- PHOTOMETRIC CALCULATIONS ARE BASED ON LUMINAIRE SCHEDULE BELOW WITH SPACING SHOWN ON PLAN. SUBSTITUTIONS MUST BE APPROVED BY OWNER AND MEET PROJECT REQUIREMENTS PRIOR TO PURCHASE AND INSTALLATION.
- CONCRETE BASE, FOOTING AND FOUNDATION TO BE DESIGNED BY STRUCTURAL OR TECHNICAL ENGINEER. COORDINATE WITH LIGHTING SUPPLIER TO ENSURE MOUNTING BRACKETS ARE PROPERLY SET.
- LIGHT POLE BASE TO BE DESIGNED AND APPROVED BY OTHERS.

**DEVELOPER**

THE LUTHER COMPANY, L.L.P.  
 3701 ALABAMA AVENUE SOUTH  
 ST. LOUIS PARK, MN 55416  
 TEL (952)258-8800 - FAX (952)258-8900

**MUNICIPALITY**



**PROJECT**

Luther Brookdale  
 Chrysler-Jeep-Dodge-Ram  
 Brooklyn Park, MN

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
02 MON 2020	City Submittal	SES

**OSQ Series**

OSQ™ LED Area/Flood Luminaire - Medium

Rev. Date: V23 01/10/2020

**Product Description**

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatherright LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The 'B' input power designator is a suitable upgrade for HID applications up to 250 Watt, and the 'K' input power designator is a suitable upgrade for HID applications up to 400 Watt.

**Applications:** Parking lots, walkways, campuses, car dealerships, office complexes, tunnels, underpasses, and internal roadways.

**Performance Summary**

- NanoOptic™ Precision Delivery Grid™ optic
- Assembled in the U.S.A. of U.S. and imported parts
- Initial Delivered Lumens: Up to 17,291
- Efficacy: Up to 136 LPW
- CRIs: Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)
- CCT: 3000K, 4000K, 5000K, 5700K
- Limited Warranty:** 10 years on luminaire/10 years on Colorfast DeltaGuard™ finish/5 years on Synapse wireless control accessories/1 year on luminaire accessories

\*See [data.creeledighting.com/nano](http://data.creeledighting.com/nano) for warranty terms

**Ordering Information**

Fully assembled luminaire is composed of two components that must be ordered separately:  
 Example: Mount OSQ-B-AA5V + Luminaire OSQ-A-NM-2ME-B-40K-UL-WH

Mount Luminaire must be ordered separately*	Color Options
OSQ- OSQ-B-AA Adjustable Arm OSQ-DA Drive Arm OSQ-M-TSP Transportation Mount (stainless steel; do not specify color) OSQ-TM Truss Mount	SV Silver BK Black WH White

\* Reference EPA and pole configuration suitability data beginning on page 9

**Luminaire (Mount must be ordered separately)**

OSQ	A	NM	Mounting	Optic	Input Power Designator	CCT	Voltage	Color Options	Options
OSQ	A	NM	No Mount	Asymmetric 2ME* Type II Medium 3ME* Type III Medium Symmetric SME Type V 25° Flood SME Type V 40° Flood SME Type V Short WSN Wide-Sign 15° Flood	B K Z S S S S	30K 3000K 40K 4000K 50K 5000K 57K 5700K 75 CRI	UL Universal K 120V UL Universal UL 347-480V S 277V S 277V S 277V S 277V S 277V	BK Black SV Silver WH White	<b>PML Programmable Multi-Level, 9-18' Mounting Height</b> - Refer to PML_spec sheet for details - Intended for downlight applications at 9' or 12' <b>PML2 Programmable Multi-Level, 18-30' Mounting Height</b> - Refer to PML2_spec sheet for details - Intended for downlight applications at 18' <b>09/04/06/04/02/01 Field Adjustable Output</b> - Must select 09, 04, 05, 04, 03, 02, or 01 - Offers full range adjustability - Refer to pages 11-12 for power and lumen values - Available with B & K Input Power Designators only - Not available with PML or PML2 options

\* Available with Backlight Shield when ordered with field-installed accessory lens tube shield



US: [creeledighting.com](http://creeledighting.com) 800 236-6800  
 Canada: [creeledighting-canada.com](http://creeledighting-canada.com) 800 473-1234

**CERTIFICATION**

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

IF THE SIGNATURE SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED REPRODUCIBILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

City Submittal  
 03.02.2020



105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: [landform.net](http://landform.net)

FILE NAME C202LUT047.DWG

PROJECT NO. LUT19047

**SITE PHOTOMETRICS**

**C2.2**

SHEET NO. 4/7



Know what's Below.  
 Call before you dig.





DATE	ISSUE / REVISION	REVIEW
02 MON 2020	City Submittal	SES

GENERAL NOTES

1. For construction staking and surveying services contact Landform at 612.252.9070.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- Install perimeter sediment controls prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and dispose of off site.
- Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.
- Management practices shown are the minimum requirement. Install and maintain additional controls as work proceeds to prevent erosion and control sediment carried by wind or water.
- All exposed soil areas must be stabilized within 72 hours of completion of work in each area.
- Seed, Sod, Mulch, Erosion Control Blanket, and Fertilizer shall meet the following Specifications, as modified.

Item	Specification Number	Estimated Quantities
Sod	MNDOT 3876	5300 s.f.
Seed	MNDOT 3876	
MN Type 21-111 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control: May 1 - Jul 31		
MN Type 21-112 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control: Aug 1 - Oct 31		
22 lbs.		
Mulch	MNDOT 3882	430 ton
Fertilizer	MNDOT 3881	
General Placement	MNDOT 2575	
- See Landscape Sheets for permanent turf and landscape establishment.
- Scrape adjacent streets clean daily and sweep clean weekly.

GRADING NOTES

- Contact utility service providers for field location of services 72 hours prior to beginning grading.
- Reserved.
- Remove topsoil from grading areas and stockpile sufficient quantity for reuse. Materials may be mined from landscape areas for use on site and replaced with excess organic material with prior Owner approval.
- Remove surface and ground water from excavations. Provide initial lifts of stable foundation material if exposed soils are wet and unstable.
- Reserved.
- Reserved.
- An Independent Testing Firm shall verify the removal of organic and unsuitable soils, soil correction, and compaction and provide periodic reports to the Owner.
- Place and compact fill using lift thicknesses matched to soil type and compaction equipment to obtain specified compaction throughout the lift.
- Compact cohesive soils in paved areas to 95% of maximum dry density. Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. Compact to 98% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
- Reserved.

PAVING NOTES

- Spot Elevations at curbs indicate flowlines unless noted otherwise. See Sheet C3.1 for rim elevations of catch basins.
- Grades between proposed spot elevations shall be continuous and nonvariable. Spot Elevations shall govern over contour lines.
- Meet and Match existing curb. Transition as needed.
- Paving Sections
  - Bluminous Paving (Light Duty)
    - 1.5-inch Bluminous Wear (MNDOT 2360, SPIWEA240B)
    - Tack Coat (MNDOT 2357)
    - 2.5-inch Bluminous Base (MNDOT 2360, SPWB230B)
    - 6-inch Aggregate Base (MNDOT 3138, Class 5)
    - 12-inch Select Granular Base (MNDOT 3145.2.B.2)
    - Compacted Subsoil
  - Concrete Walkways
    - 4-inch Concrete Walk, 4000 PSI, 5%-8% Air Entrained, Max. 4" Slump (MNDOT 2301)
    - 4-inch Aggregate Base (MNDOT 3138, CLASS 5)
    - Compacted Subsoil
- Concrete Joints
  - Install joints as shown and align across sidewalks, curbs, and pavement, paying attention to spacing of expansion joints. Joint spacing shall be as follows:
    - Tooled joints: Divide panels into nominally equal areas unless shown otherwise.
    - Expansion Joints: Sidewalks - 40 feet max.; Curbs - 60 feet max.; Pavement: 80 feet max.; Adjacent to building foundations and stoops.
    - Contraction Joints: Sidewalks - 8 to 10 feet; Curbs and Aprons - 12 to 15 feet.
- Reserved.
- Accessible Routes shall have a maximum cross slope of 2.00% and a maximum running slope of 5.00%.
- Adjust all structure rims to match pavement elevations.

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Inlet Protection	7 ea.
	Silt Fence	405 ft.
	Vehicle Tracking Pad	1 ea.
	Tip Out Curb	
	Pavement Sawcut	
	Construction Limits	

CERTIFICATION

PRELIMINARY  
NOT FOR  
CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE THIS SHEET HAS BEEN REPRODUCED WITHOUT INTEGRITY, READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

City Submittal  
03.02.2020



105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME C301LUT047.DWG  
PROJECT NO. LUT19047

GRADING PLAN

C3.1

SHEET NO. 517



Know what's Below.  
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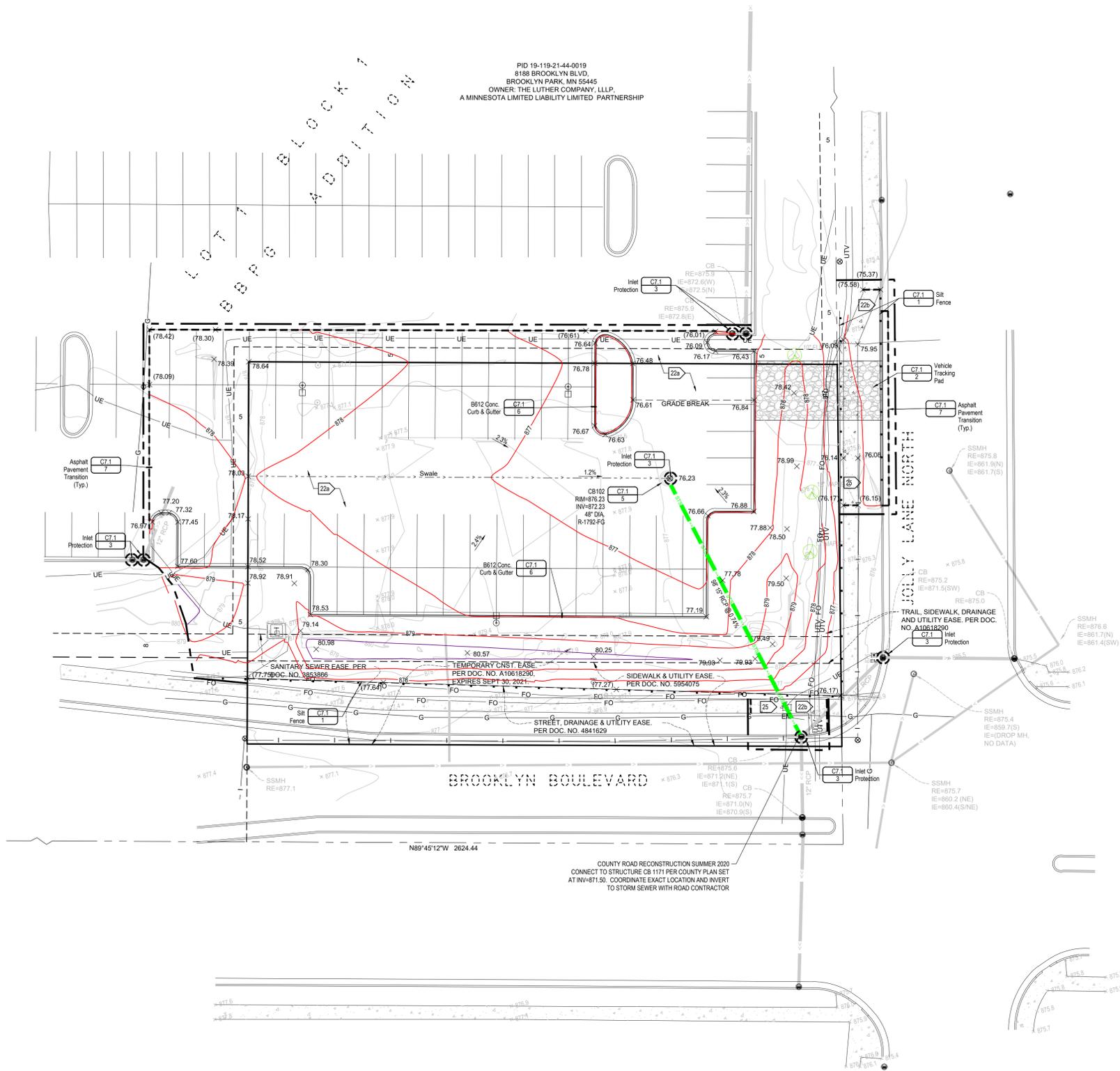


NORTH



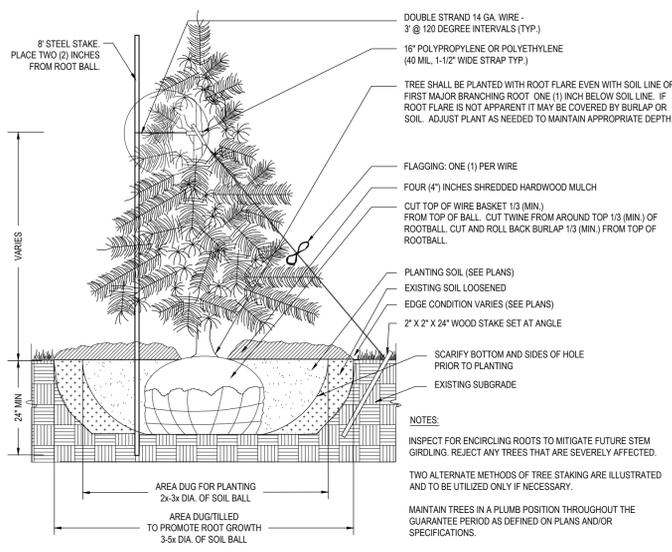
PID 19-119-21-44-0019  
8188 BROOKLYN BLVD.  
BROOKLYN PARK, MN 55445  
OWNER: THE LUTHER COMPANY, LLLP  
A MINNESOTA LIMITED LIABILITY LIMITED PARTNERSHIP

LOT 7  
BLOCK 7  
ADDITION

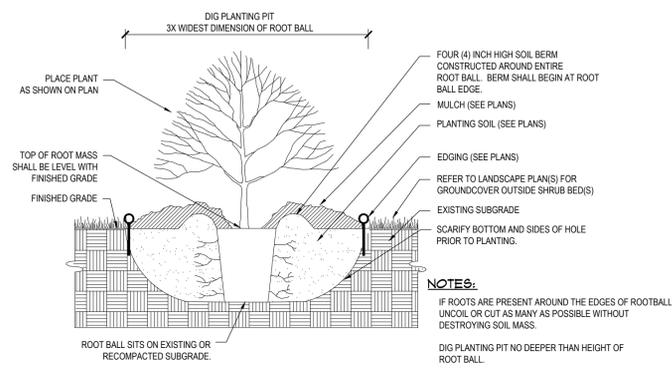


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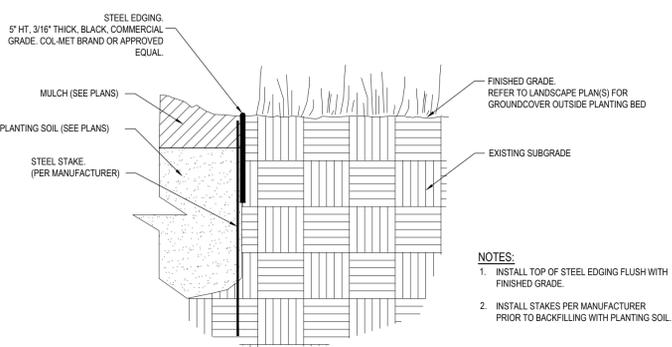
COUNTY ROAD RECONSTRUCTION SUMMER 2020  
CONNECT TO STRUCTURE CB 1171 PER COUNTY PLAN SET  
AT INV=871.50. COORDINATE EXACT LOCATION AND INVERT  
TO STORM SEWER WITH ROAD CONTRACTOR



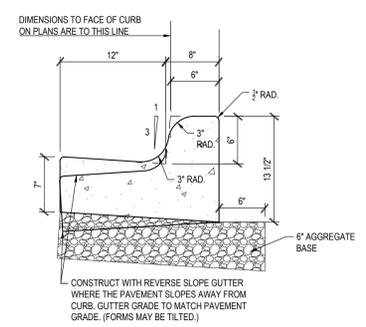
**9 CONIFEROUS TREE PLANTING** NO SCALE



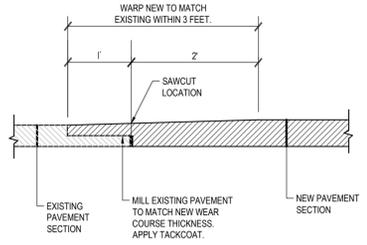
**10 SHRUB PLANTING** NO SCALE



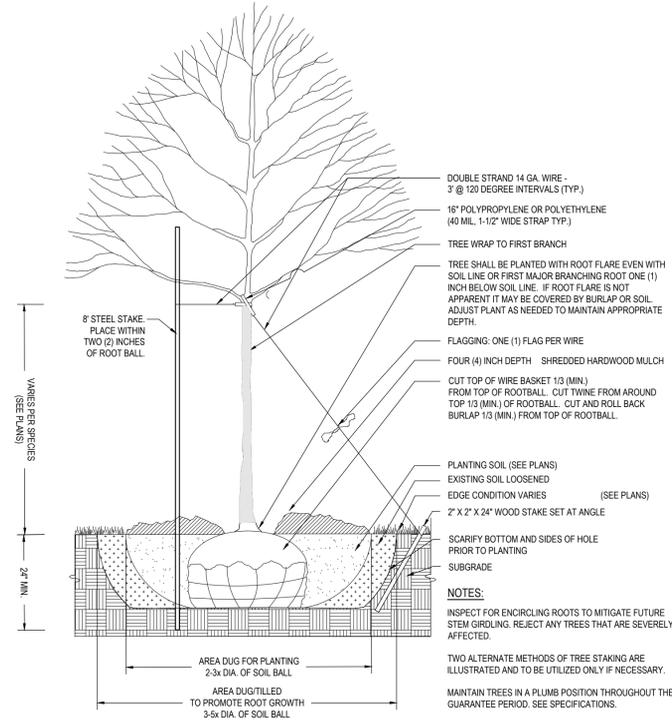
**11 EDGING - STEEL** NO SCALE



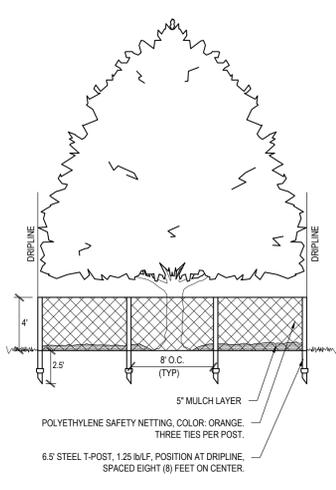
**6 B612 CONCRETE CURB AND GUTTER** NO SCALE



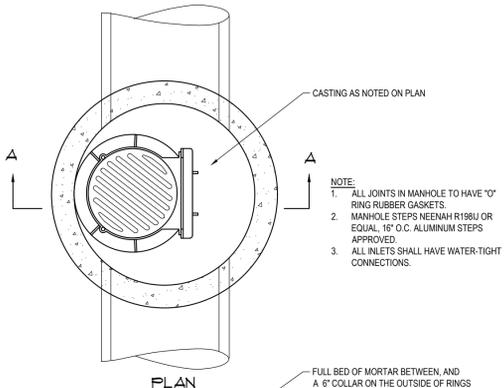
**7 ASPHALT PAVEMENT TRANSITION** NO SCALE



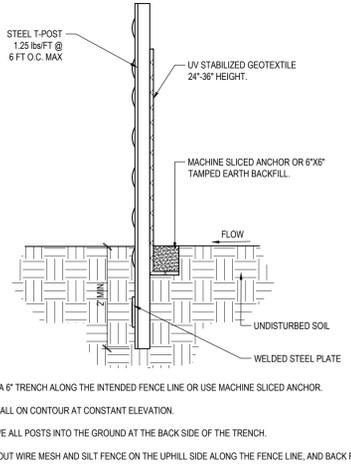
**8 DECIDUOUS TREE PLANTING** NO SCALE



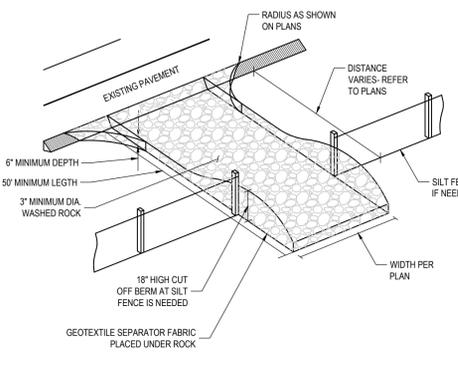
**4 TREE PROTECTION** NO SCALE



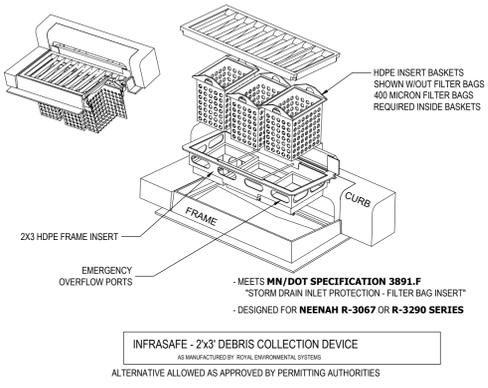
**5 STORM SEWER CATCH BASIN MANHOLE** NO SCALE



**1 SILT FENCE** NO SCALE

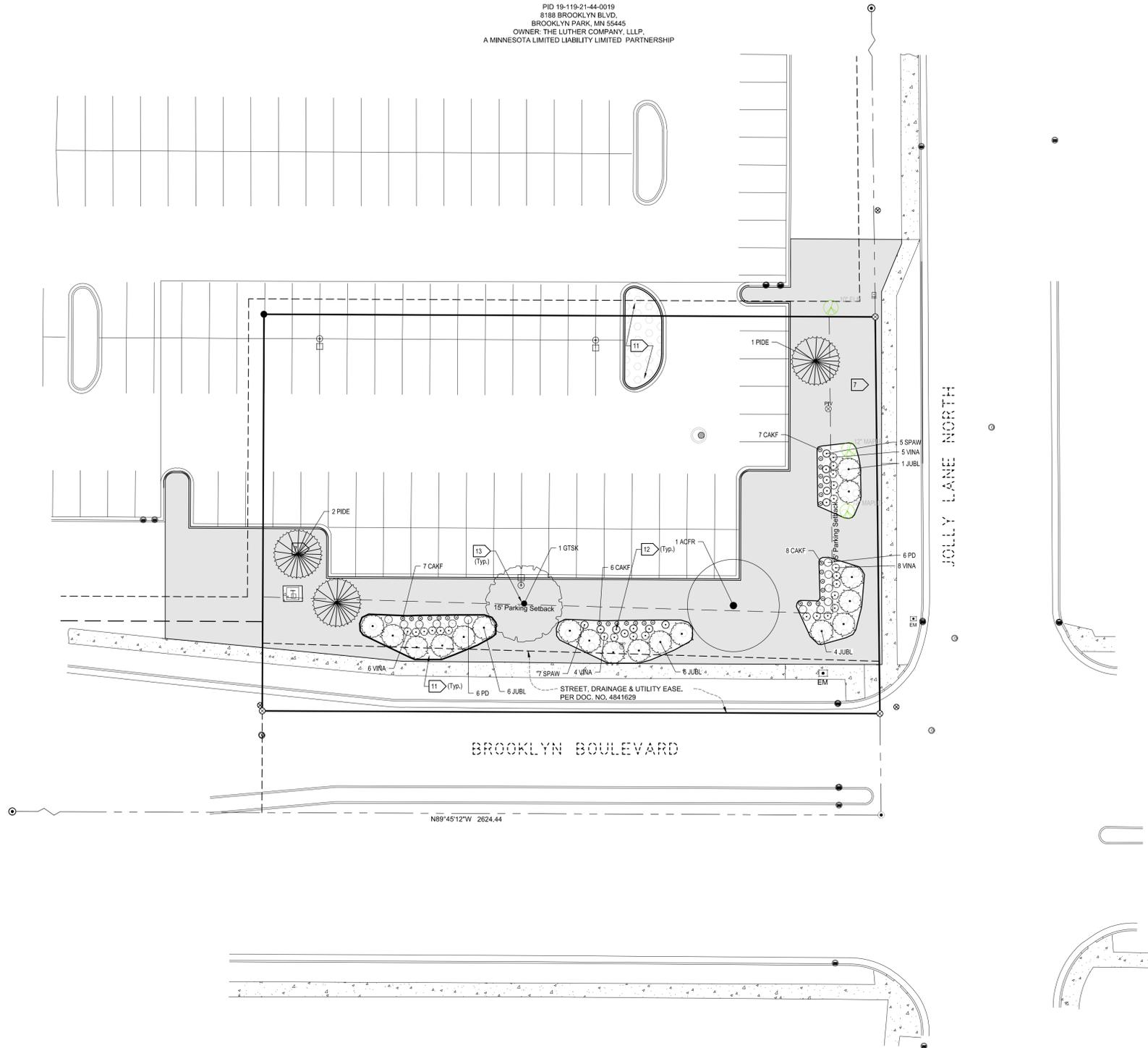


**2 VEHICLE TRACKING PAD** NO SCALE



**3 INLET PROTECTION 2'x3'** NO SCALE

PID 19-119-21-44-0019  
 8188 BROOKLYN BLVD,  
 BROOKLYN PARK, MN 55445  
 OWNER: THE LUTHER COMPANY, LLLP,  
 A MINNESOTA LIMITED LIABILITY LIMITED PARTNERSHIP



**GENERAL NOTES**

- For construction Staking and Surveying services contact Landform at 612.252.9070.
- Contact Utility Service providers for field location of services 72 hours prior to beginning.
- Coordinate installation with Contractors performing related work.
- Plant material shall conform to the American Association of Nurserymen Standards and be of hardy stock, free from disease, infestation, damage, and disfigurement. For discrepancy between the number of plants on the Schedule and the number shown on the Drawing, the Drawing shall govern.
- All existing deciduous/coniferous trees are to be trimmed of dead wood and pruned to a natural uniform shape.
- Planting soil shall consist of 4 parts topsoil to 1 part peat humus, with 3 pounds of commercial fertilizer added per cubic yard.
- Spread a minimum of 6 inches of topsoil and sod all turf areas disturbed by Construction.
- Edge shrub beds with steel edging except where adjacent to curbing, walks or buildings. Refer to Detail 11 on Sheet C7.1.
- Place plants according to layout with proper nominal spacing.
- See Details for depth of planting soil.
- Install 4 inch depth of triple shredded hardwood mulch in Shrub Bed Areas.
- Reserved.
- Install a 4-foot diameter shredded hardwood mulch dish around trees not placed within a Shrub or Perennial Planting Bed. Vinyl edging is not required, unless noted otherwise.
- All plant material shall be Warranted for two (2) growing seasons, per MNDOT 2571.K.

**LEGEND**



**LANDSCAPE REQUIREMENTS**

MINIMUM REQUIRED LANDSCAPE AREA PER LOT: 25%	6452 S.F. = 25,806 S.F. x 25%
ONE OVERSTORY TREE PER 3,000 S.F. OF OPEN AREA	3 = 6452 S.F. / 3,000
ONE CONIFEROUS TREE PER 3,000 S.F. OF OPEN AREA	3 = 6452 S.F. / 3,000
ONE DECIDUOUS OR CONIFEROUS SHRUB PER 100 S.F. OF OPEN AREA	65 = 6452 S.F. / 100
OVERSTORY TREES PROVIDED	4-2 Existing, 2 New
CONIFEROUS TREES PROVIDED	3
SHRUBS PROVIDED	65

**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.	QTY
	ACFR	ACER X FREEMANII 'JEFFSRED' / AUTUMN BLAZE MAPLE	50'H X 40'W	2.5'CAL	B & B	1
	GTSK	GLEDITSIA TRIACANTHOS 'SKYLINE' / SKYLINE HONEY LOCUST	40'H X 30'W	2.5'CAL	B & B	1
	PIDE	PICEA GLAUCA 'DENSATA' / BLACK HILLS SPRUCE	45'H X 20'W	5' HEIGHT	B & B	3
SHRUBS	CODE	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.	QTY
	JUBL	JUNPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER	1'H X 10'W	3 GAL.	POT	18
	PD	PHYSOCARPUS OPUULIFOLIUS 'DONNA MAY' TM / LITTLE DEVIL NINEBARK	3'H X 3'W	3 GAL.	POT	12
	SPAW	SPIRAEA X BUMALDA 'ANTHONY WATERER' / ANTHONY WATERER SPIRAEA	3'H X 3'W	3 GAL.	POT	12
	VINA	VIBURNUM OPULLUS 'NANUM' / DWARF EUROPEAN VIBURNUM	2'H X 3'W	3 GAL.	POT	23
GRASSES	CODE	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.	QTY
	CAKF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	4'H X 2'W	2 GAL.	POT	29

**DEVELOPER**

THE LUTHER COMPANY, LLLP  
 3701 ALABAMA AVENUE SOUTH  
 ST. LOUIS PARK, MN 55416  
 TEL (952)258-8800 - FAX (952)258-8900

**MUNICIPALITY**



**PROJECT**

Luther Brookdale  
 Chrysler-Jeep-Dodge-Ram  
 Brooklyn Park, MN

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
03 MAR 2020	City Submittal	SES
10 MAR 2020	City Resubmittal	SES

**CERTIFICATION**

**PRELIMINARY  
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City Submittal  
 03.10.2020



105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

FILE NAME L201LUT047.DWG  
 PROJECT NO. LUT19047

**LANDSCAPE PLAN**

**L2.1**  
 SHEET NO. 717



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NORTH



# City of Brooklyn Park Request for Council Action

<b>Agenda Item:</b>	6.3	<b>Meeting Date:</b>	May 26, 2020
<b>Agenda Section:</b>	Land Use Actions	<b>Originating Department:</b>	Community Development
<b>Resolution:</b>	X	<b>Prepared By:</b>	Todd A. Larson, Senior Planner
<b>Ordinance:</b>	N/A		
<b>Attachments:</b>	6	<b>Presented By:</b>	Cindy Sherman, Planning Director
<b>Item:</b>	The Luther Company LLLP – Conditional Use Permit #20-110 for Auto Repair, Vehicle Sales, and Vehicle Staging at 7235-7417 Brooklyn Boulevard		

## City Manager's Proposed Action:

MOTION \_\_\_\_\_, SECOND \_\_\_\_\_, TO WAIVE THE READING AND ADOPT RESOLUTION #2020-\_\_\_\_\_ APPROVING CONDITIONAL USE PERMIT FOR AUTO REPAIR, VEHICLE SALES, AND VEHICLE STAGING AT 7235-7417 BROOKLYN BOULEVARD.

## Planning Commission Recommendation:

At its meeting on May 13, 2020, the Planning Commission unanimously recommended approval of the conditional use permit with the conditions that are listed in the attached resolution.

## Overview:

Luther Auto has owned and operated vehicle sales and repair businesses on Brooklyn Boulevard for many years. Luther owns four buildings between Regent Avenue and the city boundary with Brooklyn Center. As the auto industry has changed, so has the type of structures and preferred locations for the different brands. The Brooklyn Park buildings have changed auto brands over time as new sites have been constructed further south and near Interstate 694. Today, one building is used as a training center with the other buildings being vacant or under-utilized.

The property owner has submitted a plan to address all of the holdings and is requesting approvals to make some changes to the properties: 1.) The former Scion dealership building at 7415 Brooklyn Boulevard is proposed to be remodeled into an auto repair building for Luther Collision and Glass; 2.) The former Fiat dealership building in the 7417 building has not been used for car sales for many years and was most recently used as a training facility. It is proposed to be the new home for the Cars and Credit used car sales; and 3.) demolish the current Cars and Credit building (7325) and the former Toyota City (7305) building to make more spaces available for vehicle staging. The three existing parcels are zoned Village Redevelopment where all uses are permitted subject to a conditional use permit. All three tax parcels will also be combined into a single lot (an administrative action).

**Budgetary/Fiscal Issues:** N/A

## Alternatives to consider:

1. Approve the CUPs as recommended by the Planning Commission.
2. Approve the CUPs with modifications.
3. Deny the CUPs based on certain findings.

**Attachments:**

- 6.3A RESOLUTION
- 6.3B LOCATION MAP
- 6.3C PLANNING AND ZONING INFORMATION
- 6.3D PLANNING COMMISSION MINUTES
- 6.3E APPLICANT'S NARRATIVE
- 6.3F PLANS

RESOLUTION #2020-

RESOLUTION APPROVING CONDITIONAL USE PERMIT  
FOR AUTO REPAIR, VEHICLE SALES, AND VEHICLE STAGING  
AT 7235-7417 BROOKLYN BOULEVARD

Planning Commission File #20-110

WHEREAS, Ms. Linda McGinty on behalf of The Luther Company has made an application for a conditional use permit on properties legally described as:

*Parcel 1 (7235 and 7239 Brooklyn Boulevard): That part of the Southeast quarter of the Northeast quarter of Section 28, Township 119, Range 21, lying Southwesterly of Highway Number 152 and Southeasterly of Golden Fox Addition, Hennepin County, Minnesota*

*Parcel 2 (7305 and 7325 Brooklyn Boulevard): Lots 2 and 3, Golden Fox Addition, Hennepin County, Minnesota*

*Parcel 3 (7401, 7415, and 7417 Brooklyn Boulevard): Lot 1, Block 1, Golden Fox Addition and that part of the Southwest quarter of the Northeast quarter of Section 28, Township 119, Range 21, lying Northeasterly of said Lot 1 and Northwesterly of Lot 2 in said Block 1 and Southwesterly of Brooklyn Boulevard and Southeasterly of Regent Avenue North, Hennepin County, Minnesota*

WHEREAS, A conditional use permit was granted for Parcel 2 through Resolution #1988-172 and recorded as Document Number 5495900 for car sales and service; and

WHEREAS, no conditional use permit was granted for either Parcel 1 or Parcel 3 as vehicle sales pre-date the current zoning requirements; and

WHEREAS, the property owner is requesting to make changes to the parcels.

NOW, THEREFORE, BE IT RESOLVED by the Brooklyn Park City Council that a conditional use permit is hereby granted for auto repair, vehicle sales, and vehicle staging subject to the following conditions:

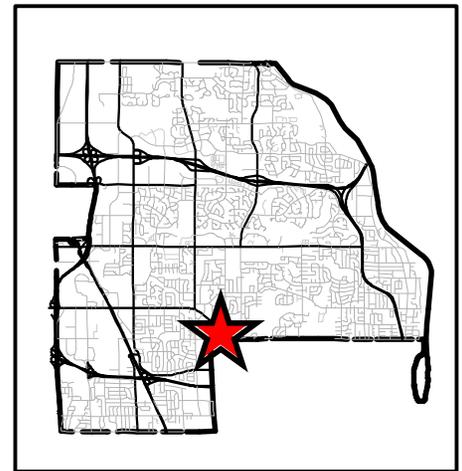
1. Per Site Plan dated April 10, 2020, Parking Areas plan dated April 14, 2020, and Building Plans dated March 24, 2020.
2. All three parcels described above must be combined into a single tax parcel with Hennepin County.
3. All previous conditional use permits are rescinded and replaced with this conditional use permit.
4. Infill lighting must match existing freestanding lighting. All lighting must be downcast and shielded. Existing wall-mounted lighting must be replaced with downcast and shielded lighting.
5. The removal of the 7305 and 7325 buildings and utility services must be done according to City rules, including the proper removal of utility services.
6. The areas where buildings were removed must be paved and striped.
7. Shingle Creek Watershed rules must be followed for the changes to the site. The applicant will work with the City Engineer to resolve storm water management issues.
8. The fence between the staging area and the transport drop-off area must be a black vinyl coated chain link fence or more decorative.
9. Car transport vehicles must load, unload, or park in the designated area only. Parking, loading, and/or unloading on Regent Avenue or Brooklyn Boulevard is strictly prohibited.
10. A valid vehicles dealer's license from the State of Minnesota is required.
11. Signs are allowed according to the B4 Vehicle Sales and Showroom District requirements.

**Conditional Use Permits #20-110 Luther Automotive  
7239-7417 Brooklyn Blvd. N.**



Spring 2018 Air Photo.

100  
Feet



Map Date April 10, 2020

Land Use Plan	Neighborhood Mixed Use
Current Zoning	Village Redevelopment (VR)
Surrounding Zoning	East – Public Institution (PI) <i>Park Center High School</i> North – Village Redevelopment (VR) West – Village Redevelopment (VR)
Neighborhood	Village Creek
Site Area	11.76 acres (total)
Conforms to:	Land Use Plan – No Zoning Code – Yes Variances Needed – None
Notification	64 Mailed Notices 2 Proposed Development Signs Sun Post Legal Notices April 30 Neighborhood Update Email – Village Creek and Park Center

### Vehicle Repair

The 7415 building is currently used mostly as office space and contains a single garage bay. The building interior will be substantially remodeled by removing most of the offices and adding service bays transforming it into Luther Collision and Glass. Two additional overhead doors will be installed. The front of the building will remain unchanged other than being repainted.

### Vehicle Sales

The 7417 building has been used as a training facility for Luther employees over the past few years. Previous to that, it was used as the Fiat dealership. The rear of the building was and is still being used for auto repair and preparing vehicles for sale. The building is proposed to be the new home for the Cars and Credit used car sales business that is currently in the 7325 building. Sales have not occurred in that building for over a year, although cars parked outside have been for sale on either side of the building. Additionally, car sales on this property predated the conditional use permit requirement.

### Parking and Staging

The applicant prepared a parking plan for the site. The Cars and Credit sales inventory will be located mainly to the area between the 7417 building and Regent Avenue with a smaller area directly between the 7415 building and Brooklyn Boulevard.

The Collision and Glass vehicles will be parked in front and behind the 7415 building. The applicant indicated that they do business by appointment and that customer vehicles will not be stored outside overnight as the repairs generally take one day. Any customer vehicles needing to remain overnight will be parked inside for security.

The balance of the site will be used for vehicle staging. This area is where Luther will receive new and used cars from manufacturers and other dealers for processing before sales. These vehicles will eventually be sold at other Luther sites in the region. The processing will occur in the 7417 building.

The parking lot will be modified in certain areas. The removal of the 7305 and 7325 buildings will be replaced with new pavement for more parking spaces. Two of the driveways to Brooklyn Boulevard and one of the driveways to Regent Avenue will be removed. Those driveway aprons must be removed, curbing replaced, the sidewalks repaired (if necessary), and the boulevard planted.

At the western corner of the site, a car transporter drop-off and pick-up area is shown. This area will allow the transporters a dedicated off-road place. A chain-link fence will separate this area from the rest of the staging lot. Vehicles dropped off in this area are expected to be moved into the main staging area the next day in the event the cars were dropped off after hours. Transporters must not be parked on any public roadway during vehicle loading or unloading.

### **Landscaping and Screening**

The applicant is proposing significant improvements to the landscaping around the site. A short decorative fence will be installed for much of the street frontage to help create more of an edge between the private and public space. A mix of shrubs and perennials will be planted around new and existing trees between the fence and the sidewalks along both Brooklyn Boulevard and Regent Avenue.

### **Lighting**

The existing lighting is proposed to remain. The lighting in the area to be used in the Cars and Credit sales lot appears to be adequate. In the back areas used for vehicle staging, additional light poles will be added for security of the lot. A photometrics plan was not prepared as City Code does not have minimum standards for this type of staging lot. There are some existing wall mounted lighting on the 7415 and 7417 buildings that are required to be replaced with conforming downcast and shielded fixtures.

### **Utilities**

With the removal of two buildings, those utility services must be removed according to the Public Utilities Division regulations.

### **Storm Water Management**

No specific storm water management is shown for the areas of the site being altered and it is required to be addressed. There are options available to the property owner who will be working with the City Engineering Division to provide sufficient storm water management. A condition has been included in the resolution to address this issue.

**MINUTES OF THE BROOKLYN PARK PLANNING COMMISSION**  
**Regular Meeting – May 13, 2020**  
Unapproved Minutes

**1. CALL TO ORDER/SWEAR IN NEW MEMBERS**

The meeting was called to order at 7:00 PM.

Chair Kisch swore in Commissioner Erin Aarestad.

Chair Kisch swore in Commissioner Christian Muvundamina.

**2. ROLL CALL/PLEDGE OF ALLEGIANCE**

Those present were: Commissioners Aarestad, Herbers, Husain, Kiekow, Kisch, Mohamed, Morton-Spears, Muvundamina, and Vosberg; Planning Director Sherman; Planning Program Assistant Davis.

Those not present were: Council Liaison Russell; Senior Planner Larson.

**6. PUBLIC HEARING**

**C. The Luther Company, LLLP (Linda McGinty) – Conditional Use Permit #20-110 for auto repair, vehicle sales, and vehicle staging at 7235-7417 Brooklyn Boulevard.**

Planning Director Sherman introduced the application for a different site owned by The Luther Company along the south end of Brooklyn Blvd. She noted the complex is partly located in Brooklyn Center, but the application is specifically for the Brooklyn Park portion of the site. The parcels between 7235-7417 Brooklyn Blvd will be consolidated through an administrative review. Two existing buildings will be demolished, and remaining buildings will be modified. The Conditional Use Permit will allow for vehicle repair to occur at 7415 Brooklyn Blvd and the larger building, most recently used as training facility for The Luther Companies, will be used for vehicle sales in addition to some repair. The Conditional Use Permit will also allow for additional vehicle staging on the site. Site improvements include landscaping and decorative fencing. Additionally, an area of the site will be fenced off for drop-off of vehicles, delivery trucks will pull into this area to unload, and the cars will be distributed throughout the site. Staff recommends approval.

Linda McGinty added that most recently this site was coordinated among several stores which led to disorganization with vehicles on the site. They are confident their new plan will bring needed organization and positive enhancements to the area. They will be moving towards central control of the site by hiring two people who will specifically manage this property.

Chair Kisch opened and closed the public hearing explaining no one registered to speak on this item.

Commissioner Kiekow pointed to a site plan received in the agenda packet. He asked if he understood it correctly that the access points on Regent Ave will be closed with the only remaining access points on Brooklyn Blvd.

Linda McGinty explained they will be removing the curb cut on Regent that is closest to the intersection, but the other curb cut on Regent will remain for customer access to the sales facility.

Commissioner Kiekow asked if the fence for the drop-off will have a gate that is opened to the main parking lot.

Linda McGinty explained the full operation has not been finalized. She stated the intent is to have the gate open during the day when there is staff present to manage the site, and at night the gate will be closed. Trucks will still be able to access the area to drop-off vehicles, but they will not go through the gate.

MOTION HERBERS, SECOND MORTON-SPEARS TO RECOMMEND APPROVAL OF CONDITIONAL USE PERMIT FOR AUTO SALES, AUTO REPAIR, AND VEHICLE STAGING AT 7235-7417 BROOKLYN BOULEVARD, SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.

*MOTION CARRIED UNANIMOUSLY.*



Narrative  
Conditional Use Permit

Prepared for: The Luther Company,  
LLP

April 10, 2020



PREPARED FOR  
The Luther Company, LLLP  
3701 Alabama Avenue  
South  
St. Louis Park, MN 55416



PREPARED BY  
Landform Professional Services,  
LLC  
105 5<sup>th</sup> Ave S, Suite 513  
Minneapolis, MN 55401

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## Introduction

On behalf of The Luther Company, LLLP, Landform is pleased to submit this application for conditional use permit approval to allow auto repair in the 7415 Brooklyn Boulevard structure and to allow car storage on lots 7417 & 7325 Brooklyn Boulevard (PID 2811921130024, PID 2811921130023). The site is comprised of four parcels that are operated by Luther. Our redevelopment plan includes demolition of the two structures located on the 7325 Brooklyn Boulevard parcel, interior renovation of the 7415 Brooklyn Boulevard structure, installation of additional landscaping and fencing on the perimeter of the site adjacent to Regent Avenue and Brooklyn Boulevard and directional signage for vehicle unloading. We are excited about the improvements proposed for this site.

## Conditional Use Permit

We are requesting City approval for a conditional use permit to allow auto repair in the 7415 Brooklyn Boulevard structure and car storage on lots 7417 & 7325 (PID 2811921130024, PID 2811921130023).

We have reviewed the request in accordance with City ordinance standards in Section 152.035(D) and find that the ordinance standards have been met. Specifically:

1. *Comprehensive Plan. Compliance with the Comprehensive Plan, public facilities and capital improvement plans, and all sections of the City Code.*

The proposed conditional uses are compliant with the comprehensive plan and the city code. The conditional uses are allowed in the Village Zoning Redevelopment district, which is consistent with the future land use for the comprehensive plan.

2. *Traffic. The generation and characteristics of the traffic associated with the use and its impact on the traffic volumes of and safety associated with driveway location on adjacent roads, sidewalks and trail connections.*

The proposed conditional uses will not increase the volumes of traffic associated with the site and will improve the safety of the surrounding roadways by reducing the vehicle accesses into the site. In addition, loading and unloading vehicles will be directed to access the site from Regent Avenue, leading to reduced conflicts from this operation.

3. *Parking. The characteristics of the parking area of the use, including the number and design of parking spaces, landscaping, traffic circulation, drainage, and lighting. The city may require additional parking above that required in §§ 152.140 through 152.146.*

The proposed conditional use to allow auto repair is adequately served on site with parking spaces designed compliant with city requirements.

The proposed conditional use to allow car storage will not adversely affect the customer parking on site. The car storage spaces have been designed in compliance with city code requirements.

4. *City services. The provision of adequate public facilities and services to the site where the use is proposed and the ability of the existing infrastructure to absorb the additional demand for city services.*

The proposed conditional uses will not have an additional demand on the existing city services. The existing city services can continue to serve the existing buildings.

5. *Screening and landscaping. The ability to screen and buffer incompatible off-site impacts of the proposed use on adjacent property and the surrounding neighborhood. The city may require additional landscaping or screening above that required in the specific zoning district.*

We are proposing to include additional perimeter landscaping and an ornamental fence along the length of Brooklyn Boulevard and Regent Avenue to provide buffering, screening and security for the car storage conditional use and auto repair conditional use.

6. *Architectural standards. The degree that the site or building associated with the proposed use meets or exceed the architectural design and landscaping standards for the district in which it is located. The city may require additional architectural standards above those required in the specific zoning district.*

There are minor changes proposed to the exterior of the 7415 structure with this application. The exterior will be touched up to fix any failing CMU and the building will be repainted. An overhead door will also be added to the NW side of the building. Additional landscaping has been included in the plan to buffer and screen the vehicle storage.

## Summary

We respectfully request approval of the Conditional Use Permit to allow auto repair in the 7415 Brooklyn Boulevard structure and to allow car storage on lots 7417 & 7325 (PID 2811921130024, PID 2811921130023).

## Contact Information

This document was prepared by:

Kevin Shay  
Landform  
105 South Fifth Avenue, Suite 513  
Minneapolis, MN 55401

Any additional questions regarding this application can be directed to Sean Murphy at [smurphy@landform.net](mailto:smurphy@landform.net) or 612.638.0244.



**PLANTING BEDS**

- A** PLANTING BED - 95' x 4' (380 SF)
- B** PLANTING BED - 60' x 4' (240 SF)
- C** ENTRY BED - 20' x 4' (80 SF)

\*BEDS ARE APPROXIMATE AND WILL VARY DEPENDING ON FIELD CONDITIONS.

**STREET TREES**

FRONTAGE ON BROOKLYN BLVD AND REGENT AVE. IS APPROX. 2,000 L.F.

- PROPOSED TREES - 7
  - EXISTING TREE - 17
  - TOTAL TREES - 24**
- 2,000 L.F. / 24 TREES = 1 TREE PER 83 L.F.

**SIGNAGE AND FENCING**

- 1** DIRECTIONAL SIGN  
'Instructing autotransport carrier to use access on Regent Ave'
- X** DRIVEWAY ACCESS CLOSURE
- 4' ALUMINUM ORNAMENTAL FENCE
- 6' CHAIN LINK SECURITY FENCE



**SITE PLAN**

## LANDSCAPE SUMMARY



A and B - PLANTING BED CONCEPT

### A - PLANTING BED

	Quantities
Shrub	
Ninebark	3
Evergreen	
Hetz Midget Arborvitae	2
Perennials (mix of)	92
Yarrow	
Black-Eyed Susan	
Purple Coneflower	
Catmint	
Salvia	
Ornamental Grasses	
Karl Foerster Feather Reed Grass	6
Little Bluestem	5
<b>Total plants</b>	<b>108</b>

### B - PLANTING BED

	Quantities
Shrub	
Ninebark	3
Evergreen	
Hetz Midget Arborvitae	2
Perennials (mix of)	60
Yarrow	
Black-Eyed Susan	
Purple Coneflower	
Catmint	
Salvia	
Ornamental Grasses	
Karl Foerster Feather Reed Grass	6
Little Bluestem	5
<b>Total plants</b>	<b>76</b>



C - ENTRY BED CONCEPT

### C - ENTRY BED

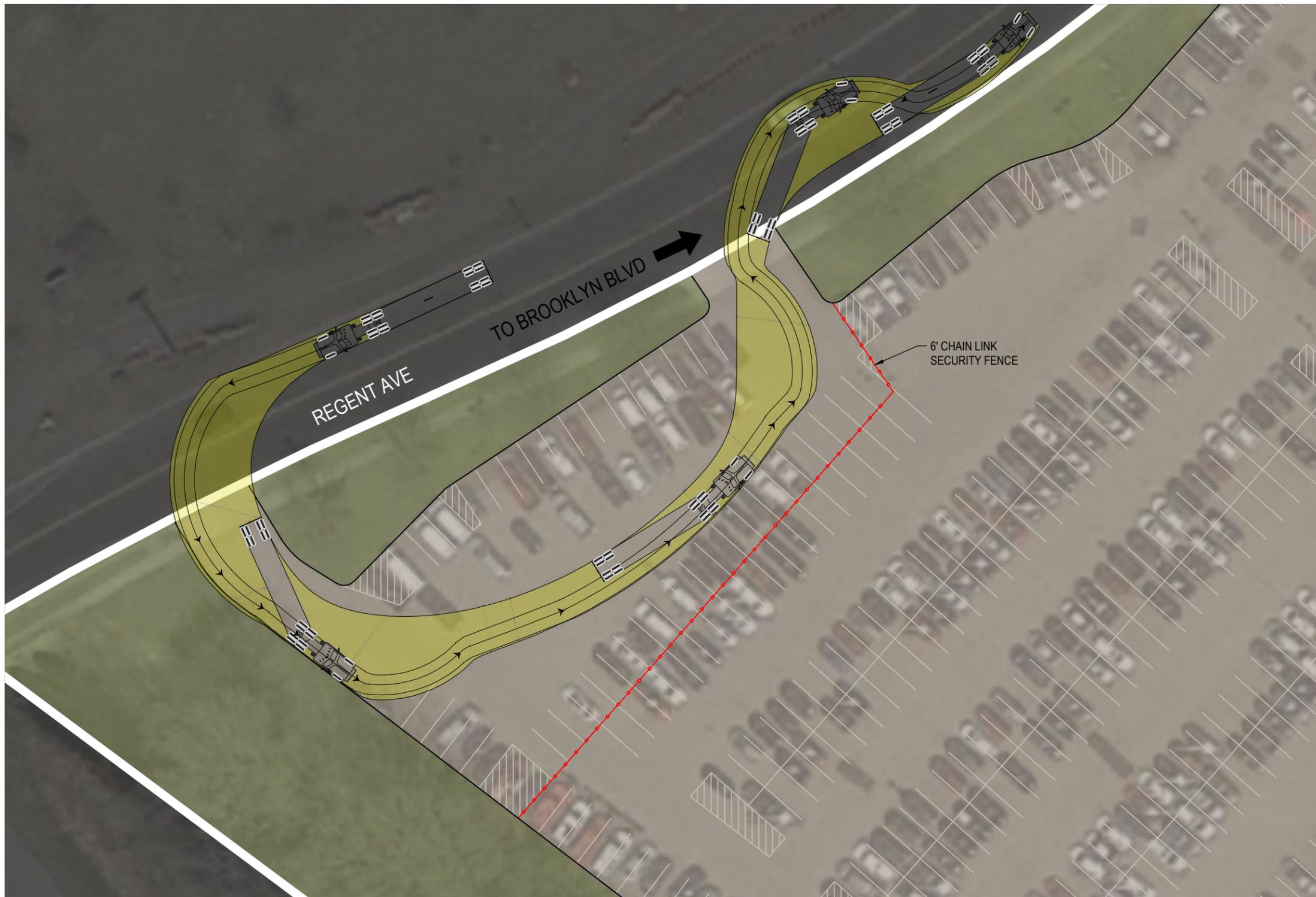
	Quantities
Evergreen	
Yellow Ribbon Arborvitae	1
Perennials (mix of)	18
Yarrow	
Black-Eyed Susan	
Purple Coneflower	
Catmint	
Salvia	
Ornamental Grasses	
Karl Foerster Feather Reed Grass	2
Little Bluestem	1
<b>Total plants</b>	<b>22</b>

### STREET TREES

	Quantities
Deciduous	
Thornless Honeylocust	4
Hackberry	3
<b>Total plants</b>	<b>7</b>

**NOTES**

68.5' LONG TRANSPORT VEHICLE USED FOR TURNING MOVEMENTS



LEGEND

-  PARKING AREA FOR 7417 BROOKLYN BLVD.
-  PARKING AREA FOR 7415 BROOKLYN BLVD.
-  AUTO TRANSPORT DROPOFF AREA
-  BROOKLYN PARK CAR STORAGE AREA
-  BROOKLYN CENTER



PARKING AREAS

# Luther Collision & Glass



150 South Fifth Street, Suite 1425  
 Minneapolis, MN 55402-1200  
 Telephone: (612) 339-8601

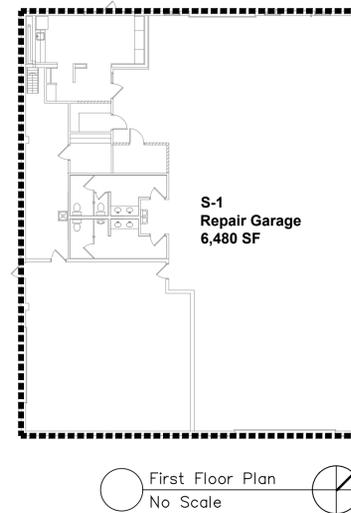
Luther Collision & Glass  
 7415 Brooklyn Boulevard  
 Brooklyn Park, MN 55443

Issued:  
 For Permit 24 March 2020

## Code Analysis

<b>Proposal:</b> Remodel existing building for automobile detailing, window tinting, and application of exterior protective film.	<b>Occupant Load:</b> Maximum Floor Area Allowable Per Occupant - Table 1004.1.2 6,480 SF / 300 SF / Occupant = 22 Occupants	<b>Sec. 1004</b>
<b>Applicable Codes:</b> Minnesota State Building Code - 2015 Minnesota Accessibility Code - 2015	<b>Total Occupant Load:</b> 22 Occupants	
<b>Occupancy Groups:</b> Repair Garage: S-1	<b>Minimum Number of Exits:</b> Required: 1 Provided: 2	<b>Table 1021.2</b>
<b>Construction Type:</b> Construction Type IIB: Existing	<b>Minimum Number of Required Plumbing Fixtures:</b> S-1 Existing - No Change Water Closets: Male: 1 + 1 urinal Female: 2 Lavatories: Male: 2 Female: 2 Drinking Fountains: 2 (hi/lo) Service Sinks: 1	<b>Table 2902.1</b>
<b>Fire-resistance Rating Requirements for Building Elements:</b> Table 601 0-Hours	<b>Accessibility:</b> This project is designed in conformance with the Minnesota Accessibility Code (2015). All new construction will meet the current accessibility requirements.	<b>MAC 2015</b>
<b>Fire-Resistance Rating for Exterior Walls:</b> Table 602 0-Hours: Fire separation distance > 30 ft.	<b>END OF CODE ANALYSIS</b>	
<b>Allowable Building Height:</b> Allowed: 2 Stories Existing: 1 Story w/ Mezzanine		<b>Table 503</b>
<b>Allowable Building Area:</b> Basic Allowable: 17,500 SF		<b>Table 503</b>
<b>Actual Floor Area:</b> 1st floor = 6,480 SF (Existing) Mezzanine = 260 SF (Existing)		
<b>Maximum Area of Exterior Wall Openings:</b> Table 705.8 Fire separation distance > 30 ft.--Unprotected, Sprinklered		
<b>Allowable Materials:</b> Non-combustible - with exceptions		<b>Sec. 603</b>
<b>Fire Extinguishing System:</b> Sec. 903 Building is equipped throughout with an automatic sprinkler system		
<b>Exit Access Travel Distance:</b> Table 1016.2 250 ft.		
<b>Common Path of Egress Travel:</b> Sec. 1014.3 100 ft.		
<b>Egress Through Intervening Spaces:</b> Sec. 1014.2 Allowed		
<b>Corridor Fire-resistance Rating:</b> Table 1018 0 Hr.		

## Occupancy Diagram



## General Notes

- ALL CONSTRUCTION SHALL COMPLY WITH ALL STATE AND LOCAL BUILDING CODES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACQUISITION OF ALL REQUIRED PERMITS AND APPROVALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) PORTIONS OF THE PROJECT. THIS PROJECT IS CONTRACTOR-DESIGNED MEP.
- THE CONTRACTOR SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT REGARDING ANY CONDITION REQUIRING MODIFICATION OR CHANGE TO THE WORK BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT REGARDING ANY CONFLICTS OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFIRMING AND COORDINATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY AND PERFORMANCE OF ALL WORK IN A SAFE AND SATISFACTORY MANNER.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT REGARDING ANY CONDITION OR DETAIL, WHICH IN HIS OPINION, IS UNSOUND, UNSAFE, OR NOT WEATHERPROOF.
- ARCHITECTURAL AND STRUCTURAL DRAWINGS ARE INTENDED TO SHOW AND DESCRIBE DETAILS FOR A COMPLETE STRUCTURE. PARTS AND DETAILS NOT FULLY SHOWN OR DESCRIBED SHALL BE EXECUTED ACCORDING TO STANDARD FIRST CLASS PRACTICE AND IN A MANNER SIMILAR TO AND IN THE SPIRIT OF DETAILS SHOWN ON THE DRAWINGS.
- ALL DIMENSIONS ARE TO NOMINAL SURFACE OF MASONRY, FACE OF WALL, OR TO GRID LINE, UNLESS OTHERWISE NOTED.
- PROVIDE CAULK OR SEALANT AT ALL MATERIAL TRANSITIONS AND CONSTRUCTION JOINTS. PROVIDE CAULK AT STATIONARY JOINTS AND PROVIDE SEALANT AT ALL JOINTS SUBJECT TO MOVEMENT.
- ALL WALL MOUNTED LIGHT FIXTURES AT EGRESS DOORS TO BE EQUIPPED WITH BATTERY BACKUP IN COMPLIANCE WITH SECTION 1006 OF THE 2015 MINNESOTA BUILDING CODE.
- REPAIR ALL DEMOLITION TO EXISTING CONSTRUCTION, RESTORE DAMAGED AREAS TO ORIGINAL CONDITION, AND MATCH EXISTING ADJACENT FINISHES.

## Sheet Index

- A-000 Title Sheet
- Architectural**
- A-011 First Floor Demolition Plan
- A-101 First Floor Plan
- A-201 Exterior Elevations
- A-301 Wall Sections

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of Minnesota.

Signature:   
 Typed or Printed Name: Nguyen T. Hoang  
 Date: 03/24/2020 License Number: 50034

Sheet Title

Title Sheet

Scale: No Scale  
 Date: 03/24/2020  
 Comm No: 2592  
 Sheet Number: A-000  
 © 2020

**DEMOLITION PLAN LEGEND:**

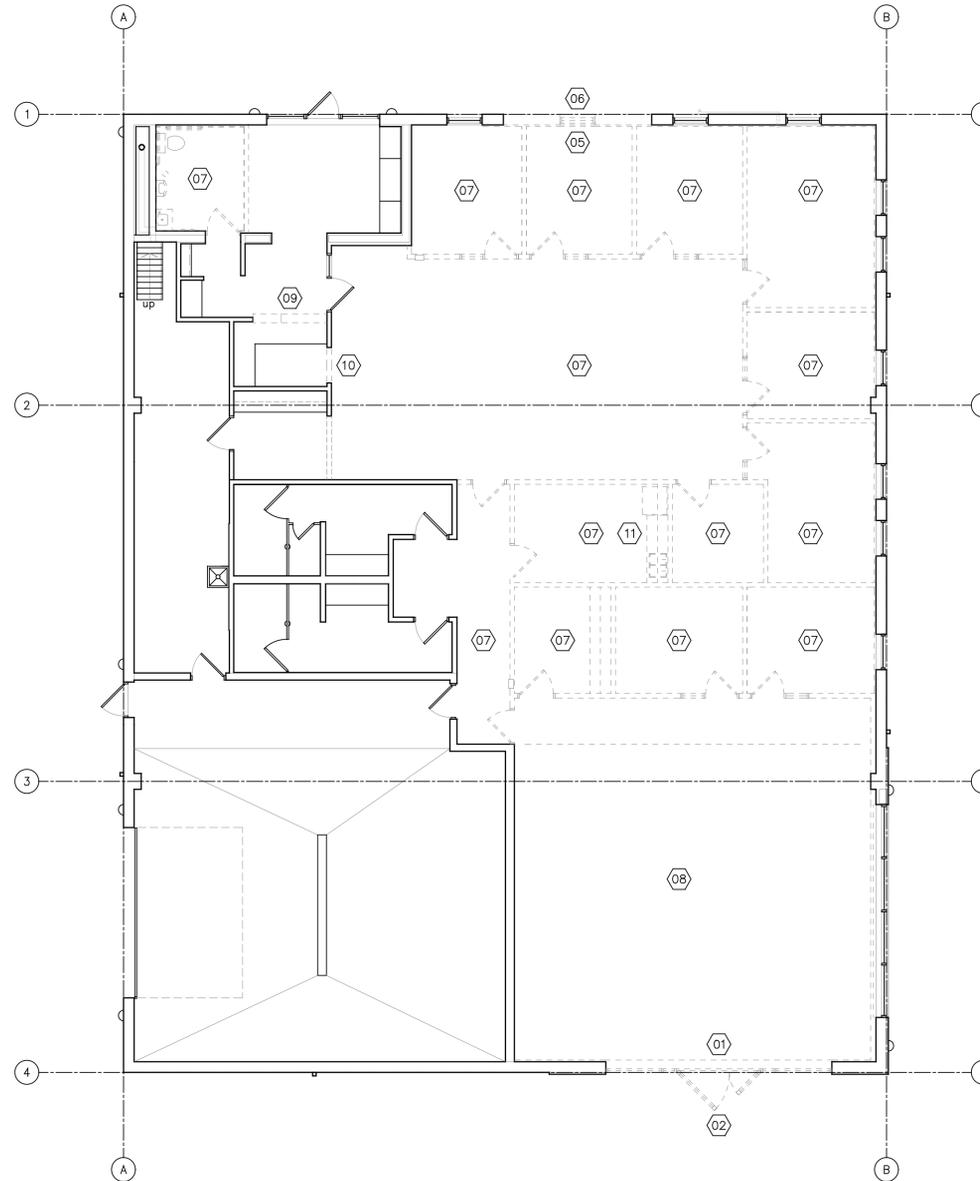
- ==== Walls to Remain
- Walls to Demolish
- ⌋ Door to Remain
- ⌋ Door to Demolish
- ▬ Window to Remain
- ▬ Window to Demolish

**DEMOLITION PLAN NOTES:**

1. Contractor to coordinate with Owner to determine items to be salvaged.
2. Contractor to coordinate with MEP before walls, doors, and millwork are demolished.
3. Contractor to provide temporary secure closures in demolished exterior openings.
4. Contractor to prep all exposed or new openings to receive new finishes.
5. Patch and repair any damaged area(s) caused by demolition.

**DEMOLITION PLAN KEY NOTES:**

- 01 Remove existing storefront and partial height walls. Prep for new overhead door.
- 02 Remove/modify existing concrete sidewalk/apron as required.
- 03 Remove existing exterior window and wall below. Prep for new man door.
- 04 Remove existing concrete sidewalk as required for new concrete foundation stoop.
- 05 Remove existing exterior wall and window. Prep for new steel lintel and OH door.
- 06 Remove existing bituminous pavement as required. Prep for new concrete apron.
- 07 Remove existing interior doors, frames, window, walls, floor, ceiling, millwork, and fixtures.
- 08 Existing ceiling and floor tile to remain.
- 09 Remove existing millwork.
- 10 Enlarge existing opening. Prep for new man door.
- 11 Remove existing millwork for reuse.



A4 First Floor Demolition Plan  
1/8"=1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of Minnesota.

Signature: \_\_\_\_\_  
Typed or Printed Name: Nguyen T. Hoang

Date: 03/24/2020 License Number: 50034

Sheet Title

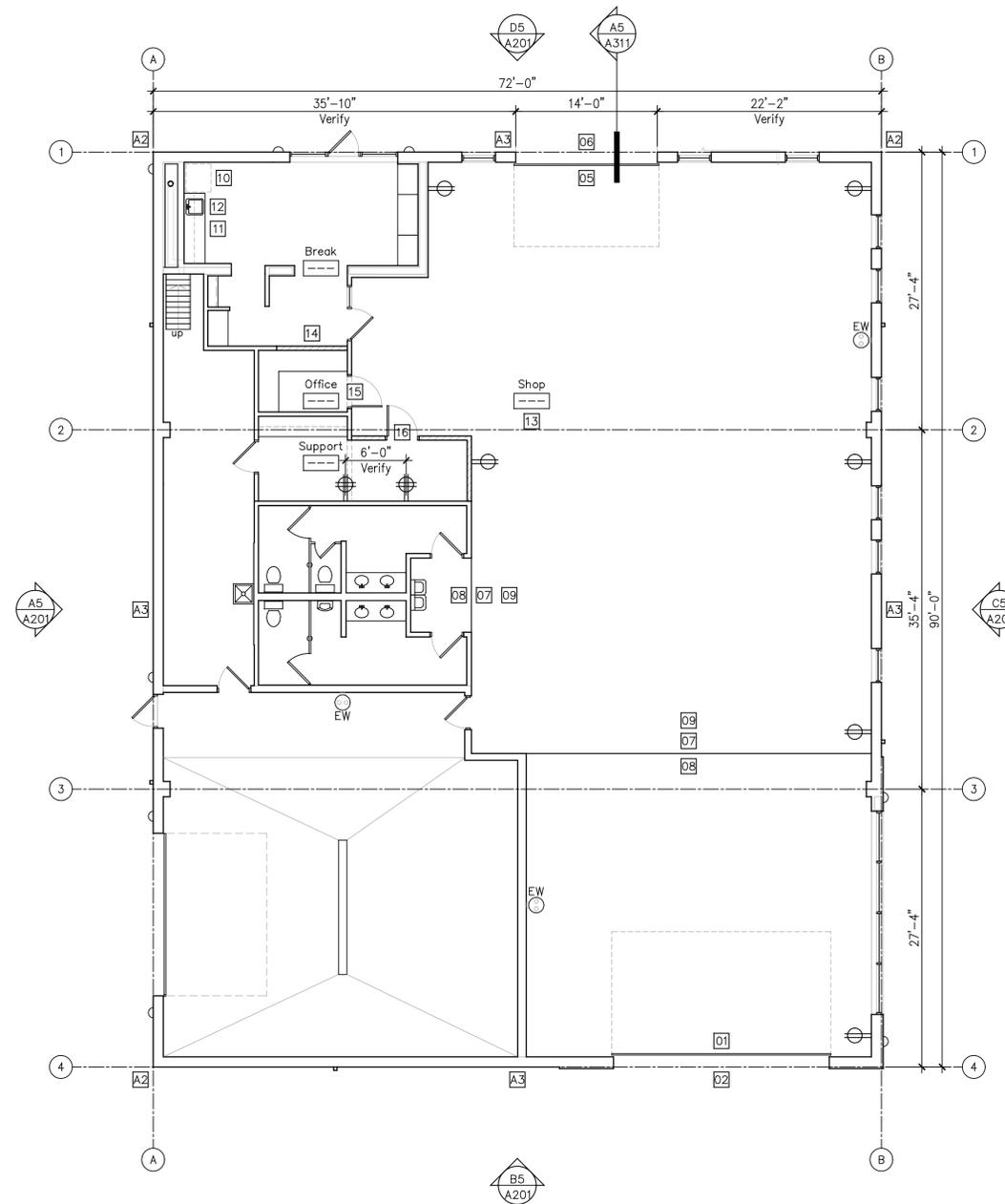
First Floor  
Demolition Plan

Scale 1/8"=1'-0" Sheet Number  
Date 03/24/2020  
Comm No 2592 **A-011**

© 2020

**PLAN KEY NOTES:**

- 01** Midland 2" ThermoGuard w/ LiftMaster 'J' Jackshaft operator. 21'-4" W x 12'-8" H. Standard color. Track as close to bottom of structure as possible. Existing opening.
- 02** Modify existing concrete sidewalk/apron as required for new overhead door.
- 03** Not Used
- 04** Not Used
- 05** Midland 2" ThermoGuard w/ LiftMaster 'J' Jackshaft operator. 14'-0" W x 10'-4" H. Standard color. Track as close to bottom of structure as possible. New opening. Paint new CMU to match adjacent CMU.
- 06** Concrete apron for new OH door.
- 07** Existing tile to existing concrete floor ramp transition. Schluter Reno Ramp. Grouted solid.
- 08** Existing floor tile to remain.
- 09** Existing concrete floor. Patch and repair as required.
- 10** Refrigerator by owner. Provide power.
- 11** Millwork to be salvaged from existing kitchen.
- 12** Sink to be salvaged from existing kitchen.
- 13** Twenty three (23) ESI LED high bay fixtures (F-18S1-40-FR-Y). Verify mounting location and height.
- 14** Gyp wall in existing opening.
- 15** HM Door and Frame. 3'-0" x 7'-0" Door. Paint. Office function hardware group. Modified existing opening.
- 16** Gyp wall with HM Door and Frame. 3'-0" x 7'-0" Door. Paint. Classroom function hardware group.
- A2** Alternate 02: Patch and repair existing CMU as required. Paint to match adjacent CMU.
- A3** Alternate 03: Paint exterior.
- A4** Alternate 04: Provide allowance to repair existing conditions that require attention i.e. broken ACT, falling/failed door hardware, falling/failed plumbing fixtures, etc. etc., throughout entire building.
- EW** Eyewash. Verify location w/ owner.
- ⊕** Duplex outlet. Verify location w/ owner.
- ⊕** 4-plex outlet. Verify location w/ owner.



**A4** First Floor Plan  
1/8"=1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of Minnesota.  
Signature: \_\_\_\_\_  
Typed or Printed Name: Nguyen T. Hoang  
Date: 03/24/2020 License Number: 50034  
Sheet Title

First Floor Plan

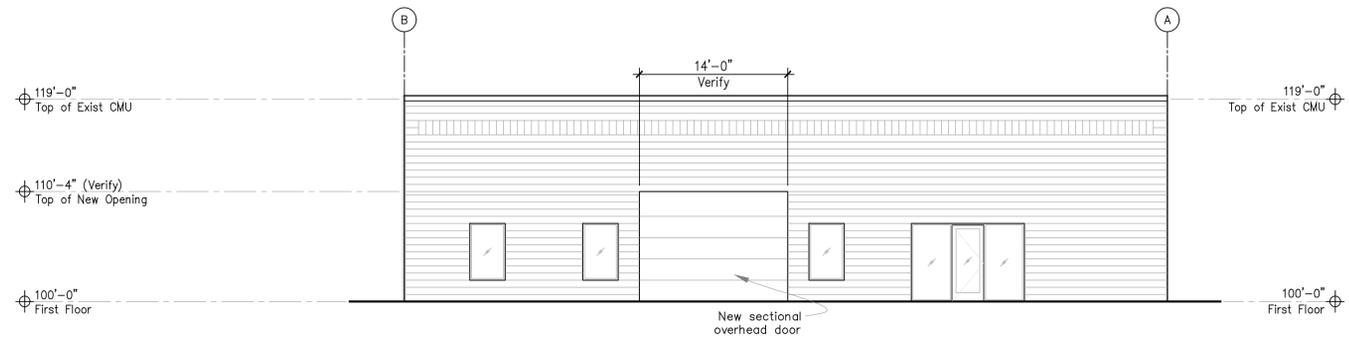
Scale 1/8"=1'-0" Sheet Number  
Date 03/24/2020 A-101  
Comm No 2592  
© 2020

**EXTERIOR KEY:**

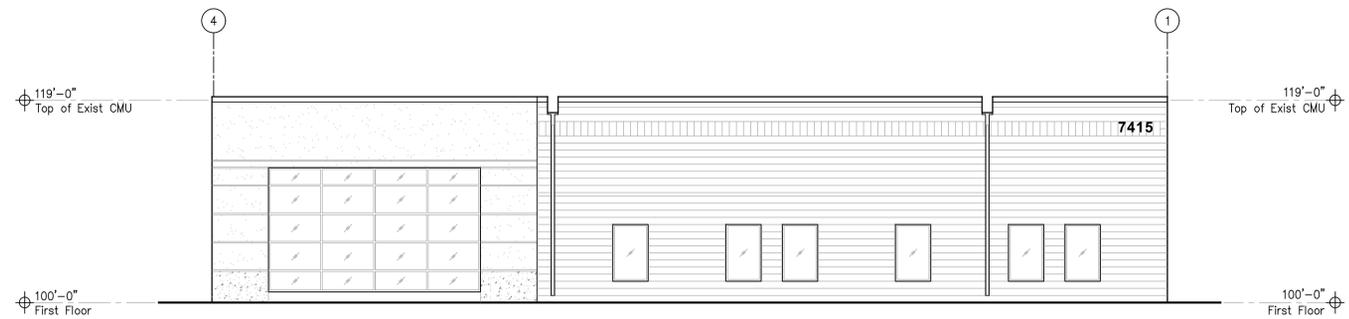
-  Existing CMU to remain
-  Existing EIFS to remain
-  Existing precast concrete wall base to remain
-  Existing clear glazing to remain

**EXTERIOR NOTES:**

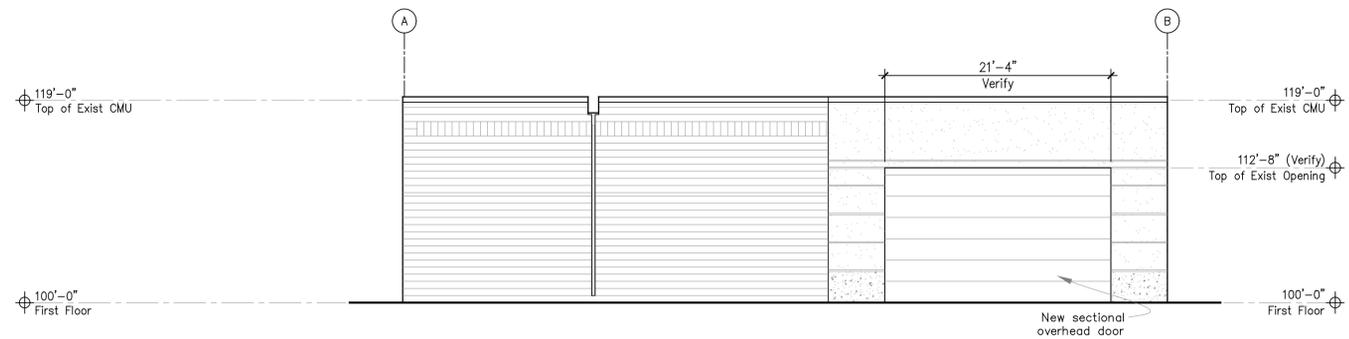
1. Patch and repair all exterior surfaces prior to painting.



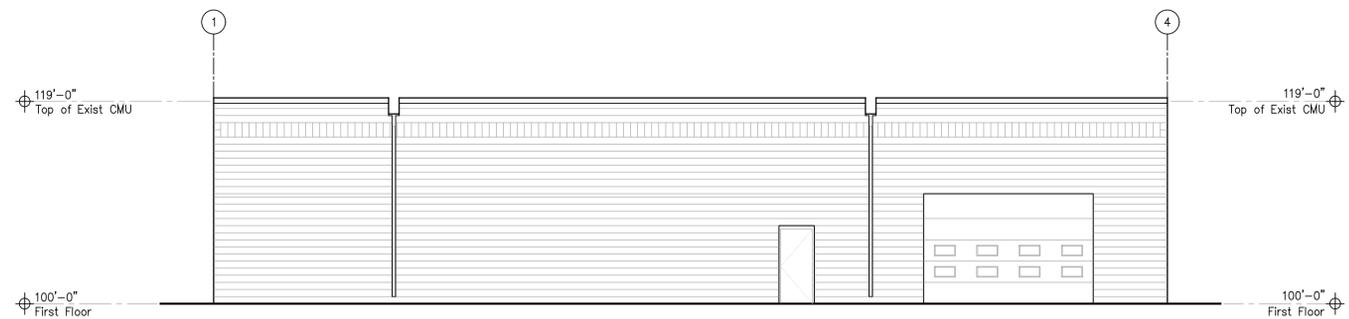
**D5** North Elevation  
1/8"=1'-0"



**C5** East Elevation  
1/8"=1'-0"



**B5** South Elevation  
1/8"=1'-0"



**A5** West Elevation  
1/8"=1'-0"

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Signature: 

Typed or Printed Name: Nguyen T. Hoang

Date: 03/24/2020 License Number: 50034

Sheet Title

Exterior Elevations

Scale: 1/8"=1'-0"  
Date: 03/24/2020  
Comm No: 2592

Sheet Number  
**A-201**  
© 2020

# City of Brooklyn Park Request for Council Action

<b>Agenda Item:</b>	6.4	<b>Meeting Date:</b>	May 26, 2020
<b>Agenda Section:</b>	Land Use Actions	<b>Originating Department:</b>	Community Development
<b>Resolution:</b>	N/A	<b>Prepared By:</b>	Todd A. Larson, Senior Planner
<b>Ordinance:</b>	FIRST READING		
<b>Attachments:</b>	7	<b>Presented By:</b>	Cindy Sherman, Planning Director
<b>Item:</b>	Highview 610 (Sambatek, Inc./Hempel Real Estate) – Rezone Parcel with a Planned Development Overlay and a Site Plan Review #20-108 for a 75,000 Square Foot Business Park Building at 9501 Louisiana Avenue N		

## City Manager's Proposed Action:

MOTION \_\_\_\_\_, SECOND \_\_\_\_\_, TO WAIVE THE READING AND ADOPT ON FIRST READING AN ORDINANCE AMENDING CHAPTER 152 TO REZONE PROPERTY FROM BUSINESS PARK WITH HIGHWAY OVERLAY (BP/HO) TO BUSINESS PARK WITH PLANNED DEVELOPMENT OVERLAY (BP/PD) AT 9501 LOUISIANA AVENUE NORTH.

*The draft site plan review resolution is provided for reference, but it will not be acted upon until after the second reading of the rezoning ordinance.*

## Planning Commission Recommendation:

At its meeting on May 13, 2020, the Planning Commission unanimously recommended approval of the proposal with the conditions in the attached ordinance and draft resolution.

## Overview:

Hempel Real Estate is proposing to construct, own, and manage a multi-tenant office/warehouse/ manufacturing building at the north end of Louisiana Avenue on the south side of Highway 610. The property is currently zoned Business Park with Highway Overlay. The applicant is requesting to change the Overlay to the Planned Development Overlay to increase the usability of the site. This is accomplished through a rezoning. With the Planned Development Overlay, a Site Plan Review is required.

**Budgetary/Fiscal Issues:** N/A

## Alternatives to consider:

1. Approve the proposal as recommended by the Planning Commission.
2. Approve the proposal with modifications.
3. Deny the proposal based on certain findings.

## Attachments:

- 6.4A ORDINANCE
- 6.4B DRAFT SITE PLAN REVIEW RESOLUTION
- 6.4C LOCATION MAP
- 6.4D PLANNING AND ZONING INFORMATION
- 6.4E PLANNING COMMISSION MINUTES
- 6.4F LETTER FROM THE APPLICANT
- 6.4G PLANS

ORDINANCE #2020-

ORDINANCE AMENDING CHAPTER 152 TO REZONE PROPERTY  
FROM BUSINESS PARK WITH HIGHWAY OVERLAY (BP/HO)  
TO BUSINESS PARK WITH PLANNED DEVELOPMENT OVERLAY (BP/PD)  
AT 9501 LOUISIANA AVENUE NORTH

WHEREAS, the City of Brooklyn Park has had a growth management plan in place since the 1950s; and

WHEREAS, the City utilizes zoning to control when utilities are extended and when development occurs;  
and

WHEREAS, the subject property is designated for Business Park development in the City's adopted 2040 Comprehensive Plan, which allows many different types of uses.

NOW, THEREFORE, THE CITY OF BROOKLYN PARK finds that Section 152 of the Zoning code is amended to rezone the following described properties from Business Park with Highway Overlay (BP/HO) to Business Park with Planned Development Overlay (BP/PD):

*That part of the South 352.55 feet of the Northeast quarter of the Southwest Quarter lying East of the West 625.19 feet thereof, Section 8, Township 119, Range 21, Hennepin County, Minnesota, except roads.*

Based on the following findings:

1. The land is designated for Business Park uses in the 2040 Comprehensive Plan allowing for coordinated users.
2. The zoning request allows for the development of the property consistent with the 2040 Comprehensive Plan.
3. The Site Plan dated 04-28-2020 shall act as the basis for development on the property.

This Planned Development Overlay shall require the following of the properties:

1. Distribution Centers are not allowed in this Planned Development Overlay.
2. The site will have no less than 20 percent green space.
3. The parking lot setback for the north property line shall be no less than 5 feet.
4. All other provisions of City Code shall remain in effect.

The zoning map of the City on file with the City Clerk and referred to in Section 152 of the City Code is hereby amended in accordance with the provisions of this ordinance.

RESOLUTION #2020-

RESOLUTION APPROVING SITE PLAN REVIEW  
FOR AN OFFICE/WAREHOUSE/MANUFACTURING BUILDING  
AT 9501 LOUISIANA AVENUE NORTH

Planning Commission File #20-108

WHEREAS, Erik Miller of Sambatek, Inc., on behalf of Hempel Real Estate, has petitioned for a Site Plan Review pursuant to Section 152.033 of the Brooklyn Park City Code for one office/manufacturing building located at 9501 Louisiana Avenue North, legally described as:

*That part of the South 352.55 feet of the Northeast quarter of the Southwest Quarter lying East of the West 625.19 feet thereof, Section 8, Township 119, Range 21, Hennepin County, Minnesota, except roads.*

WHEREAS, the matter has been referred to the Planning Commission who have given their advice and recommendation to the City Council; and

WHEREAS, the effect of the proposed use upon the health, safety and welfare of surrounding lands, existing and anticipated traffic conditions and its effect on the neighborhood have been considered.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park that the site plan for two new office/manufacturing buildings are approved based on the following conditions:

**1.00 DRAWINGS**

- 1.01 Site, utility, landscaping, and grading plans on file in the City Clerk's office dated 04-28-2020 are approved, subject to conditions listed below.
- 1.02 Undated building elevations are approved to proceed to building permit, subject to conditions listed below.

**2.00 BONDS, ESCROWS AND DIRECT PAYMENTS**

- 2.01 A Development Contract and bonding shall be required as a development bond or letter of credit in the amount of \$\_\_\_\_.00, a cash bond in the amount of \$\_\_\_\_.00, and a developer's escrow in the amount of \$\_\_\_\_.00 as required by Chapter 152. The developer's escrow must be posted with the City to cover engineering, legal and administrative costs incurred by the City. If this account becomes deficient, it shall be the developer's responsibility to deposit additional funds. This must be done before final bonding obligations are complete.

**3.00 REQUIRED DOCUMENTS**

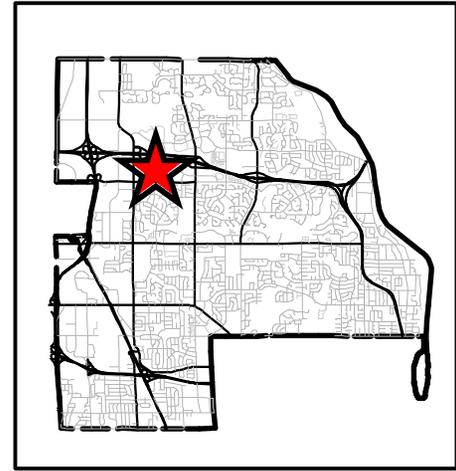
- 3.01 A storm water maintenance agreement per West Mississippi Watershed rules including a stormwater maintenance agreement.
- 3.02 Permits from MNDOT for grading and drainage on its right-of-way.
- 3.03 A public water main easement for the connection between the properties to the west and Louisiana Avenue.

**4.00 GENERAL CONDITIONS**

- 4.01 It shall be the developer's responsibility to keep active and up to date the developer's contract and financial surety (Letter of Credit, bonds, etc.). These documents must remain active until the developer has been released from any further obligation by City Council motion received in writing from the Engineering Department.
- 4.02 Before final bonding obligations are released, a certificate signed by a registered engineer must be provided. This certificate will state that all final lot and building grades are in conformance to drainage development plan(s) approved by the City Engineer.
- 4.03 No burying of construction debris shall be permitted on the site.
- 4.04 Dust control and erosion measures must be in place to prevent for dust and erosion including, but not limited to, daily watering, silt fences, and seeding. The City Engineer may impose measures to reduce dust and run-off.
- 4.05 Adequate dumpsters must be on site during construction. When full, they must be emptied immediately or replaced with an empty dumpster.
- 4.06 An additional 5 overstory trees are required to assist screening the loading dock area along the south side of the truck court driveway.
- 4.07 The lighting plan must be updated at the time of building permit review to reflect the approved site plan.
- 4.08 Rooftop equipment must be screened according to City Code.
- 4.09 An 8-inch diameter water main is sufficient for the public line connecting the property to the west with Louisiana Avenue.



Spring 2018 Air Photo.



Map Date April 10, 2020

Land Use Plan	Business Park
Current Zoning	Business Park with Highway Overlay (BP/HO)
Proposed Zoning	Business Park with Planned Development Overlay
Surrounding Zoning	West – Business Park with Planned Development Overlay (BP/PD #XXXX) South – Business Park with Planned Development Overlay (BP/PD #XXXX) East – Business Park with Highway Overlay (BP/HO) <i>Olympus</i> Southeast – Business Park (BP) <i>LDI Building</i>
Neighborhood	Tessman
Site Area	5.23 acres
Building Area	75,000 ft <sup>2</sup>
Number of Parking Spaces	113
Hardcover	79.4%
Conforms to:	
	Land Use Plan – Yes
	Zoning Code – No
	Variances Needed – With Planned Development Overlay
Public Notification	8 Mailed Notices SunPost Legal Notices 1 Proposed Development Sign Neighborhood Update Email – Tessman

### Existing and Proposed Zoning

The existing zoning on the site is Business Park with Highway Overlay. The Highway Overlay was created in the late 1990s to foster a campus-style development with large areas of green space by requiring larger building and parking setbacks. The zoning requirements also prohibit distribution centers, a type of use that is not desired along Highway 610 or 169 corridors (typically, distribution centers have a very low job density and a very high amount of truck traffic).

In recent years, the Planning Commission and City Council have desired a higher density of jobs in these corridors than was previously envisioned. Additionally, encouraging shared parking and driveways along with walkable connected sites are generally not possible with the Highway Overlay. In many projects, the Highway Overlay has been replaced with a Planned Development Overlay on a project-by-project basis to ensure that these current development ideas are met while still prohibiting distribution centers.

The applicant is proposing a rezoning to change the overlays. The applicant is requesting modifications to the parking lot setback from the north property line and overall hardcover as part of the flexibility granted by the Planned Development Overlay. The following table summarizes the existing standards, base (regular BP zoning), and proposed standards:

	With Highway Overlay <i>Existing</i>	Regular BP Zoning	With Planned Development Overlay <i>Proposed</i>
North Parking Setback	60 feet	15 feet	5 feet
Hard Cover	70%	70%	79.4%

The following is the purpose of the Planned Development Overlay as stated in City Code:

**§ 152.560 PURPOSE.**

*The purpose of the Planned Development Overlay is to promote creative and efficient use of land by providing design flexibility in the application of the provisions of a primary zoning district by providing an overlay district on top of any of the primary zoning districts. It is the applicant's responsibility to demonstrate that the proposed Planned Development is not simply for enhanced gain and accomplishes one or more of the following:*

*(A) Introduce flexibility of site design and architecture for the conservation of land, natural features and open space through clustering of structures, facilities, amenities and activities for public benefit;*

*(B) Improve the efficiency of public streets and utilities through a more efficient and effective use of land, open space and public facilities through assembly and development of land in larger parcels;*

*(C) Provide mixed land use and land use transitions in keeping with the character of adjacent land uses in harmony with the Comprehensive Plan and the underlying zoning districts; and,*

*(D) Provide for the clustering of land parcels for development as an integrated, coordinated unit as opposed to a parcel by parcel, piecemeal approach and to maintain these parcels by central management including integrated and joint use of parking, maintenance of open space and similar features, and harmonious selection and efficient distribution of uses.*

The applicant has provided an explanation for their request which is attached.

**Building Design**

The applicant is proposing to construct a 75,000 square foot multi-tenant speculative office/warehouse/manufacturing building. The building will have a similar configuration to other buildings in the area, except that it will be smaller and be able to offer smaller tenant spaces. For comparison, the 610 Commerce Buildings to the south are 202,000 square feet.

The building's primary material is painted precast concrete panels. Large curtainwall windows are located at the three entry areas. The painted precast will have dark squares on the upper portion to mimic windows below. In the event a tenant wants a mezzanine installed, the squares could be cut out and windows installed. The articulation requirement is met with an offset panel approximately every 90 feet.

Clear story windows are provided on the rear of the building to allow natural light into the warehouse portion of the building.

**Access and Parking**

The site's only access is from Louisiana Avenue. The northern driveway is for employee and visitor parking. The southern access is for the truck court.

The plans show 113 parking spaces, mostly on the northern side of the building with some along the west side. The applicant is requesting to construct the parking lot 5 feet from the north property line. This portion of the Highway 610 right-of-way includes a storm water basin and the folded diamond ramps for eastbound traffic. These items make the parking appear several hundred feet from the mainline of the highway.

**Pedestrian Connections**

There is a sidewalk along the east side of Louisiana that ends at the north end of the cul-de-sac. The sidewalk will be extended around the cul-de-sac to the northern driveway. A walkway will connect the front of the building with the sidewalk. Bike racks are shown at the northeast and northwest corners of the building.

**Grading and Drainage**

The site has remnants of an old ditch. Portions of this ditch was filled with construction of Highway 610 to the north and the 610 Commerce Center development to the south. The ditch no longer fulfills any drainage purpose in the area. Instead, storm water will be managed through a basin along the east side of the site in a similar manner to the 610 Commerce Center sites to the south. The basin is being sized to accommodate infiltration and rate control per West Mississippi Watershed rules. The plans show an outlet to MNDOT right-of-way to the north. A permit is required from MNDOT for this work.

**Landscaping and Screening**

The landscaping plan provided meets the quantities for overstory trees, ornamental trees, and shrubs. Trees are used to screen the side views of the truck court. In the future, another multi-tenant building is expected to be constructed on the 610 Commerce Center property to the south with its truck court facing north. That building is not anticipated for a couple years. In the meantime, the views of the truck court will be exposed for northbound traffic. It is recommended that 5 overstory trees are planted close to the south property line south of the truck court driveway to help screen those views.

The applicant also prepared a sightline study of the rooftop equipment screening to ensure compliance with City Code. The users and their equipment needs are both unknown, so the study generally shows the maximum heights of HVAC equipment and where they can be placed on the roof to be hidden.

**Public Utilities**

The site is served by city water and sanitary sewer. A public watermain extends through the hotel sites to the west for eventual looping to Louisiana Avenue. A public water main easement will be required so that it can be maintained by the city. The City Engineer has stated that this watermain can be 8-inches in diameter.

**Lighting**

A lighting plan was submitted at the time of application, but was not updated to reflect changes made to the site plan. The plan that was submitted initially met City Code requirements for light levels, pole height, and shielding. An updated plan will be required at the time of building permit to ensure conformance with City Code.

**Public Safety**

The Police and Fire Departments have reviewed the plans and provided no additional comments.

**UNAPPROVED MINUTES****MINUTES OF THE BROOKLYN PARK PLANNING COMMISSION  
Regular Meeting – May 13, 2020****1. CALL TO ORDER/SWEAR IN NEW MEMBERS**

The meeting was called to order at 7:00 PM.

Chair Kisch swore in Commissioner Erin Aarestad.

Chair Kisch swore in Commissioner Christian Muvundamina.

**2. ROLL CALL/PLEDGE OF ALLEGIANCE**

Those present were: Commissioners Aarestad, Herbers, Husain, Kiekow, Kisch, Mohamed, Morton-Spears, Muvundamina, and Vosberg; Planning Director Sherman; Planning Program Assistant Davis.

Those not present were: Council Liaison Russell; Senior Planner Larson.

**6. PUBLIC HEARING**

- F. Highview 610 (Sambatek, Inc./Hempel Real Estate)** – Rezone parcel with a Planned Development Overlay and a Site Plan Review #20-108 for a 75,000 square foot business park building at 9501 Louisiana Avenue N.

Planning Director Sherman introduced the final application of the meeting for Highview 610. The proposed location is at the end of Louisiana Ave N within a cul-de-sac. The area on the west side of the lot is described as a historical drainage ditch that will be removed with this project along with scrub trees along the ditch line. Highview 610 will require a rezoning of the overlay to a Planned Development overlay to provide more flexibility for the site while restricting distribution as a primary use. The second component of the application is to review the site plan for a speculative 75,000-square-foot business park building. She explained most business park buildings in the area are around 200,000-square-feet, so this proposal will provide an alternative option that is not currently available on the market for businesses requiring a smaller space.

Planning Director Sherman described the proposed site plan. The building will have a typical rectangle shape, and there will be ponding along Louisiana Ave N consistent with the buildings located to the south. Parking will wrap around the north and west sides of the building. She noted the area is adjacent to the Home 2 Suites Hotel to the west, so there is a landscaping plan along the west property line and for the dock area on the rear of the building. It is hoped that the dock area will be combined in the future with the area to the south as a joint courtyard area, but this is not a condition of approval. The trucks will exit the site directly on to Louisiana Ave N, and traffic for the building will occur on the north end of the site where a driveway for vehicle access is located. The building has a simple concrete design with tilt-up panel construction utilizing metal panels and a glass feature in the center entryway and both ends of the panels. The site plans reflect articulation and a mix of materials as required by City Code. The back of the building has less finish work, but there are windows provided near the top for natural light. She explained the design of the roof allows for flexibility in the location of roof-mounted equipment to meet a variety of mechanical needs while meeting the City Code requirements for screening. She noted the lighting plan is also adequate for the property.

Planning Director Sherman explained pedestrian access to the site was discussed. The neighboring hotels are not currently interested in making a connection, but this may be considered in the future. The applicant is providing sidewalk access to the existing sidewalk on Louisiana, the front of the building will have a sidewalk, and bike racks will be incorporated.

Planning Director Sherman explained one of the justifications of the Planned Development overlay is to allow a 5-foot setback from the north property line as there is a typically a 15-foot setback from the right-of-way, but there is adequate separation and screening since the site is so far removed from the public roadway, which is a ramp to Highway 610. An additional consideration of the Planned Development Overlay is for the green space requirement. The areas surrounding the site predate the ordinance change that increased green space requirements, so the applicant asked for this to be similarly applied to their property which will allow more green coverage than normally allowed in exchange for a superior landscape plan for the site. Staff recommends approval.

Eric Miller, a civil engineer with Sambatek, introduced various representatives on the line to answer questions for the proposal.

Chair Kisch opened and closed the public hearing explaining no one registered to speak on this item.

Commissioner Herbers asked how many tenants are anticipated in the facility.

Eric Miller explained potentially one user could take up the entire building, but it could be designed to accommodate up to three separate businesses.

Commissioner Kiekow asked if the site plan was analyzed for fire truck access.

Eric Miller confirmed the site plan has been coordinated with City Staff and will accommodate the turning requirements for fire trucks.

Chair Kisch asked if conditions could be applied to help steer future development to the south towards shared access in the area.

Planning Director Sherman said it is difficult to apply such a condition to the approval of this specific proposal since the applicant is not in control of the other parcel. She noted difficulties with communication since the property to the south was involved in a recent sale and is still in transition. She noted there is an approved development plan on that piece which also anticipated shared access. She added the reason the applicant isn't investing in landscaping in that area of the site as they expect that part of the site will be developed later.

Chair Kisch encouraged the applicant to negotiate a future shared-access agreement off the loading dock with the property to the south if the opportunity presents itself.

**MOTION MORTON-SPEARS, SECOND HERBERS TO RECOMMEND APPROVAL OF REZONING 5.23 ACRES FROM BUSINESS PARK WITH HIGHWAY OVERLAY (BP/HO) TO BUSINESS PARK WITH PLANNED DEVELOPMENT OVERLAY (BP/PD) AT 9501 LOUISIANA AVENUE NORTH.**

*MOTION CARRIED UNANIMOUSLY.*

**MOTION HERBERS, SECOND MORTON-SPEARS TO RECOMMEND APPROVAL OF SITE PLAN REVIEW FOR A 75,000 SQUARE FOOT BUSINESS PARK BUILDING AT 9501 LOUISIANA AVENUE NORTH, SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.**

*MOTION CARRIED UNANIMOUSLY.*



May 19, 2020

Todd A. Larson  
Senior Planner  
City of Brooklyn Park  
5200 85<sup>th</sup> Ave North  
Brooklyn Park, MN 55443

Re: Highview 610 Application

Dear Mr. Larson:

Along with our site plan application, Hempel and Sambatek have applied to rezone the subject project from Business Park Highway Overlay to Planned Development Overlay. Similar to the rezoning of the CSM properties to the south of the subject property and within the rapidly growing 610 Corridor, Hempel is seeking approval for a Planned Development Overlay to address two components of the subject property: setback from the MNDOT parcel to the north and percent pervious area. For the setback from the MNDOT parcel to the north, we believe there is adequate setback area between the property and Highway 610 due to the existing greenspace and storm water pond. For percent pervious area, the overall goal within the 610 Corridor is to provide greater density than the Highway Overlay zoning allows while still achieving city storm water and landscape requirements. Our project accomplishes this, and in addition provides enhancement described herewith:

- ADA accessible landscaped walkways along the north and west side of the building and a walkway connection to the existing public sidewalk along Louisiana Avenue. For bicycling commuters, bike rack are provide at each tenant entry point.
- Landscape has been thoughtfully designed to enhance and screen the proposed development. Landscape is focus along the north and east sides of the property to provide screening from public right-of-way. A landscape hedge is proposed along the north curb line to screen vehicle headlights from Highway 610, and a mix of shade and evergreen trees provide screening along the east side of the building from the Louisiana Avenue right-of-way.
- The number of evergreens trees proposed exceed code requirements by 33%, the number of shade trees proposed exceed code by 46%. These proposed trees along with the 734 proposed shrubs provide a robust landscape for the development.
- The building architecture has been thoughtfully designed to create an aesthetically pleasing building that is unlike other buildings in the area. The building is made up of three main materials – glass, metal panel and concrete. In addition to the first floor



**HEMPEL**  
REAL ESTATE

glass windows, metal panel sunshades and painted concrete typically seen with these types of buildings, the project includes a total of 1,075 square feet of second story glass in the center and on both corners of the building as well as paint accents to give the building a two-story look. Additionally, the front of the building includes a vertical break in plane every 50', double the code requirement of 100', and both a horizontal and vertical break in plane every 100'.

Taken in their totality, we believe the above items result in a planned development that achieves the goals of the city.

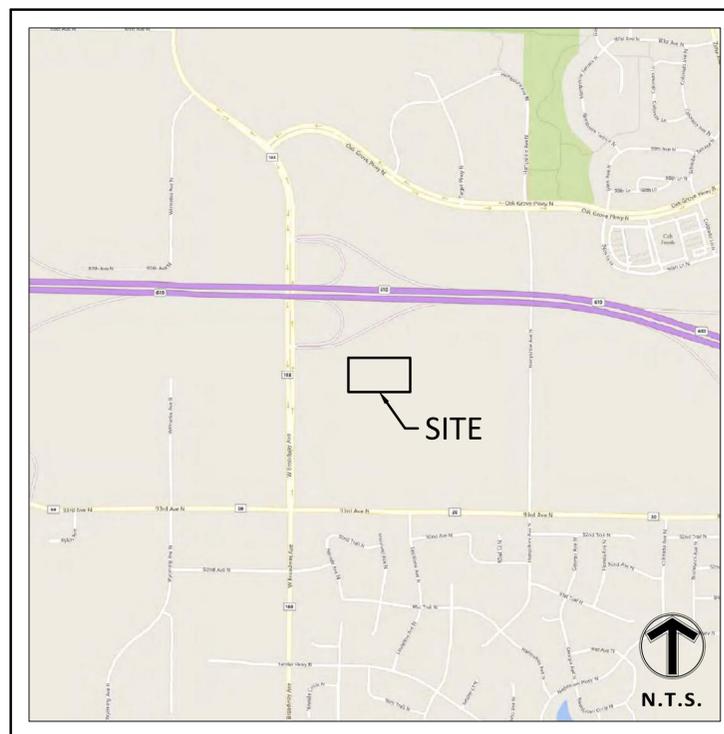
Sincerely,

Josh Krsnak  
President & CEO  
Hempel

# Preliminary Site Development Plans

## for Highview 610 Brooklyn Park, Minnesota

Presented by:  
Hempel Real Estate



VICINITY MAP  
NO SCALE

### CONSULTANT CONTACT LIST:

**DEVELOPER/OWNER**  
HEMPEL REAL ESTATE  
80 EIGHTH STREET S.  
SUITE 1850  
MINNEAPOLIS, MN 55402  
TEL: 612-355-2600  
EMAIL: JOSH@HEMPELCOMPANIES.COM  
CONTACT: JOSHUA KRISNAK

**CIVIL ENGINEER**  
SAMBATEK  
12800 WHITEWATER DRIVE, SUITE 300  
MINNETONKA, MN 55343  
TEL 763-476-6010  
EMAIL: EMILLER@SAMBATEK.COM  
CONTACT: ERIK MILLER, PE

**ARCHITECT**  
POPE ARCHITECTS  
1295 BANDANA BLVD. N  
SUITE 200  
ST. PAUL, MN 55108  
TEL: 651-642-9200  
EMAIL: PHOLMES@POPEARCH.COM  
CONTACT: PAUL HOLMES

**SURVEYOR**  
HARRY S. JOHNSON CO., INC.  
9063 LYNDALE AVE S.  
BLOOMINGTON, MN 55420  
TEL 952-884-5341  
EMAIL: HSJINFO@HSJSURVEYORS.COM  
CONTACT: THOMAS E. HODORFF, L.S.

**GEOTECHNICAL**  
VIEAU ASSOCIATES, INC.  
7505 METRO BLVD.  
SUITE 300  
MINNEAPOLIS, MN 55439  
TEL: 952-494-5310  
EMAIL: SLEARY@VIEAUASSOCIATES.COM  
CONTACT: SEAN LEARY

**LANDSCAPE ARCHITECT**  
SAMBATEK  
12800 WHITEWATER DRIVE, SUITE 300  
MINNETONKA, MN 55343  
TEL 763-476-6010  
EMAIL: WDELANEY@SAMBATEK.COM  
CONTACT: BILL DELANEY, PLA

### SHEET INDEX

SHEET	DESCRIPTION
C1.01	COVER SHEET
C3.01	PRELIMINARY SITE PLAN
C4.01	GRADING & EROSION CONTROL PLAN
C6.01	UTILITY PLAN
C9.01	DETAIL SHEET
C9.02	DETAIL SHEET
C9.03	DETAIL SHEET
L1.01	LANDSCAPE PLAN
L1.02	LANDSCAPE NOTES & DETAILS
	PHOTOMETRIC PLAN

### ATTACHED

ALTA / NSPS LAND TITLE SURVEY PREPARED BY HARRY S. JOHNSON CO. INC. DATED DECEMBER 5, 2019.

### GOVERNING SPECIFICATIONS

CITY OF BROOKLYN PARK ENGINEERING DESIGN STANDARDS  
CITY ENGINEER'S ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS (2013)  
MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (2018 EDITION)



12800 Whitewater Drive, Suite 300  
Minnetonka, MN 55343  
763.476.6010 telephone  
763.476.8532 facsimile

Engineering | Surveying | Planning | Environmental

Client  
HEMPEL REAL  
ESTATE



HEMPEL  
REAL ESTATE  
Project  
HIGHVIEW 610

Location  
BROOKLYN  
PARK, MN  
9501 LOUISIANA AVE

### Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Erik Miller  
Registration No. 41326 Date: 03/18/2020

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

### Summary

Designed: AJR Drawn: AJR  
Approved: EVM Book / Page: N / A  
Phase: PRELIMINARY Initial Issue: 03/18/2020

### Revision History

No.	Date	By	Submittal / Revision
1	04/22/2020	AJR	CITY COMMENTS
2	04/28/2020	AJR	CITY COMMENTS
3	05/01/2020	AJR	CITY COMMENTS

Sheet Title  
COVER SHEET

Sheet No. Revision  
C1.01

Project No. 22118



**Certification**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric J. Miller  
Registration No. 41326 Date: 03/18/2020  
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No.	Date	By	Submittal / Revision
1	04/22/2020	AJR	CITY COMMENTS
2	04/28/2020	AJR	CITY COMMENTS
3	05/01/2020	AJR	CITY COMMENTS

Sheet Title  
**PRELIMINARY SITE PLAN**

Sheet No. Revision  
**C3.01**

Project No. 22118

**LEGEND**

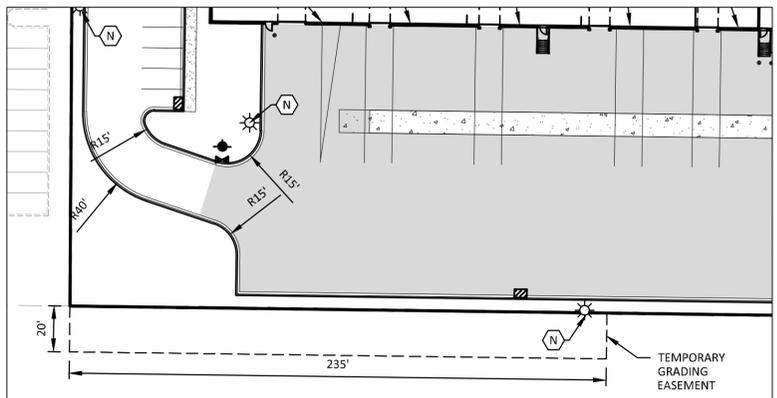
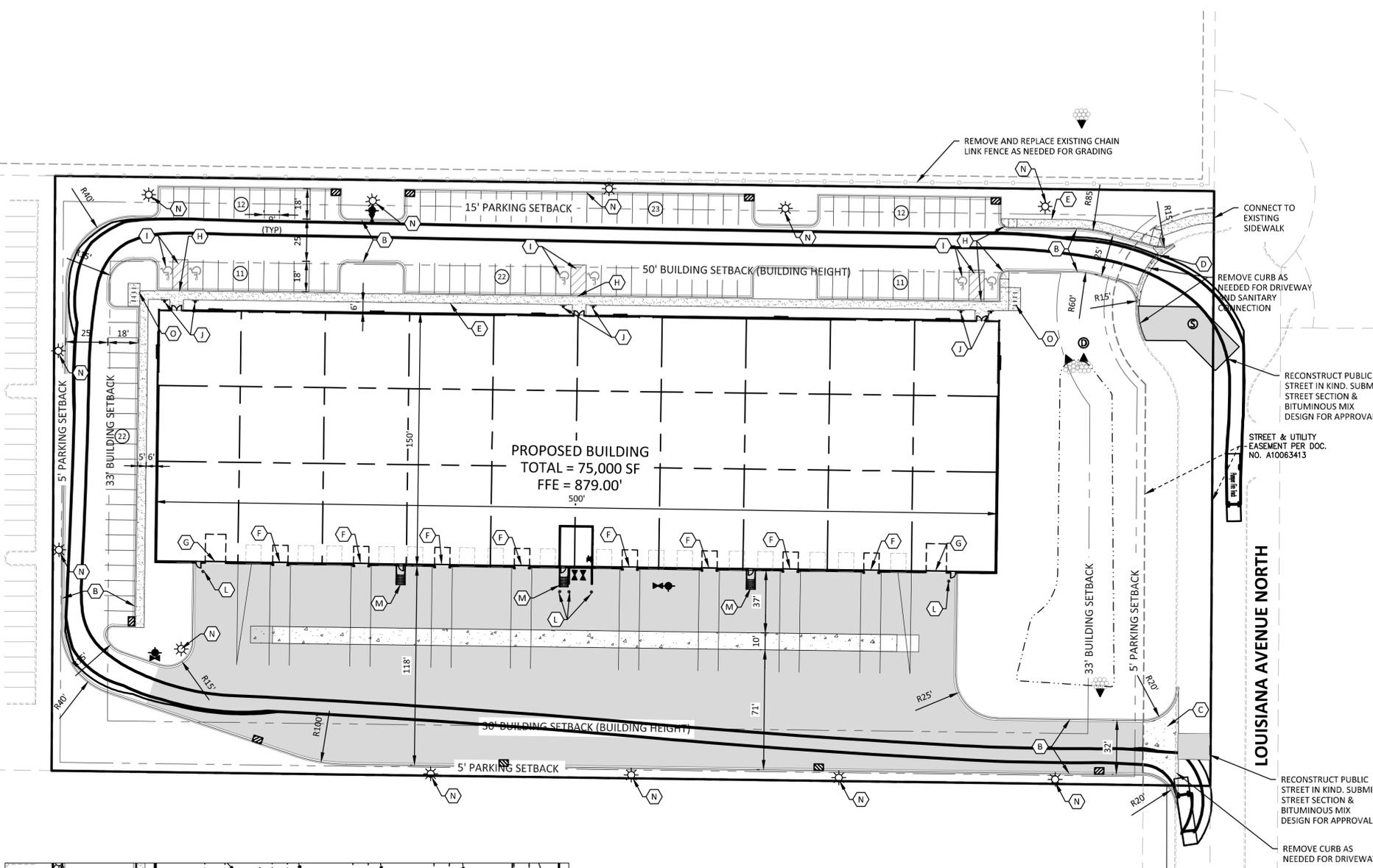
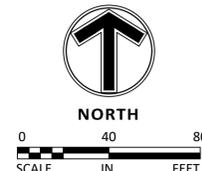
PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
Property Limit	Property Limit	Standard Duty Asphalt Paving
Curb & Gutter	Curb & Gutter	Heavy Duty Asphalt Paving
Easement	Easement	Concrete Paving
Building	Building	Concrete Sidewalk
Retaining Wall	Retaining Wall	Pavement by Others (See Architectural Plans)
Wetland Limits	Wetland Limits	
Treeline	Treeline	
Sawcut Line	Sawcut Line	
Sign	Sign	
Pipe Bollard	Pipe Bollard	
Number of Parking Stalls per Row	Number of Parking Stalls per Row	
Key Note	Key Note	

**DEVELOPMENT SUMMARY**

AREA	242,680 SF	5.57 AC
GROSS SITE AREA	14,743 SF	0.34 AC
LESS R-O-W	227,937 SF	5.23 AC
NET SITE AREA		
PROPOSED GREENSPACE	180,022 SF / 79.0%	
IMPERVIOUS AREA	47,915 SF / 21.0%	
GREENSPACE		
BUILDING SETBACKS		
FRONT YARD	50 FEET	
REAR YARD	30 FEET	
SIDE YARD	33 FEET	
PARKING SETBACKS		
FRONT YARD (RIGHT-OF-WAY)	15 FEET	
REAR YARD	5 FEET	
SIDE YARD	5 FEET	
ZONING		
EXISTING ZONING	BP/HO (BUSINESS PARK / INDUSTRIAL)	
PROPOSED ZONING	PD/O (PLANNED DEVELOPMENT / OVERLAY)	
PARKING SUMMARY		
SHOWROOM OR LIGHT MANUFACTURING	1 STALL / 400 SF	
WAREHOUSING	1 STALL / 2,000 SF	
OFFICE	1 STALL / 1,000 SF	
PROPOSED PARKING RATIO	1.53 STALLS / 1,000 SF	
PARKING PROVIDED	113 STALLS	
ACCESSIBLE STALLS PROVIDED	6 STALLS	

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
  - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
  - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
  - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - SEE ARCHITECTURAL PLANS FOR PYLON SIGN DETAILS.
  - SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
  - ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.00% (1:50). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE 2.00% (1:50). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT AND COORDINATE WITH GRADING CONTRACTOR.
  - "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.
  - REMOVE ALL EXISTING TREES AND CLEAR/GRUB WITHIN GRADING LIMITS PRIOR TO CONSTRUCTION.

- KEY NOTES**
- BUILDING, STOOPS, STAIRS (SEE ARCHITECTURAL PLANS)
  - B-612 CONCRETE CURB AND GUTTER
  - INDUSTRIAL DRIVEWAY OPENING
  - CONCRETE CROSS GUTTER
  - CONCRETE SIDEWALK
  - LOADING DOCK DOOR
  - DRIVE IN DOCK DOOR
  - ACCESSIBLE RAMP
  - ACCESSIBLE STALL STRIPING
  - ACCESSIBLE PARKING SIGN
  - NOT USED
  - BOLLARD (SEE ARCH PLAN)
  - STAIRS (SEE ARCH PLAN)
  - LIGHT POLE
  - BIKE RACK (SEE DETAIL L1.01)



**ALTERNATE DESIGN CONDITIONED UPON APPROVAL OF A TEMPORARY GRADING EASEMENT BY ADJOINING PROPERTY OWNER**

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE E138-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. BY CONTRACTING THE NOTIFICATION CENTER (Gopher State One for Minnesota), THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).  
IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.  
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



**Certification**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric J. Miller  
Registration No. 41326 Date: 03/18/2020

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

**Summary**

Designed: AJR Drawn: AJR  
Approved: EWM Book / Page: N / A  
Phase: PRELIMINARY Initial Issue: 03/18/2020

**Revision History**

No.	Date	By	Submittal / Revision
1	04/22/2020	AJR	CITY COMMENTS
2	04/28/2020	AJR	CITY COMMENTS
3	05/01/2020	AJR	CITY COMMENTS

Sheet Title  
**GRADING & EROSION CONTROL PLAN**

Sheet No. Revision  
**C4.01**

Project No. 22118

**LEGEND**

PROPERTY LIMIT	PROPOSED	EXISTING
CURB & GUTTER		
STORM SEWER		
DRAINTILE		
BUILDING		
RETAINING WALL		
WETLAND LIMITS		
TREELINE		
SPOT ELEVATION		
CONTOUR		
RIP RAP		
OVERFLOW ELEV.		
SOIL BORINGS		

**LEGEND**

CURB & GUTTER	PROPOSED	EXISTING
STORM SEWER		
DRAINTILE		
CONTOUR		
RIP RAP		
OVERFLOW ELEV.		
SILT FENCE		
SILT DIKE		
LIMITS OF DISTURBANCE		
SOIL BORINGS		
DIRECTION OF OVERLAND FLOW		
TEMPORARY DIVERSION DITCH		
CHECK DAM		
LIMITS OF DRAINAGE SUB-BASIN		
BIO-ROLL		
INLET PROTECTION DEVICE		
TEMPORARY STONE CONSTRUCTION ENTRANCE		
TEMPORARY SEDIMENT BASIN		
TEMPORARY STORAGE AND PARKING AREA		
TEMPORARY STABILIZATION MEASURES (SEED, MULCH, MATS OR BLANKETS AS OUTLINED IN THE SWPPP)		

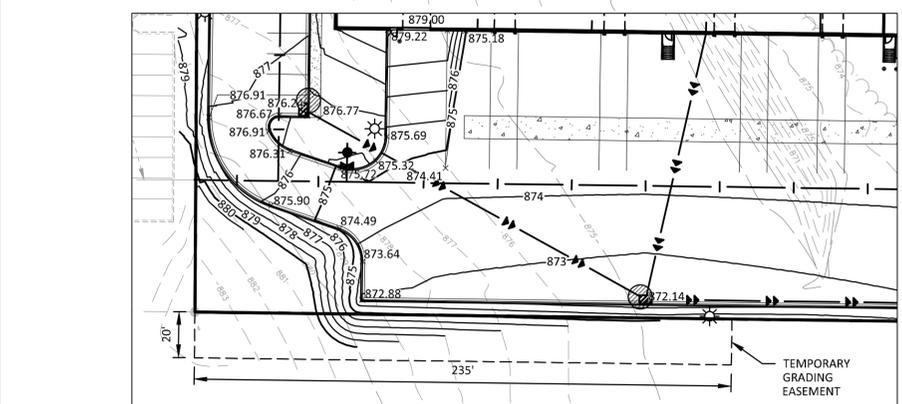
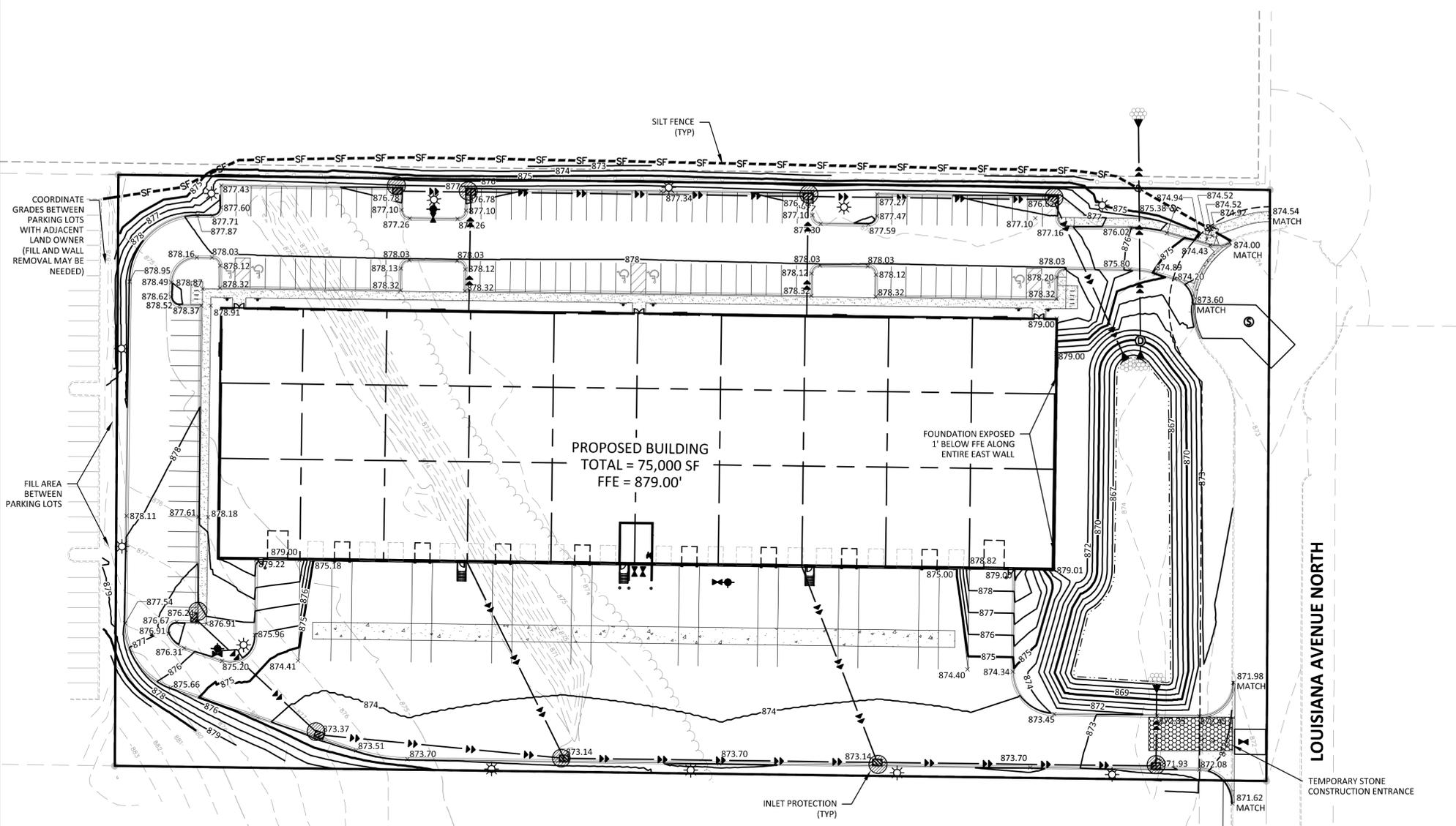
**NOTE TO CONTRACTOR**

THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MPCA. THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

**EROSION CONTROL MATERIALS QUANTITIES**

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	670
SILT DIKE	LINEAR FEET	0
BIO-ROLL	LINEAR FEET	0
CONSTRUCTION ENTRANCE	UNIT	1
INLET PROTECTION DEVICE (IP-1)	UNIT	0
INLET PROTECTION DEVICE (IP-2)	UNIT	9

\* REFER TO SHEET C5.03 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

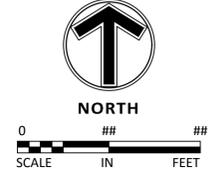


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Client  
**HEMPEL REAL ESTATE**



**HEMPEL REAL ESTATE**  
Project  
**HIGHVIEW 610**

Location  
**BROOKLYN PARK, MN**  
9501 LOUISIANA AVE

**Certification**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric J. Miller  
Registration No. 41326 Date: 03/18/2020  
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

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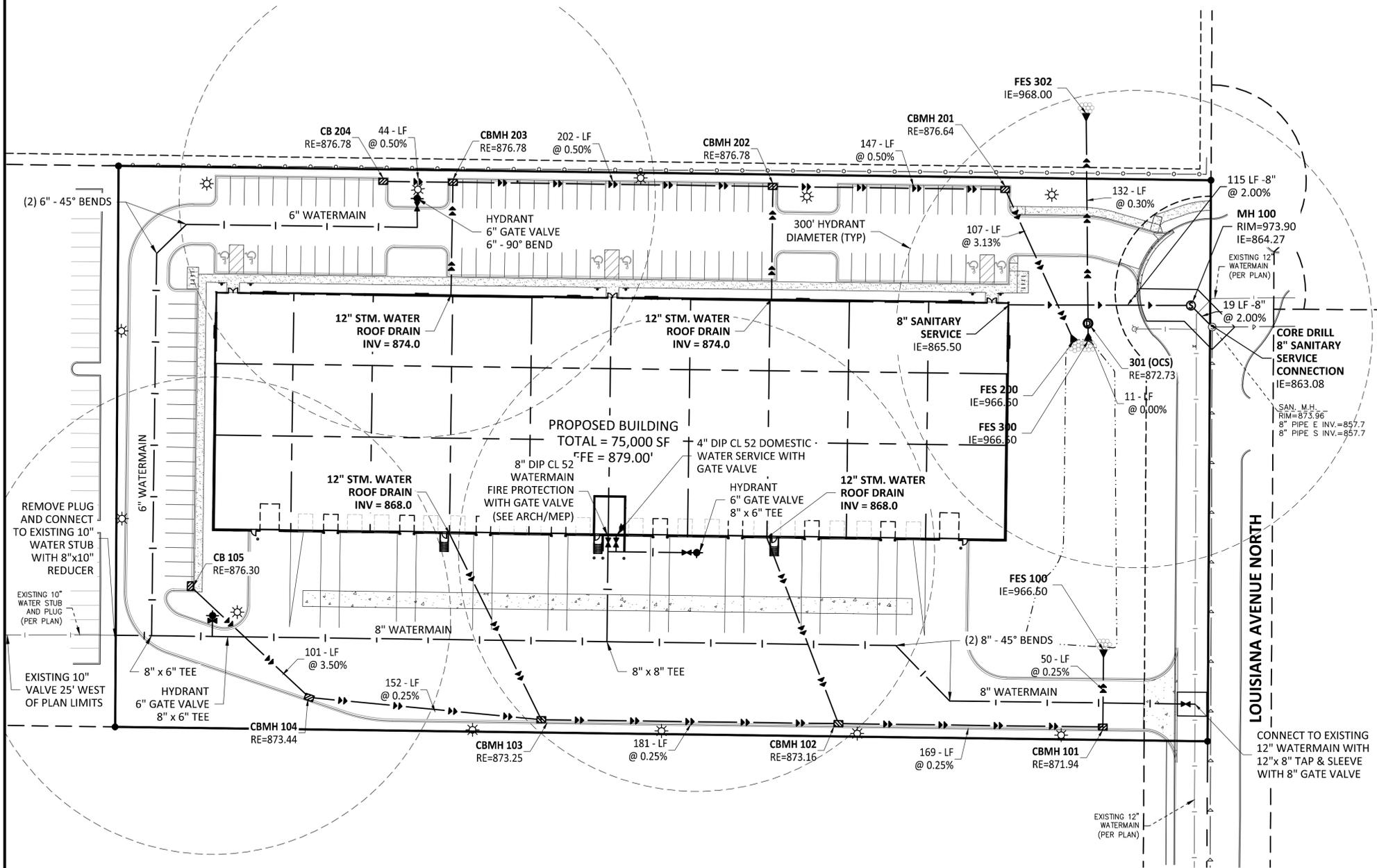
Sheet Title  
**UTILITY PLAN**

Sheet No. Revision  
**C6.01**

Project No. 22118

**LEGEND**

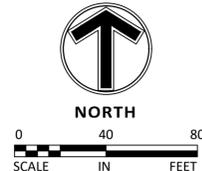
PROPOSED	EXISTING
CURB & GUTTER	
STORM SEWER	
SANITARY SEWER	
FORCEMAIN (SAN.)	
WATERMAIN	
EASEMENT	
DRAINTILE	
GAS LINE	
ELECTRIC	
TELEPHONE	

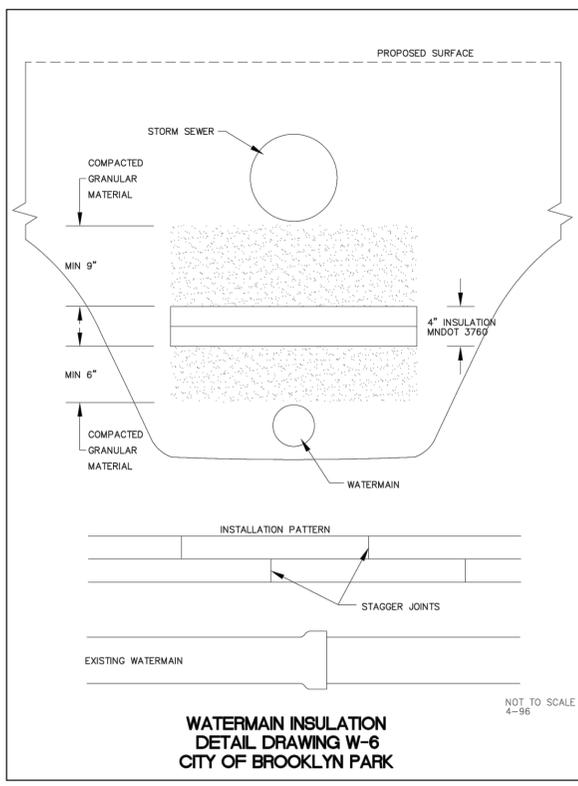


THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOMPH STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

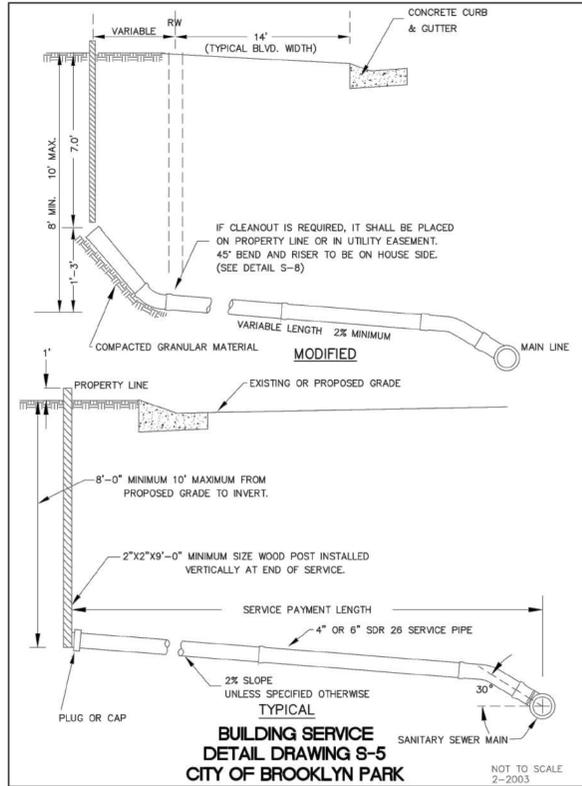
IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

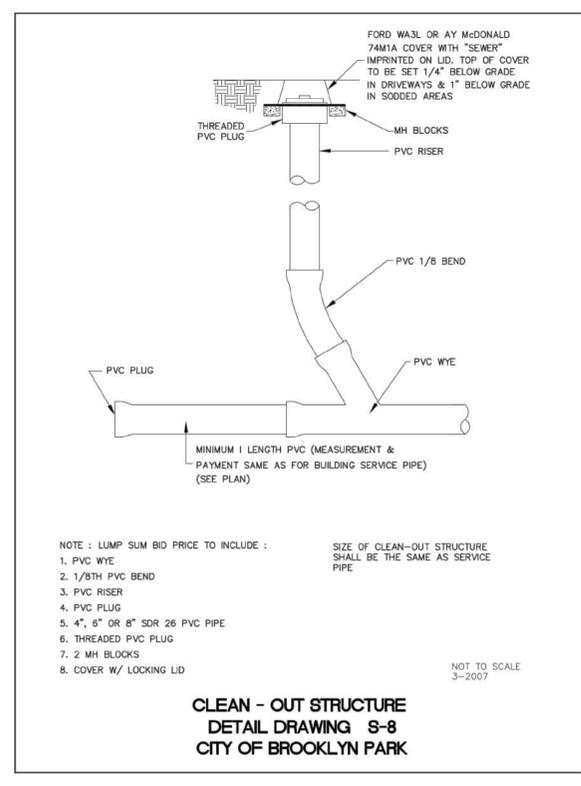




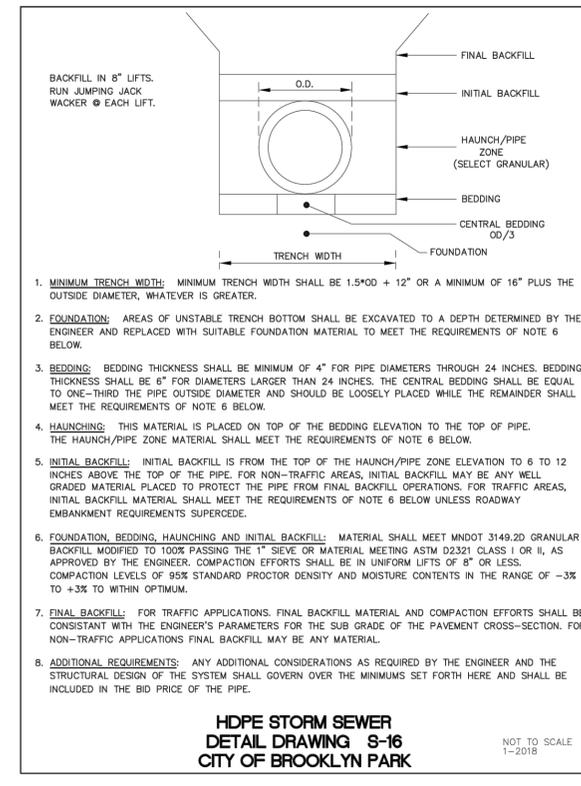
**WATERMAIN INSULATION  
DETAIL DRAWING W-6  
CITY OF BROOKLYN PARK**



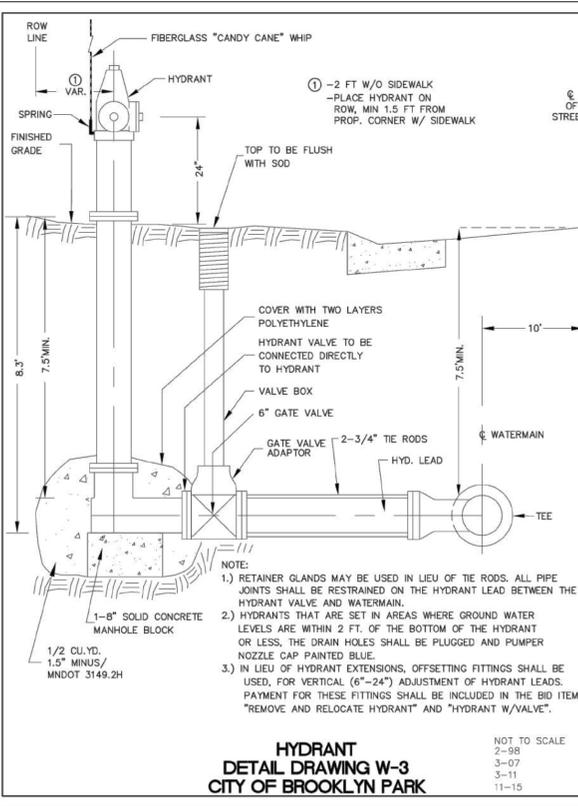
**BUILDING SERVICE  
DETAIL DRAWING S-5  
CITY OF BROOKLYN PARK**



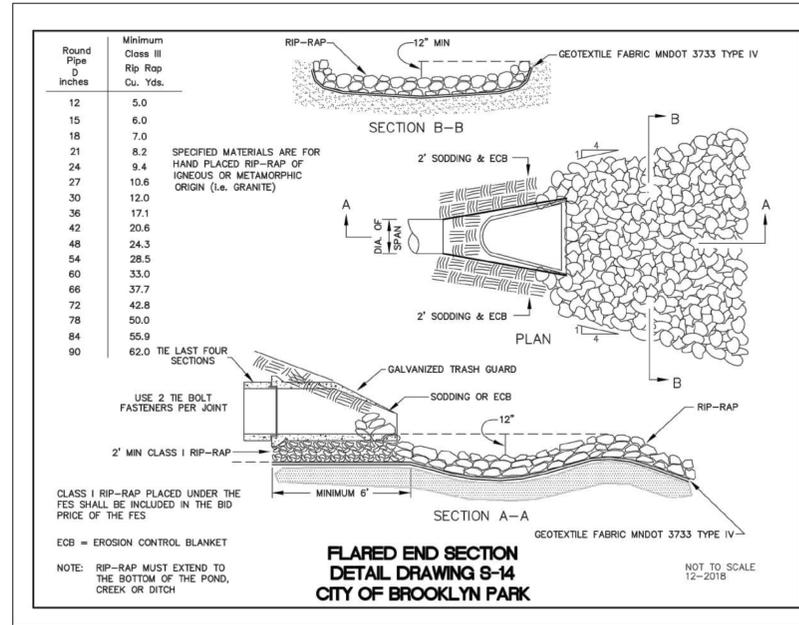
**CLEAN - OUT STRUCTURE  
DETAIL DRAWING S-8  
CITY OF BROOKLYN PARK**



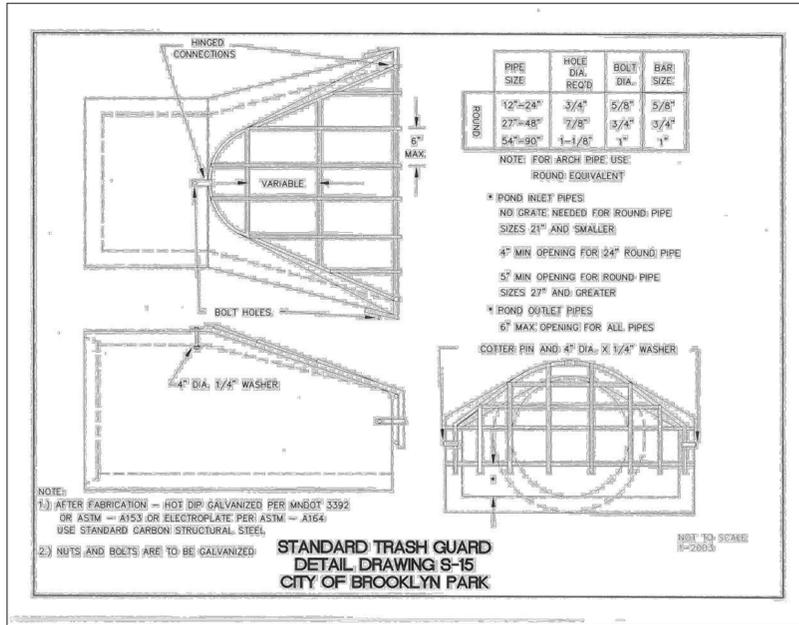
**HDPE STORM SEWER  
DETAIL DRAWING S-16  
CITY OF BROOKLYN PARK**



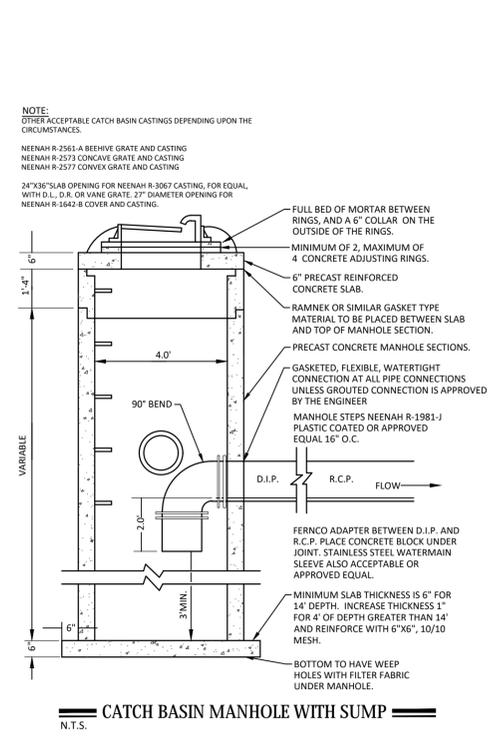
**HYDRANT  
DETAIL DRAWING W-3  
CITY OF BROOKLYN PARK**



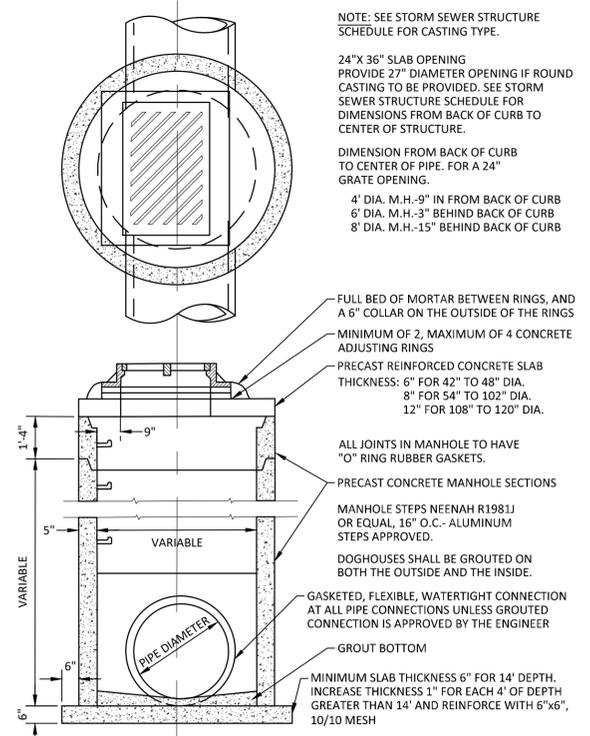
**FLARED END SECTION  
DETAIL DRAWING S-14  
CITY OF BROOKLYN PARK**



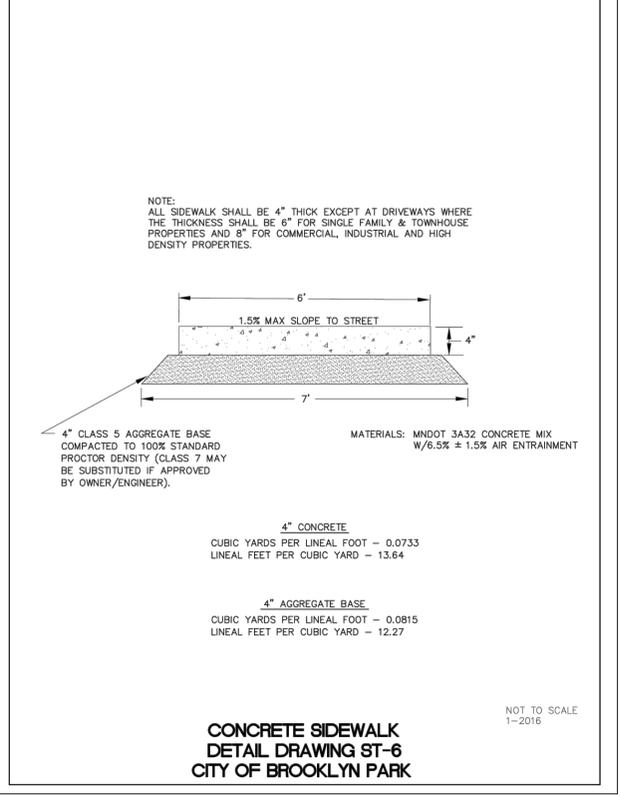
**STANDARD TRASH GUARD  
DETAIL DRAWING S-15  
CITY OF BROOKLYN PARK**



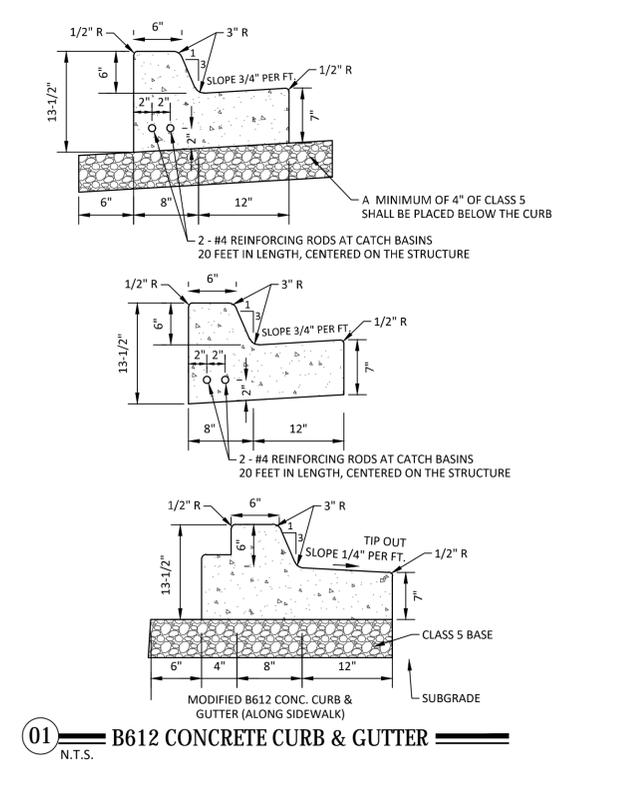
**02 CATCH BASIN MANHOLE**  
N.T.S.



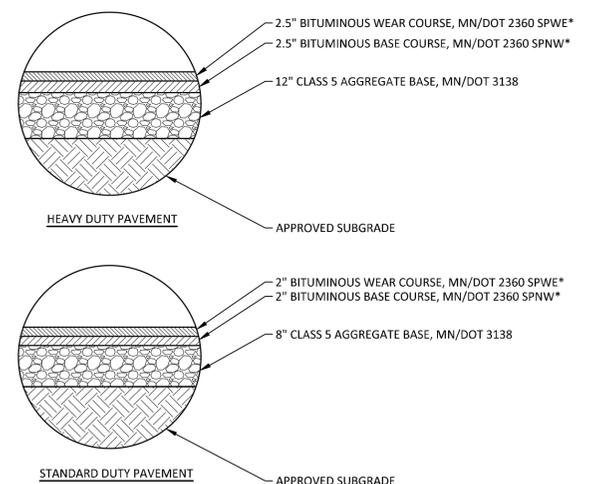
**02 CATCH BASIN MANHOLE**  
N.T.S.



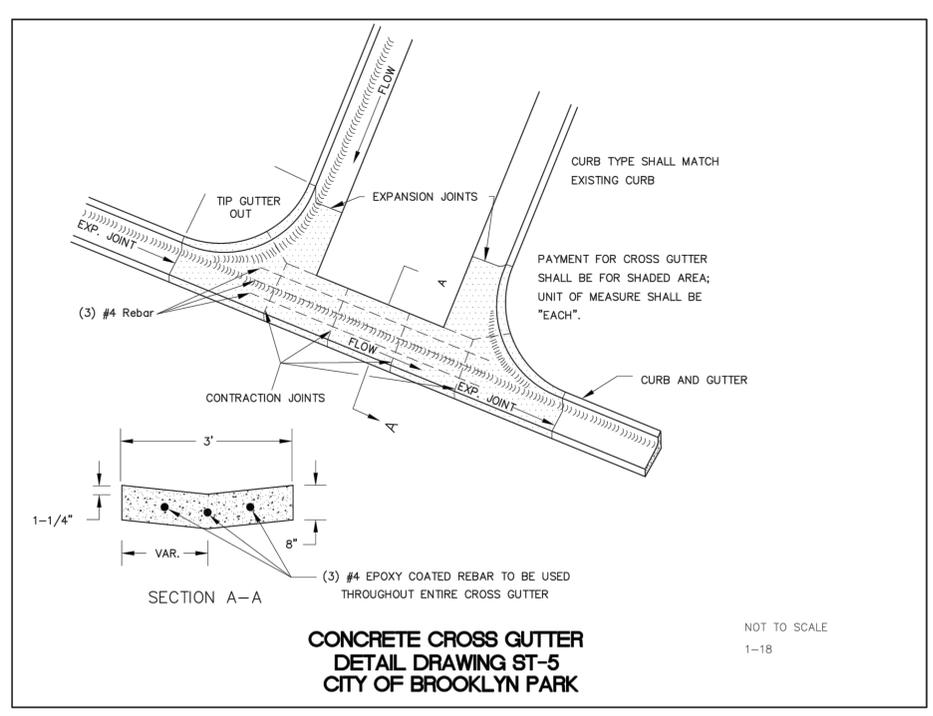
**CONCRETE SIDEWALK DETAIL DRAWING ST-6**  
CITY OF BROOKLYN PARK



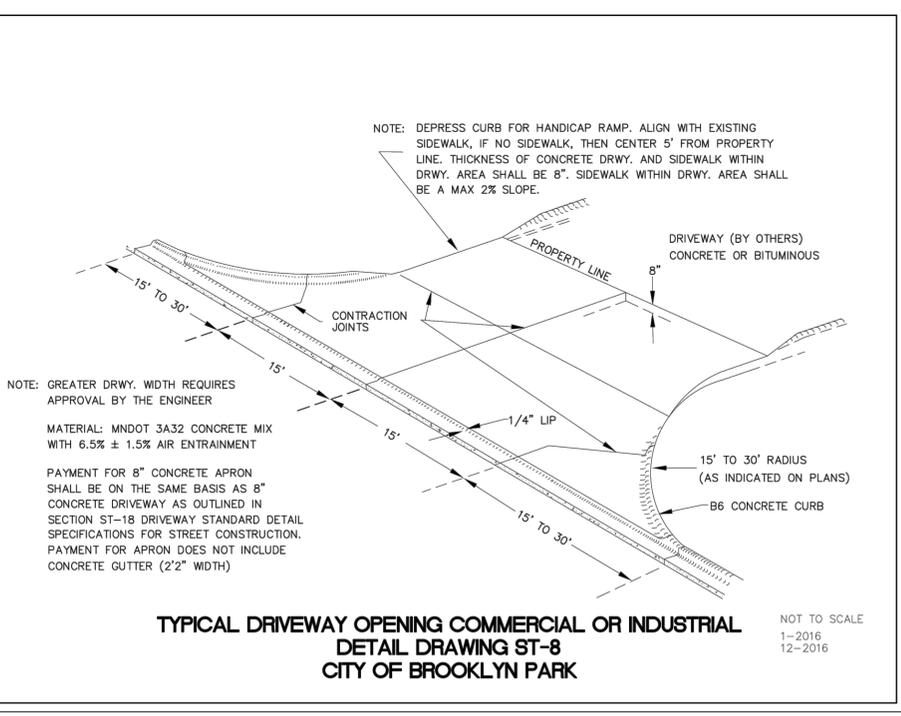
**01 B612 CONCRETE CURB & GUTTER**  
N.T.S.



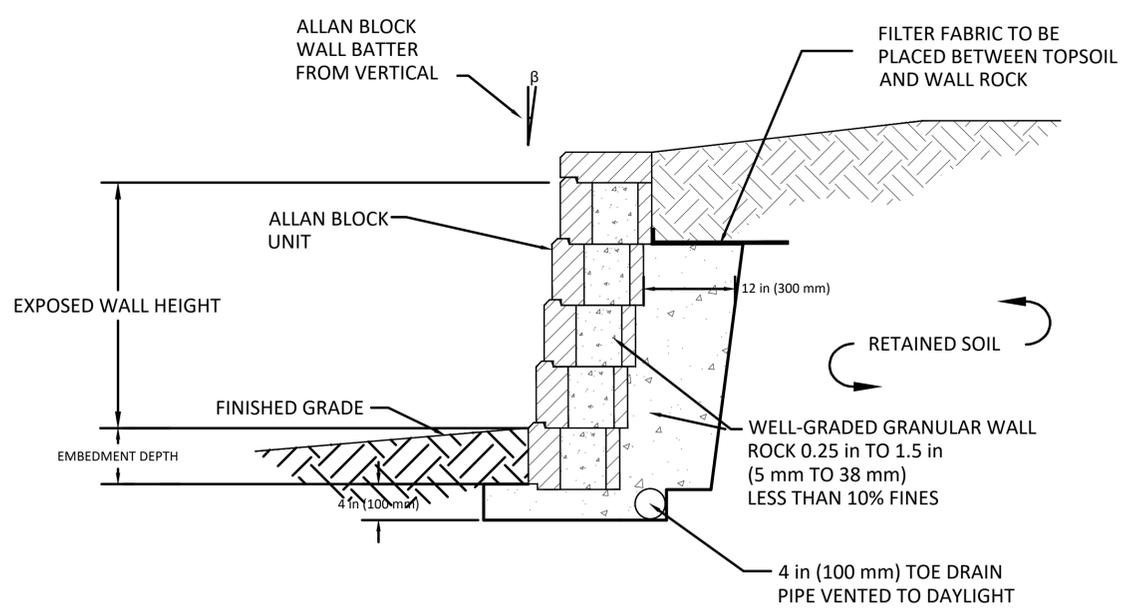
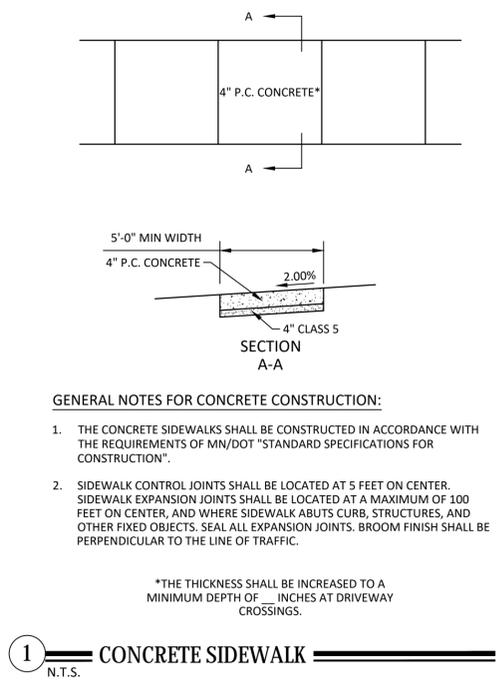
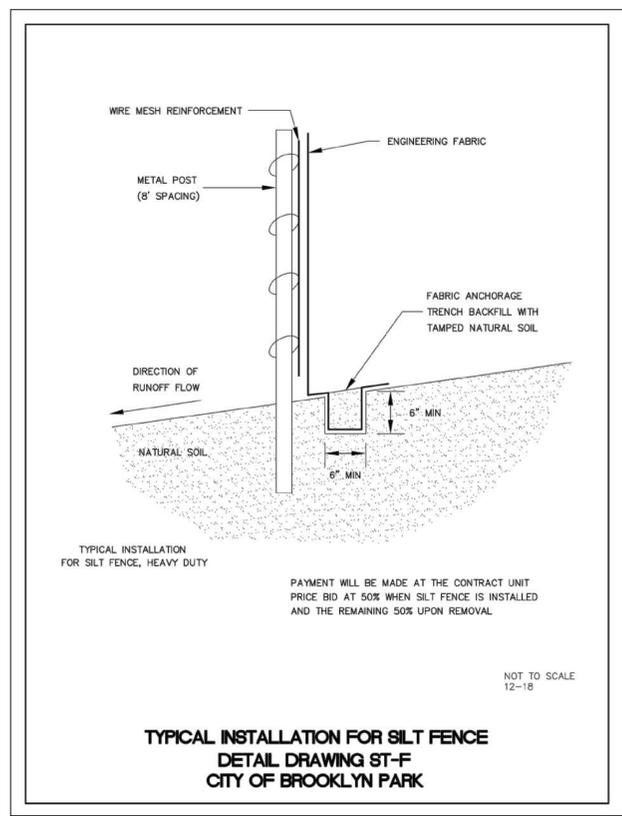
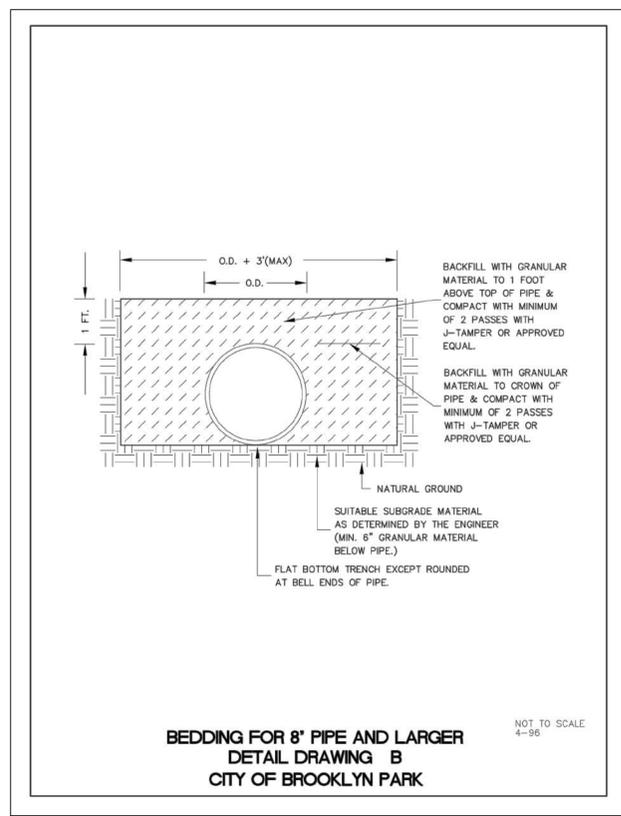
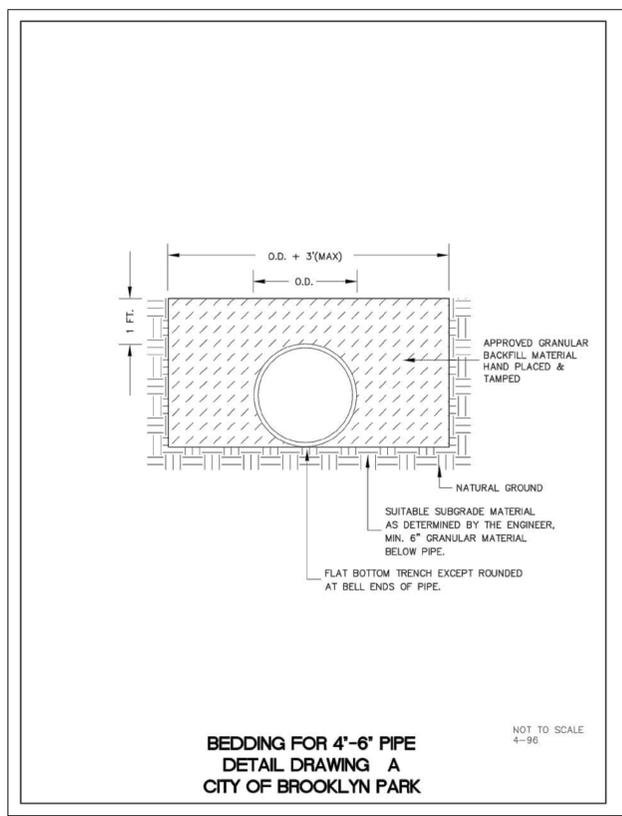
**PAVEMENT SECTIONS**  
N.T.S.

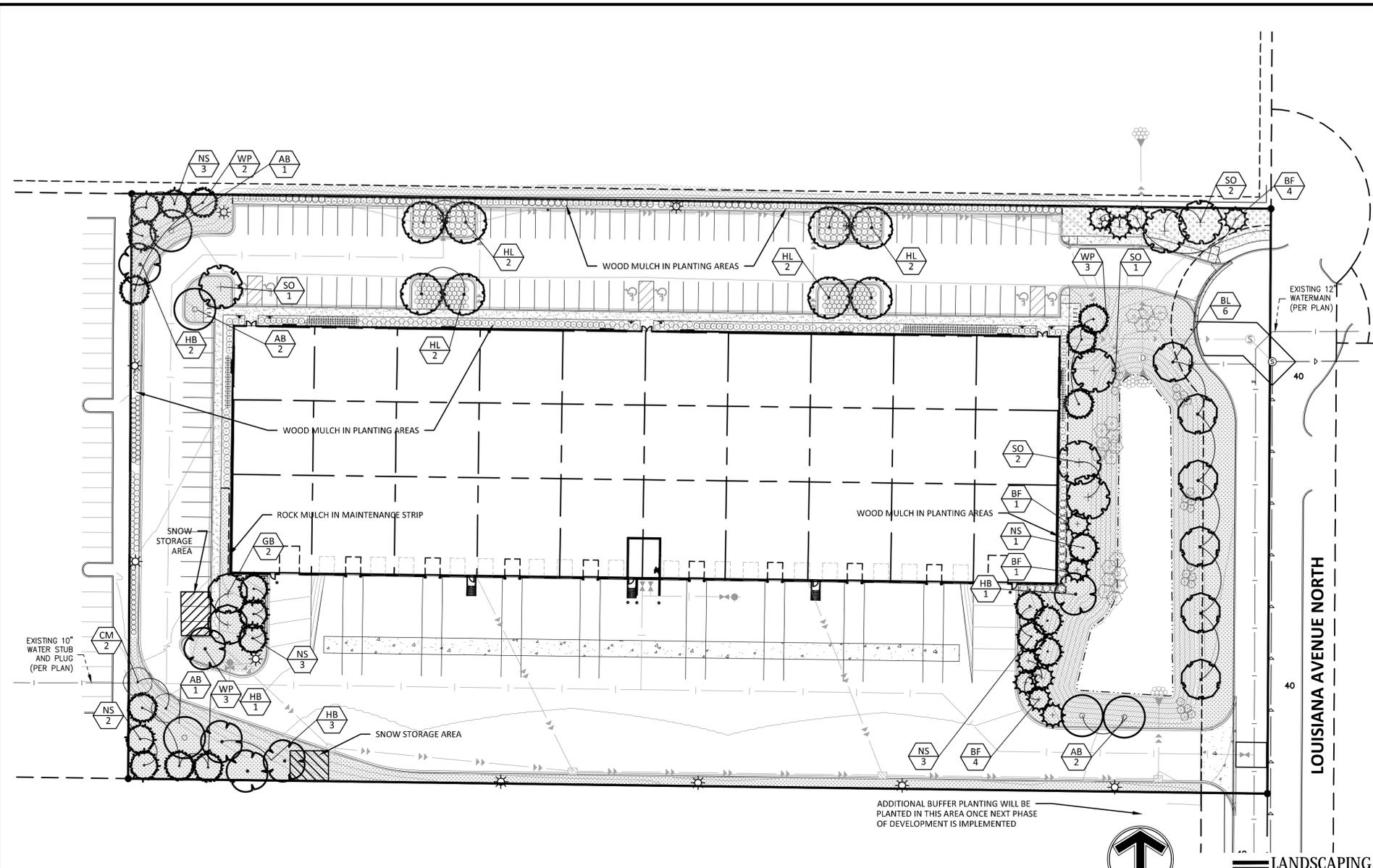


**CONCRETE CROSS GUTTER DETAIL DRAWING ST-5**  
CITY OF BROOKLYN PARK

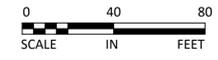


**TYPICAL DRIVEWAY OPENING COMMERCIAL OR INDUSTRIAL DETAIL DRAWING ST-8**  
CITY OF BROOKLYN PARK

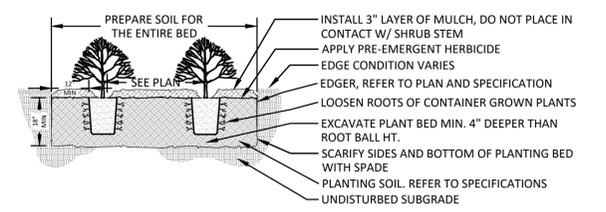




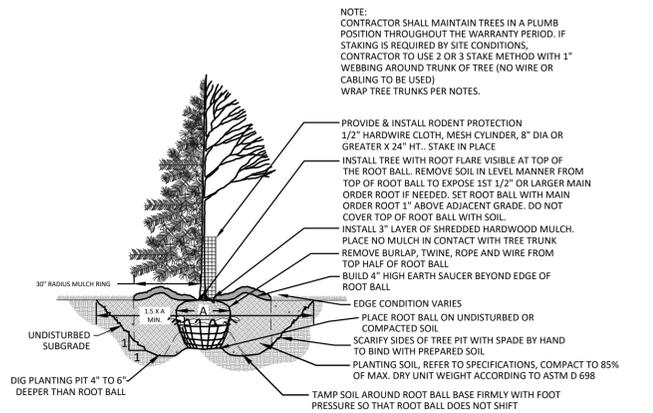
PLANT SCHEDULE						
TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
○	AB	Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple	B & B	2.5" Cal		5
○	CM	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	2.5" Cal		2
○	HB	Celtis occidentalis / Common Hackberry	B & B	2.5" Cal		6
○	GB	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree	B & B	2.5" Cal		2
○	HL	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B & B	2.5" Cal		8
○	SO	Quercus bicolor / Swamp White Oak	B & B	2.5" Cal		6
○	BL	Tilia americana 'Boulevard' / Boulevard Linden	B & B	2.5" Cal		6
CONIFERS	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
⊕	BF	Abies balsamea / Balsam Fir	B & B	6"		11
⊕	NS	Picea abies / Norway Spruce	B & B	6"		13
⊕	WP	Pinus strobus / White Pine	B & B	6"		8
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	QTY		
○	RS	Amelanchier alnifolia 'Regent' / Saskatoon Serviceberry	5 gal	25		
○	BC	Aronia melanocarpa 'Autumn Magic' / Autumn Magic Black Chokeberry	5 gal	54		
○	RD	Cornus baileyi / Bailey's Red-twig Dogwood	5 gal	19		
○	CD	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	5 gal	125		
○	HC	Cotoneaster lucidus / Shiny Cotoneaster	5 gal.	17		
⊕	BH	Diervilla lonicera / Dwarf Bush Honeysuckle	5 gal	84		
○	LH	Hydrangea paniculata 'Jane' / Little Lime Hydrangea	5 gal	81		
○	GL	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	112		
○	AC	Ribes alpinum / Alpine Currant	5 gal	54		
○	TS	Spiraea betulifolia 'Tor' / Birchleaf Spirea	5 gal	128		
○	TY	Taxus x media 'Tauntonia' / Tauntonia's Yew	5 gal	35		
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	QTY		
▨	25-151	MNDOT Seed Mix 25-151 / High Maintenance Turf	Seed	3,696 sf		
▨	35-241	MNDOT Seed Mix 35-241 / Native General Roadside	Seed	5,946 sf		
▨	TUR HIG	Turf Sod Highland Sod / Sod	Sod	29,586 sf		



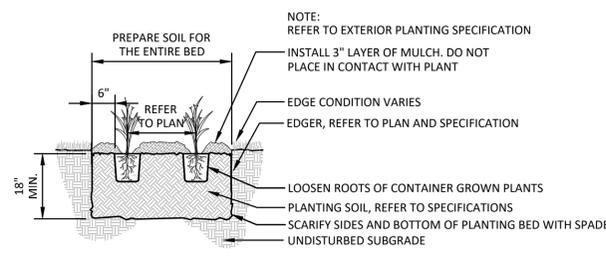
BUILDING/ LOT	OPEN SPACE REQ'D (3 OF THE FOLLOWING) /3000 = EVERGREEN /3000 = SHADE /1500 = ORNAMENTAL /100 = SHRUB REQ'D/PROVIDED	STREET FRONTAGE 1 TREE EVERY 70'	CANOPY COVER PARKING LOT GREEN SPACE /360 = SHADE REQ'D/PROVIDED	FOUNDATION PLANTINGS 50% BUILDING PERIMETER	SCREENING AS REQUIRED
72,804 SF /3000 = 24/ 32 /3000 = 24/ 35 /1500 = 48/ 0 /100 = 728/734	Louisiana Ave 352/70 = 5 TREES AS SHOWN ON PLAN	4986 SF/360 = 14 TREES 14 TREES PROVIDED	PROVIDED AS SHOWN		



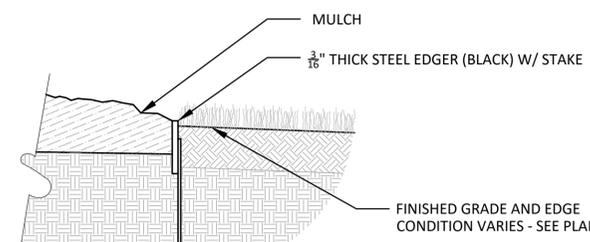
**2** L1.01 3/8" = 1'-0" P-02



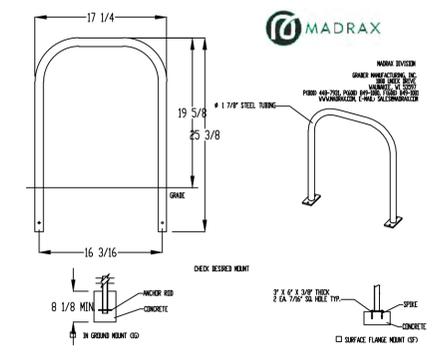
**1** L1.01 1/4" = 1'-0" P-01



**3** L1.01 1/2" = 1'-0" P-03



**4** L1.01 1 1/2" = 1'-0" P-06



**5** L1.01 P-06



**Certification**

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

W. Paul Delaney  
Registration No. 40252 Date: 04-17-2020

This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek, Minnetonka, MN office.

**Summary**

Designed: AJR Drawn: AJR  
Approved: EVM Book / Page: N / A  
Phase: PRELIMINARY Initial Issue: 03/18/2020

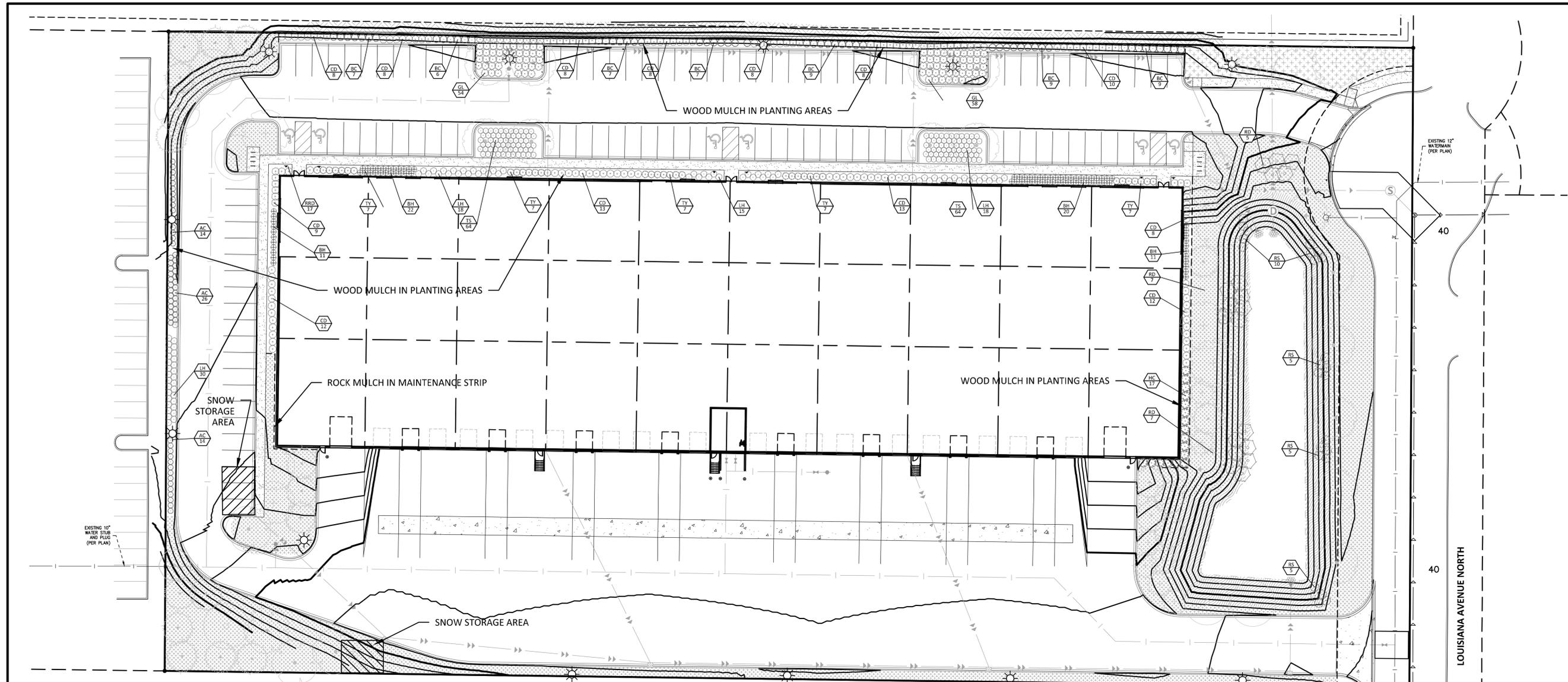
**Revision History**

No.	Date	By	Submittal / Revision
1	04/22/2020	AJR	CITY COMMENTS
2	04/28/2020	AJR	CITY COMMENTS
3	05/01/2020	AJR	CITY COMMENTS

Sheet Title  
**LANDSCAPE NOTES & DETAILS**

Sheet No. Revision  
**L1.02**

Project No. 22118



**NOTES**

**GENERAL NOTES**

- THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
- THE CONTRACTOR SHALL VERIFY PLANT LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND GOPHER STATE ONE CALL 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.
- THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4' HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6' O.C. MAXIMUM SPACING.
- LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.

**PLANTING NOTES**

- NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- A GRANULAR PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AT THE MANUFACTURERS RECOMMENDED RATE PRIOR TO PLANT INSTALLATION.
- ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
- OVERSTORY TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACES.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLEAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE.

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
  - MULCH: DOUBLE SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL, IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 3" FOR SHRUB BEDS, TREE RINGS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
  - BUILDING MAINTENANCE STRIP: WHERE NO LANDSCAPE PLANTING BEDS EXIST ADJACENT TO A BUILDING FOUNDATION, CONTRACTOR SHALL INSTALL A DECORATIVE ROCK MAINTENANCE STRIP PER PLAN. DECORATIVE ROCK SHALL BE 1"-3" DRESSER TRAP ROCK, GREY IN COLOR.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN.
  - USE ANTI-DESICCANT (WILTPROF OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
  - WRAP ALL SMOOTH-BARKED DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND REMOVE WRAPPING AFTER MAY 1. TREE WRAPPING MATERIAL SHALL BE WHITE TWO-WALLED PLASTIC SHEETING APPLIED FROM TRUNK FLARE TO THE FIRST BRANCH.
  - ALL DECIDUOUS, PINE, AND LARCH PLANTINGS SHALL RECEIVE RODENT PROTECTION PER MNDOT 2571.31.2
  - PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRIABLE LOAM CONTAINING A LIBERAL AMOUNT (4% MIN.) OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MNDOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL. MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED IN A 6" LAYER AND ROTO-TILLING IT INTO THE TOP 12" OF SOIL AT A 1:1 RATIO. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
  - CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT EACH EXCAVATED TREE AND SHRUB PIT WILL PERCOLATE PRIOR TO INSTALLING PLANTING MEDIUM AND PLANTS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER AND CONFIRM THAT THIS WATER WILL PERCOLATE WITHIN A 24-HOUR PERIOD. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A PVC DRAIN OR GRAVEL SUMP SHALL BE INSTALLED OR THE PLANTING SHALL BE RELOCATED IF DIRECTED BY THE LANDSCAPE ARCHITECT.
  - ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
  - CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
  - SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK.
  - POTTED PLANTS: 4/1 - 6/1; 9/21 - 11/1
  - DECIDUOUS B&B: 4/1 - 6/1; 9/21 - 11/1

- EVERGREEN POTTED PLANTS: 4/1 - 6/1; 9/21 - 11/1
- EVERGREEN B&B: 4/1 - 5/1; 9/21 - 11/1
- TURF/LAWN SEEDING: 4/1 - 6/1; 7/20 - 9/20
- NATIVE MIX SEEDING: 4/15 - 7/20; 9/20-10/20

- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE. INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.

**TURF NOTES**

- TURF ESTABLISHMENT SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROVISIONS OF THE MNDOT 2105 AND 2575 EXCEPT AS MODIFIED BELOW:
- ALL AREAS TO RECEIVE SOD SHALL ALSO RECEIVE 6" OF TOPSOIL PRIOR TO INSTALLING SOD. TOPSOIL SHALL BE FREE OF TREE ROOTS, STUMPS, BUILDING MATERIAL, AND TRASH, AND SHALL BE FREE OF STONES LARGER THAN 1 1/2" INCHES IN ANY DIMENSION WHERE SOD ABUTS PAVED SURFACES. FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
  - SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
  - TURF ON ALL OTHER AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED BY SEEDING, MULCHING AND FERTILIZING. SEED MIXTURE NO. 25-121 WILL BE PLACED AT THE RATE OF 65 POUNDS PER ACRE.
  - ALL DISTURBED AREAS TO BE TURF SEED, ARE TO RECEIVE 6" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.
  - ALL DISTURBED AREAS TO RECEIVE NATIVE SEED, ARE TO RECEIVE PLANTING SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.

**GENERAL TREE SPECIFICATIONS:**

- ALL STREET AND PARKING LOT TREES SHALL BE LIMBED UP TO THE FOLLOWING HEIGHTS:
  - 2" CAL. TREES: LOWEST BRANCH 6' HT.
  - 3" CAL. TREES: LOWEST BRANCH 7' HT.
- TREE CANOPY WIDTH SHALL BE RELATIVE TO HEIGHT/CALIPER OF TREE AND TYPE OF TREE.
  - 1" CALIPER/6-8' HT: 3-4' WIDTH MIN.

- 2" CALIPER/12-14' HT: 4-5' WIDTH MIN.
- 3" CALIPER/14-16' HT: 6-7' WIDTH MIN.
- CANOPY TREES SHALL NOT HAVE CO-DOMINATE LEADERS IN LOWER HALF OF TREE CROWN.
- ALL TREES SHALL HAVE SYMMETRICAL OR BALANCED BRANCHING ON ALL SIDES OF THE TREE.
- TREES SHALL NOT BE TIPPED PRUNED.
- TREES SHALL BE FREE OF PHYSICAL DAMAGE FROM SHIPPING AND HANDLING. DAMAGED TREES SHALL BE REJECTED.
- SUMMER DUG TREES SHALL HAVE ROOTBALL SIZE INCREASED BY 20%
- TREES WHICH EXCEED RECOMMENDED CALIPER TO HEIGHT RELATIONSHIP SHALL BE REJECTED.

**IRRIGATION NOTES:**

- IRRIGATION SYSTEM TO BE DESIGN/BUILD. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL OF SYSTEM LAYOUT PRIOR TO INSTALLATION.
- ALL SOD TO RECEIVE SPRAY OR ROTOR IRRIGATION HEADS WITH MINIMUM DESIGN OF 1" IRRIGATION PER WEEK.
- ALL PLANT BEDS TO RECEIVE DRIP LINE IRRIGATION, WITH A MINIMUM DESIGN OF .25" IRRIGATION PER WEEK.
- CONTRACTOR TO INSTALL A TOTAL OF 4 QUICK COUPLERS AT THE CORNERS OF THE PROPERTY. A 2.5" TYPE K SOURCE PIPE IS PROVIDED BY MECHANICAL.







## Highview 610

9501 LOUISIANA AVENUE  
BROOKLYN PARK, MINNESOTA

04-28-20 | COMM# M20-022

**POPE**  
ARCHITECTS



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Watts	Lum. Lumens
	14	AA	SINGLE	0.900	MCGRAW GWC-AF-02-LED-E1-T4FT WALL MOUNT AT APPROX 24FT	113	12784
	1	AA1	SINGLE	0.900	MCGRAW GWC-AF-02-LED-E1-T2WALL MOUNT AT APPROX 24FT	113	12470
	8	BB	SINGLE	0.900	MCGRAW GLEON-AF-03-LED-E1-SL2-HSS MOUNT ON 22FT POLE WITH 3FT BASE	166	15397
	3	CC	SINGLE	0.900	MCGRAW GLEON-AF-04-LED-E1-SL4-HSS MOUNT ON 22FT POLE WITH 3FT BASE	225	19935
	1	DD	SINGLE	0.900	MCGRAW GLEON-AF-06-LED-E1-T4W MOUNT ON 22FT POLE WITH 3FT BASE	333	36163

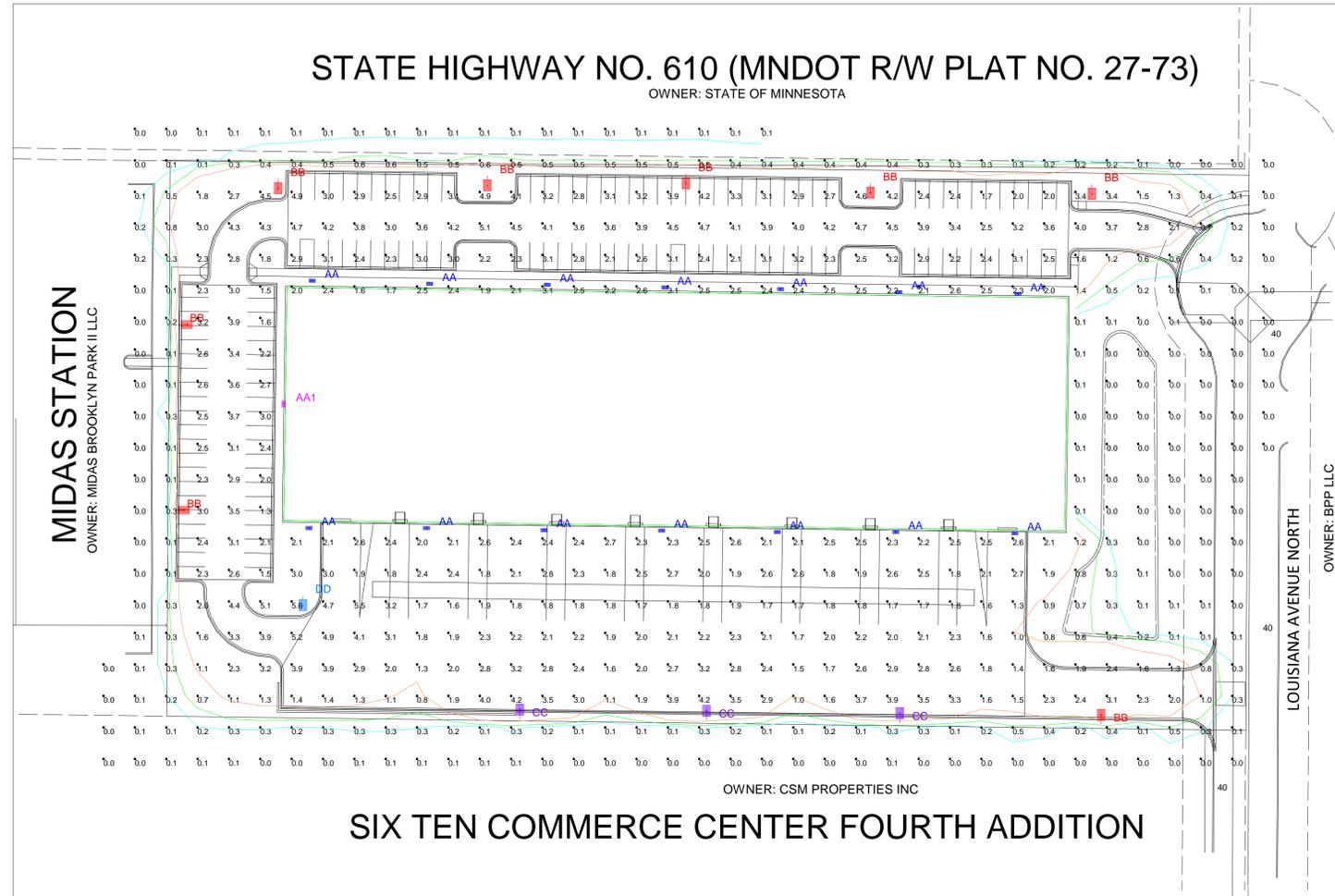
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE GROUND	Illuminance	Fc	1.51	5.6	0.0	N.A.	N.A.
NORTH PARKING	Illuminance	Fc	3.26	5.1	1.7	1.92	3.00
SOUTH TRUCK DOCK	Illuminance	Fc	2.33	5.5	0.8	2.91	6.88
WEST PARKING	Illuminance	Fc	2.63	3.9	1.3	2.02	3.00



TYPE AA & AA1



TYPE BB, CC & DD



Plan View  
Scale: 1 inch= 50 Ft.

**GENERAL NOTES:**

A. PULSE PRODUCTS DOES NOT ASSUME RESPONSIBILITY FOR THE INTERPRETATION OF THIS CALCULATION OR COMPLIANCE TO THE LOCAL, STATE, OR FEDERAL LIGHTING CODES OR ORDINANCES.

B. LIGHTING LAYOUT IS NOT INTENDED FOR CONSTRUCTION DOCUMENTS BUT ONLY TO ILLUSTRATE THE PERFORMANCE OF THE PRODUCT.

C. ALL READINGS/CALCULATIONS SHOWN ARE SHOWN ON OBJECTS/SURFACES.



#	Date	Comments

#	Date	Revisions

Drawn By: SANDY  
Checked By: TRENT  
Date: 3/18/2020  
Scale: AS NOTED

**INDUSTRIAL PROJECT**  
**BROOKLYN PARK, MN**

# City of Brooklyn Park Request for Council Action

<b>Agenda Item:</b>	6.5	<b>Meeting Date:</b>	May 26, 2020
<b>Agenda Section:</b>	Land Use Actions	<b>Originating Department:</b>	Community Development
<b>Resolution:</b>	X	<b>Prepared By:</b>	Todd A. Larson, Senior Planner
<b>Ordinance:</b>	N/A		
<b>Attachments:</b>	7	<b>Presented By:</b>	Cindy Sherman, Planning Director
<b>Item:</b>	Brookdale Convenience Store (Bill McCrum) – Variance and Conditional Use Permit #20-104 for a Redevelopment of the Convenience Store Building of the Existing Gas Station at 1500 Brookdale Drive		

## City Manager' s Proposed Action:

MOTION \_\_\_\_\_, SECOND \_\_\_\_\_, TO WAIVE THE READING AND ADOPT RESOLUTION #2020-\_\_\_\_\_ APPROVING A CONDITIONAL USE PERMIT FOR A FUEL CENTER WITH A CARWASH AND VARIANCES TO PARKING LOT SETBACKS AND HARDCOVER AT 1500 BROOKDALE DRIVE NORTH.

## Planning Commission Recommendation:

At its meeting on May 13, 2020, the Planning Commission unanimously recommended approval of the conditional use permit and variances with the conditions that are listed in the attached resolution.

## Overview:

The owner of the gas station and convenience store at 1500 Brookdale Drive would like to reinvest in the property by demolishing the existing 1960s era convenience store building and constructing a new larger convenience store with an attached car wash and another tenant space. The existing canopy, fuel pump islands, and fuel tanks would remain. The fuel center and car wash are conditional uses; therefore, a conditional use permit (CUP) is required. The existing site predates the current regulations and has no CUP for the fuel center.

The site has several non-conformities. With the redevelopment, many of the non-conformities will be brought up to current standards, such as the addition of concrete curbing and lighting. A few will remain, such as the setbacks of the pavement and canopy from Brookdale Drive. The proposed site plan requires two variances: one for hardcover, and one for parking lot setbacks.

**Budgetary/Fiscal Issues:** N/A

## Alternatives to consider:

1. Approve the proposal as recommended by the Planning Commission.
2. Approve the proposal with modifications.
3. Deny the proposal based on certain findings.

## Attachments:

- 6.5A RESOLUTION
- 6.5B LOCATION MAP
- 6.5C PLANNING AND ZONING INFORMATION
- 6.5D PLANNING COMMISSION MINUTES
- 6.5E LETTERS FROM NEIGHBORS
- 6.5F RESOLUTION #2002-71
- 6.5G PLANS

RESOLUTION #2020-

RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR A FUEL CENTER WITH A CARWASH  
AND VARIANCES TO PARKING LOT SETBACKS AND HARDCOVER  
AT 1500 BROOKDALE DRIVE NORTH

Planning Commission File #20-104

WHEREAS, an application has been made by Mr. Bill McCrum on behalf of his client, Main Street Property Management LLC, for a Conditional Use Permit with variances under the provisions of the City Code on property legally described as:

*The South 218 feet of the East 199.82 feet of the Southeast quarter of Section 23, Township 119, Range 21, Hennepin County, Minnesota, except roads*

WHEREAS, *Brooklyn Park 2025* goals include beautiful spaces with quality infrastructure that include attractive key corridors, corners, and city centers that create destinations that meet community needs; and

WHEREAS, this project reflects reinvestment in the community; and

WHEREAS, the City Council granted a variance to the Sign Code in 2002 via Resolution #2002-71; and

WHEREAS, the property has no existing conditional use permits; and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission who held the public hearing on May 13, 2018.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park:

The Conditional Use Permit for a fuel center with a car wash is hereby approved with the following conditions:

**1.00 DRAWINGS**

- 1.01 Site, utility, landscaping, and grading plans on file in the City Clerk's office dated 04-23-2020 are approved, subject to conditions listed below.
- 1.02 Architectural plans dated 04-24-2020 are approved to proceed to building permit review, subject to conditions listed below.

**2.00 BONDS, ESCROWS AND DIRECT PAYMENTS**

- 2.01 A Development Contract and bonding shall be required as a development bond or letter of credit in the amount of **\$262,800.00**, a cash bond in the amount of **\$13,700.00**, and a developer's escrow in the amount of **\$8,100.00** as required by Chapter 152. The developer's escrow must be posted with the City to cover engineering, legal and administrative costs incurred by the City. If this account becomes deficient, it shall be the developer's responsibility to deposit additional funds. This must be done before final bonding obligations are complete.

### 3.00 REQUIRED DOCUMENTS

- 3.01 All utility construction, drainage, grading and development plans must be approved by the City Engineer prior to receiving a building permit.
- 3.02 A comprehensive search shall be performed to identify any existing wells on the property. A licensed well driller shall properly abandon any unused wells in the plat. Such abandonment shall be reviewed and approved by the Minnesota Department of Health.
- 3.03 Storm water approval by the Shingle Creek Watershed Management Commission (or City Engineer) and all conditions therein, including a storm water management maintenance agreement.

### 4.00 GENERAL CONDITIONS

- 4.01 It shall be the developer's responsibility to keep active and up to date the developer's contract and financial surety (Letter of Credit, bonds, etc.). These documents must remain active until the developer has been released from any further obligation by City Council motion received in writing from the Engineering Department.
- 4.02 Before final bonding obligations are released, a certificate signed by a registered engineer must be provided. This certificate will state that all final lot and building grades are in conformance to drainage development plan(s) approved by the City Engineer.
- 4.03 No burying of construction debris shall be permitted on the site.
- 4.04 Dust control measures must be in place to prevent for dust and erosion including, but not limited to, daily watering, silt fences, and seeding. The City Engineer may impose measures to reduce dust.
- 4.05 Adequate dumpsters must be on site during construction of streets, utilities, and buildings. When full, they must be emptied immediately or replaced with an empty dumpster.
- 4.06 During construction, streets must be passable, at all times, free of debris, materials, soils, snow, and other obstructions.
- 4.07 In the event parking becomes a problem on the site, the building owner must work with City staff on a parking plan.
- 4.08 Snow must not be stored on any parking space. In the event landscaped areas or storm water basins are full, snow must be hauled off site.
- 4.09 A 6-foot wide sidewalk along Brookdale Drive including a bus stop pad must be installed to the west property line according to City specifications.
- 4.10 All lighting must meet City Code requirements. An updated lighting plan with photometrics must be submitted with the building permit application.
- 4.11 All signage must conform to City Code requirements and a permit must be obtained prior to construction.
- 4.12 The property owner is responsible for maintaining and irrigating the grass and landscaping in the adjacent boulevards.
- 4.13 The rain garden shall be planted with landscape elements that are appropriate for the conditions.
- 4.14 The building elevations must be revised not to exceed 35 percent EIFS per facade.

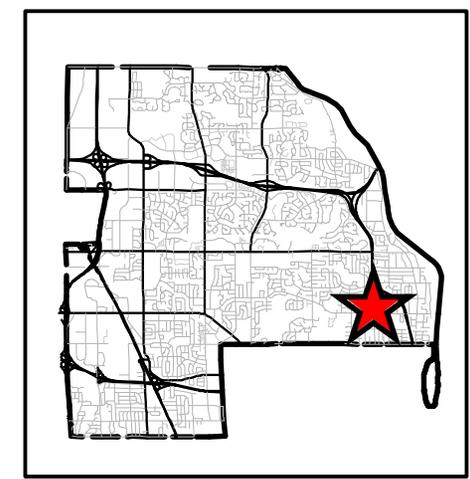
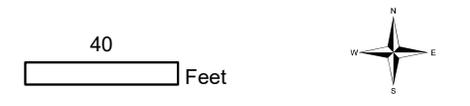
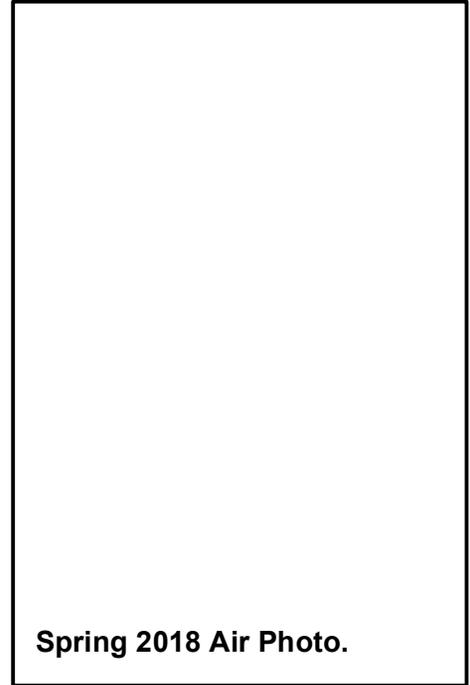
- 4.15 The parking lot must be completely reconstructed including new pavement and curbing.
- 4.16 A 6-foot tall privacy fence is required along the north property line and a 4.5-foot tall privacy fence is required along the west property line north of the car wash exit. Along the north property line, the fence shall end the same distance from the Humboldt Avenue right-of-way as the edge of the parking lot.
- 4.17 Outdoor storage and display are not permitted in the current zoning district standards.

### **5.00 VARIANCES**

FURTHERMORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park:

- 5.01 Resolution #2002-71 is hereby rescinded as Chapter 150 of City Code (the Sign Code) has been modified so that the variance is no longer necessary.
- 5.02 A variance to Section 152.145(B)(3) is hereby granted allowing a 1.53-foot setback for paving along the south right-of-way line and allowing a 9.5-foot setback along the east right-of-way line. The variance is necessary to allow for adequate parking on the small site. After redevelopment, the paved areas will be at the same distance or farther from the right-of-way than they were before redevelopment.
- 5.03 A variance to Section 152.321(B) will allow 85.03 percent hardcover instead of the 70 percent allowed today. The variance is necessary to provide the amount of parking and building on the site. Storm water management requirements must still be followed.
- 5.04 These variances are not out of character with other business properties in the neighborhood and help justify the expense of redevelopment.

**Conditional Use Parmit #20-104**  
**1500 Brookdale Dr. N.**



Map Date March 10, 2020

Land Use Plan	Neighborhood Mixed Use
Current Zoning	Neighborhood Retail Business District (B2)
Surrounding Zoning	West and North – Neighborhood Retail Business District (B2) East – Detached Single-Family Residential District (R3) Southeast – General Business District (B3) South – Detached Single- and Attached Two-Family Residential District (R4)
Neighborhood	Norwood
Lot Area	0.68 acres
Existing Building Area	1,360 ft <sup>2</sup>
Proposed Building Area	4,406 ft <sup>2</sup>
Number of Parking Spaces	
Required	22
Proposed	19
Hardcover	
Required	70%
Existing	71%
Proposed	58.03%
Conforms to:	
Land Use Plan – Yes	
Zoning Code – With Variances	
Variances Needed – Hardcover and pavement setbacks	
Public Notification	72 Mailed Notices 2 Proposed Development Signs SunPost Legal Notices Neighborhood Update Email – Norwood, Monroe, and Palmer Lake

### Building Design and Use

The existing convenience store building will be demolished and replaced with a larger, multi-tenant building. The location of the building will shift northwesterly on the property. The west side of the building will have a single-bay car wash attached. The new one-story building will have many large windows, something that the existing building lacks. The building materials will be burnished block, corrugated metal panels, and EIFS. The building's east facade appears to exceed the 35 percent maximum of EIFS. It is recommended that the materials be adjusted for more of the block in lieu of some of the EIFS.

The largest portion of the building will be for an enlarged convenience store with a deli. A 1,200-square-foot tenant space is shown. The applicant has stated that there is no proposed user at this time for that space. Retail, office, or service users could go there, although the site does not have adequate parking for a sit-down restaurant use.

The existing canopy, fuel pumps, and gas tanks are proposed to remain. The canopy and its supports are in generally good shape, but will need to be repainted. The canopy has a legal non-conforming setback from the south property line. It is allowed to remain in place. The existing propane tank will also remain in place, but screened better with landscaping.

### **Access and Parking**

The property has a driveway access to both Brookdale Drive and Humboldt Avenue. A second driveway to Brookdale Drive, as seen in the 2018 air photo, has since been removed due to the recent reconstruction of that street. There is also a shared connection between this property and the Pixie Liquors/Koom Siab Grocery parking lot to the west. The existing parking lot has no spaces marked.

These driveways and the connection will remain. The parking lot will be reconstructed with concrete curbing, new pavement, and marked spaces. Nineteen parking spaces will be created, which is just three shy of the required 22 spaces for a retail use. The applicant has stated that this quantity will meet the site's needs, and staff agrees as the site is a neighborhood destination that is walkable and bikeable. In the event parking is a problem, the applicant will need to work out a shared parking arrangement with a neighboring property. On-street parking is not available on either street in this area.

The existing southern edge of the pavement runs right to the edge of the right-of-way with Brookdale Drive. The current setback requirement is 15 feet and this site was developed prior to that rule. A portion of this pavement will be removed near the intersection of Brookdale Drive and Humboldt Avenue to provide room for a rain garden and a monument sign. Likewise, the setback of the parking lot from Humboldt Avenue is less than what is required today.

### **Pedestrian Connections**

There are sidewalks along both sides of Humboldt Avenue and the south side of Brookdale Drive, but none on the north side adjacent to the site. Long-term, a sidewalk is envisioned along both sides of Brookdale Drive. There is a bus stop in front of the site as well. It is recommended that the sidewalk with bus stop pad be installed from Humboldt Avenue to the west property line as part of the project. The applicant is also providing a bike rack near the Humboldt Avenue driveway.

### **Landscaping and Screening**

Currently, the site's only trees are along the northern property line. These trees will be removed with redevelopment. Overhead power lines along both street frontages and along the west property line make tree planting difficult, so the applicant is proposing shorter ornamental trees.

The applicant has indicated that a 4.5-foot privacy fence will be installed along the northern property line. The Planning Commission recommended that the fence height be increased to a typical 6-foot fence along the northern property line and 4.5 feet tall along a part of the western property line north of the car wash exit. The fence should end at the same distance from Humboldt Avenue as the edge of the parking for screening to the north. The site is not directly adjacent to a residential zone; however, residential uses are within 100 feet of the northern part of the site. The increased fence height could help reduce car wash noises from spilling into the neighborhood.

### **Storm Water Management and Hardcover**

The site currently has no storm water management. Infiltration and rate control are requirements of the Shingle Creek Watershed and will be reviewed by the City Engineer as part of the building permit. A storm water maintenance agreement, per Watershed rules, must be signed and recorded against the property. For this site, a long swale along the western property line and a rain garden near the southeast corner are proposed. Both areas will need to be landscaped with suitable plant materials.

The site is zoned B2 which has a 70 percent hardcover maximum. The existing hardcover is at 71 percent. With the new larger building and improved parking, the proposed hardcover will be just over 85 percent. A variance is necessary for this increase.

### **Signage**

In 2002, the property received a variance to place signage on the canopy instead of on a freestanding sign. Since then, the Sign Code (Chapter 150) has changed to allow signage on canopies. The applicant is proposing typical wall signage above the doors and windows as well as a monument sign near the corner. All of the

proposed signage meets today's requirements and would only need a sign permit to be installed. It is recommended that the 2002 variance be removed from the site in order to facilitate the monument sign.

### **Lighting**

The site will be required to meet the current lighting standards. Freestanding lighting is limited to 15 feet in height due to the proximity of residential properties. All lighting must be downcast and shielded. A lighting plan with photometrics was prepared but does not reflect the latest site plan. The proposed light levels and fixtures meet City Code requirements. This plan will need to be updated at the time of building permit.

### **Public Utilities**

The site is connected to City water and sanitary sewer. The services will be upgraded to current standards and to accommodate the additional water use from the car wash as part of the project. An additional fire sprinkler service is required.

### **Public Safety**

The Police and Fire Departments reviewed the proposed plans and provided no additional comments. The large windows and improved site lighting will help deter crime in the area.



Photo 1. The existing convenience store building (May 11, 2020)

**MINUTES OF THE BROOKLYN PARK PLANNING COMMISSION**  
**Regular Meeting – May 13, 2020**  
Unapproved Minutes

**1. CALL TO ORDER/SWEAR IN NEW MEMBERS**

The meeting was called to order at 7:00 PM.

Chair Kisch swore in Commissioner Erin Aarestad.

Chair Kisch swore in Commissioner Christian Muvundamina.

**2. ROLL CALL/PLEDGE OF ALLEGIANCE**

Those present were: Commissioners Aarestad, Herbers, Husain, Kiekow, Kisch, Mohamed, Morton-Spears, Muvundamina, and Vosberg; Planning Director Sherman; Planning Program Assistant Davis.

Those not present were: Council Liaison Russell; Senior Planner Larson.

**6. PUBLIC HEARING**

- D. Brookdale Convenience Store (Bill McCrum) – Variance and Conditional Use Permit #20-104 for a redevelopment of the convenience store building of the existing gas station at 1500 Brookdale Drive.**

Planning Director Sherman presented the application that will redevelop an existing facility. The existing building will be torn down, but the existing canopy on the site will remain. She explained there are two variances which will modify hardcover and parking setback requirements for the site. The variances address site conditions that are pre-existing as well as partially created with the remodel, but City Staff believes these to be a fair trade-off for the site improvements. She noted these trade-offs are typical in cases of redevelopment. She said while some nonconformities on the site will be brought up to code (i.e. concrete curbing and lighting), other legal nonconformities will remain (i.e. the setback of the pavement and canopy from Brookdale Dr). The proposal includes a new convenience store, an additional tenant space on the north end of the building, and a single-load car wash. Additional site improvements include parking, landscaping, and enhanced storm water management with the addition of two rain gardens. She described the design of the building to be more modern with the combination of building materials to include burnish block, aluminum glazing for the doors and windows, EIFS on the sign band area, and corrugated architectural panels as an accent. Staff recommends approval.

Bill McCrum, the architect and applicant representative, provided a brief history of the site that has served a broad range of residents in the neighborhood over 50 years. The current owner has zero tolerance for illegal activity and hopes upgrades to the aesthetics and amenities will change the current perception that the property is an unfavorable site. He explained there is a new operator with a proven track record of success with a number of restaurants and convenience store.

Bill McCrum explained the applicant disagrees with a couple of the conditions outlined for approval. While they agree an opaque fence is necessary to prevent headlights from cars shining into adjacent residential properties, they feel a 4.5-foot height requirement will suffice rather than the minimum 6-foot height requirement outlined by City Staff. They feel a 4.5-foot-tall fence will be less of a security risk minimizing the potential for people to hide behind the fence and/or commit graffiti. Additionally, the conditions include a requirement to construct a new sidewalk on the north side of Brookdale Dr as part of the site redevelopment. The applicant asks this requirement be postponed until the sidewalk is implemented to the west to ensure continuity along Brookdale Dr. He clarified the east exterior elevation of the building along Humboldt Ave has been refined to include more burnish block so that EIFS doesn't exceed 35% of the area of the façade which differs slightly from the included plans.

Chair Kisch open and closed the public hearing explaining no one registered to speak on this item. He explained a letter was received from the community and distributed to the Commissioners prior to the meeting.

Commissioner Aarestad stated her general support for the proposal.

Commissioner Herbers asked how far the car wash was relative to the neighboring property. He asked if the fencing would provide a buffer from the car wash.

Bill McCrum stated the car wash has queuing for 3-4 cars within the building setback on the rear of the site. He estimated the car wash was at least 10 feet from the retail strip center, and probably 50 feet from the property line to the north. He is not certain a fence will be beneficial to buffer noise levels.

Commissioner Herbers asked if businesses typically have a 4.5-foot-tall fence.

Planning Director Sherman explained most businesses have a 6-foot tall fence for privacy and screening reasons. She agreed the fence may not block the sound, but it does block headlights and the view. She said there is less concern about the commercial property to the west, but there is a concern about the residential properties along the northern property line.

Commissioner Herbers agreed that a 4.5-foot fence is fine for the neighboring commercial properties, but he believes it is prudent to have a 6-foot fence along the residential side. He stated he is glad to see the investment go into this location.

Commissioner Husain asked if there are any tenants lined up for the new building, and, if not, what type of businesses they anticipate for the space.

Bill McCrum answered they have not lined up a tenant yet.

Commissioner Husain asked if the deli would remain.

Bill McCrum confirmed the deli will remain and operated in the convenience store.

Commissioner Kiekow echoed support of a 6-foot fence to the north with a 4.5 fence to the west. He asked if the existing canopy will be refurbished.

Bill McCrum explained the canopy will be repainted and upgraded. They anticipate the company name will be on the face of the canopy.

Commissioner Kiekow commented that he hopes the additional tenant space doesn't turn into another liquor store.

Commissioner Mohamed stated he thinks the redevelopment is a great opportunity to build the sidewalk now. He asked why the applicant doesn't want to address the sidewalk now?

Bill McCrum stated currently, a sidewalk wouldn't continue beyond their site. He explained the applicant is fine to construct a sidewalk but wants to do it at the same time as the neighboring properties to provide continuity.

Commissioner Mohamed wondered if it made more sense to construct the sidewalk now to avoid business interruption later. He asked City Staff what the plans are to complete that portion of the sidewalk?

Planning Director Sherman stated there are no plans at this time to complete installation of that particular portion of the sidewalk. She explained to the Commission that redevelopment of a site provides an opportunity to require these types of improvements. She noted there are other means to accommodate the needs and wants of the

applicant if there is a desire to compromise. For example, the City can require a deposit of funds towards a future sidewalk, or the City can require an agreement that waives an assessment agreement for the sidewalk.

Commissioner Mohamed asked what City Staff is doing to require and clarify an agreement for the sidewalk now.

Planning Director Sherman clarified that condition #4.09 in the draft resolution requires the construction of the sidewalk along with the proposed redevelopment. The applicant is asking this condition to be waived. If the Commission wants to compromise on the timeline of the sidewalk, City Staff would come up with some sort of language or agreement prior to the Council meeting that will obligate the applicant to install the sidewalk at a future date.

Commissioner Mohamed stated he supports constructing the sidewalk now.

Commissioner Morton-Spears stated her general support of the proposal to improve the corner.

Commissioner Muvundamina asked if there are any types of businesses the applicant will not want as a tenant.

Bill McCrum explained he cannot completely answer that question on behalf of the owner. He confirmed any business that goes in to the space will be an acceptable use based on the Zoning Ordinance.

Commissioner Vosberg agreed the fence needs to be 6-foot-tall on the northern property line, but she is fine with a 4.5-foot height on the western side of the site. She wants to see the sidewalk installation now instead of waiting on other properties. She asked City Staff to confirm what retail uses are allowed for the zoning district.

Planning Director Sherman read the applicable uses permitted in the B2 zoning district from the Zoning Ordinance, which include typical neighborhood retail uses compatible with residential areas.

Chair Kisch also agreed with the 6-foot fence to the north, and a 4.5-foot fence to the west. He stated he is flexible with when the sidewalk is developed, but he stated a condition must be made to guarantee a sidewalk is developed eventually.

Commissioner Husain stated his support of installing the sidewalk now.

Commissioner Kiekow stated his support of installing the sidewalk now.

Commissioner Mohamed stated his support for the motion as is.

Commissioner Morton-Spears stated her support of installing the sidewalk now.

Commissioner Muvundamina stated his support with either installing the sidewalk now or establishing a bond or escrow for the sidewalk.

Planning Director Sherman explained typically an assessment agreement can be created for the sidewalk where the applicant to agree to pay at the time of installation or a cash deposit can go into a streets and sidewalks account for future installation.

Commissioner Vosberg reiterated her support to install the sidewalk now. She was concerned with a vague trigger that is dependent on adjacent businesses to instigate the sidewalk construction. She reminded the Commission that the City has a mission to become more pedestrian friendly.

Chair Kisch added he thinks the applicant can take the time between now and the City Council meeting to better define their plan to install the sidewalk at a later date regardless of the recommendation from the Commission. He said for now he supports keeping the condition to require the sidewalk now.

MOTION MOHAMED, SECOND MORTON-SPEARS TO RECOMMEND APPROVAL OF CONDITIONAL USE PERMIT FOR A MOTOR FUEL CENTER AND CARWASH WITH VARIANCES AT 1500 BROOKDALE DRIVE NORTH, SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.

Commissioner Vosberg made a friendly amendment to condition #4.16 in the draft resolution for a 4.5-foot-tall privacy fence along the west side and Humboldt Ave with a 6-foot height required along the northern property line adjacent to a residential neighborhood.

Commissioners Mohamed and Morton-Spears agreed to the friendly amendment.

*MOTION CARRIED UNANIMOUSLY.*

Planning Director Sherman stated the public hearing items will be reviewed by the City Council on Tuesday, May 26, 2020. She explained the meeting is on a Tuesday due to Memorial Day, and the format is anticipated to also be remote via telephone.

From: brian welsch  
Sent: Monday, May 11, 2020 1:16 PM  
To: Todd Larson  
Subject: Case #: 20-104. Project Name: Brookdale Convenience Store

Brian Welsch  
1344 Brookdale Dr  
Brooklyn Park MN 55444

To whom it may concern in care of Todd Larson,

Been a homeowner resident almost 30 years. Normally purchased my gas and few last minute necessities there at the Brookdale Store. I have to say I have been going there alot less the last 5-7 years with the last few years hardly going there. My reason is while I am filling up my vehicle. There are alot of vehicles in and out only getting small amount of gas worth with cash being paid up front before gas can be put in their vehicles. While I understand everyone has hard difficulties at times. It just all the loud music playing from their cars full of people doing who knows what in there. People high fiving and hand/shoulder hugging, some arguments, yelling at cars pulling away all looking like deals gone bad, relationship problems, bad blood between people, looking like a fight ready to break out, cursing and etc like it some big party there. Sometimes even hearing commotion from there if I am outside. Even when in the store, people are in disagreement and store cashier has to tell them to stop or take it outside. Also refusal to give key to them for restroom at times for whatever reason. People walking on the sidewalk front of my house to and from the store and disposing their garbage of drinks, snacks, and lotto tickets along the way back gets old. What I am saying is while I applaud the owner for a major improvements and upgrades. With the car wash and added tenant space I feel there not enough room for driving in and out safely as it is kind of hard already especially if there is slightly more traffic driving through in future. Maybe with the new layout, the traffic will flow a little bit better, who knows. Also I feel the car wash will hardly be used as too many gas purchases are small amount for cash upfront. As for the garbage being dropped at front of house which I know is not the store responsibility, but added upgrades equal added traffic so probably more garbage. Maybe with the new layout will bring more considerable and respectable customers, who knows but I feel the problems will worsen as it gives them more "hanging out" space and more noise will arise.

Also the tenant space has me a little concern. Is there certain business only going in there? I have a feeling it will be a smokes, pills and sexual novelty place as the current store has slowly displayed some now which will bring more customers wheeling and dealing along with traffic driving through it. I understand I am in no position to make accusations without total proof.

Not sure if I am explaining it good enough, but feel you get the idea.

Sincerely,  
Brian Welsch

March 30, 2020

Wade Steig  
PO Box 43533  
(7708 Irving Ct. N.)  
Brooklyn Park, Mn. 55443

subject: Case # 20-104  
Project - Brooklyn Convenience Store

Sirs,

As the nearest home to the project on Irving Ct. N (backside of project.) I'm all for the redevelopment to improve the neighborhood.

But my main concern will be the noise of operation of the carwash. For years, from spring to fall, the noise from cars that buy gas and leave their ~~stereos~~ stereos on is quite loud, especially the bass sound. It will come right thru the house even with the windows closed and TV on. I know that they aren't causing this, but I'm concerned about the combined noise from a carwash.

We all have been by carwashes and they are not quiet. I would support this project if an effective sound barrier could be built to suppress the noise.

At least around the sides and back, I know they probably can't do the front to help the ~~neib~~ neighbors on

Humboldt Ave. N. I would assume they hear the noise also.

Thank you for your notification and allowing me to voice my concerns

Sincerely  
Wade Steig

3529657

RESOLUTION #2002-71

RESOLUTION APPROVING OF VARIANCE #01-187  
TO ALLOW FOR SIGNS PLACED ON THE CANOPY  
FOR "GO FOR IT GAS"  
LOCATED AT 1500 BROOKDALE DRIVE NORTH.

Planning Commission File #01-187

WHEREAS, Go For It Gas has petitioned for a variance to the zoning requirements at 1500 Brookdale Drive North, per sections of the City Code on property legally described as:

S 218 FT OF E 199 82/100 FT OF SE ¼ EX ROADS, SECTION 23, TOWNSHIP 119, RANGE 21, HENNEPIN COUNTY, MINNESOTA

*SAME LAND AS CTF 815244*

3529657

WHEREAS, there are special conditions affecting said property such that the strict application of the City Code would deprive the applicant of reasonable use of this land as follows:

The site was constructed under a previous Zoning Code that makes the application of the setbacks current Sign Code impossible to follow;

and

WHEREAS, this variance is necessary for the preservation of and enjoyment of a substantial property right of the petitioner, and

WHEREAS, the granting of this variance will not be detrimental to the public welfare nor injurious to the other property in the neighborhood, and

WHEREAS, the granting of this variance will not have an adverse effect upon traffic and traffic safety or pedestrians and pedestrian safety, and

WHEREAS, the proposed development is a stable and desirable community development compatible with adjacent areas,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park that:

A variance to the City Code be granted as follows:

1. To allow two "Go For It Gas" signs not to exceed ten (10) feet in width and two (2) feet in height to be placed one each on the East and West sides of the canopy face. This area may be backlit.

2. To allow two pricing signs not to exceed five (5) feet in width and two (2) feet in height to be placed one each on the East and South sides of the canopy face. This area may be backlit.
3. To allow for a single continuous horizontal stripe not to exceed six inches in width. The area above and below the stripe (the background) shall be one color.

Subject to the following conditions:

1. This variance is not intended to allow for additional signs, only for their placement. Therefore, no signs will be permitted as monument signs or wall signs while the canopy signs exist.
2. All other pricing signs must be removed.
3. The canopy panels must not be lighted, except for the area allowed for the signs only.
4. All outstanding code violations shall be completed as prescribed by the Code Enforcement Division.
5. The petitioner be required to record a copy of this resolution with the Hennepin County Recorded and/or Registrar of Titles and to pay all fees for said recording and shall file proof of said recording with the City. The sign permit shall not be issued until or unless the recording is made within one year from the date of this approval. If additional time is necessary, the petitioner shall follow guidelines set forth in City Code Section 152.031 (H) Request for time extensions.

The foregoing resolution was introduced by Council Member Haglund and duly seconded by Council Member Feess.

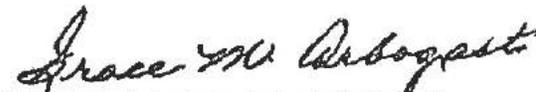
The following voted in favor of the resolution: Arbogast, Eder, Draeger, Feess, Haglund, Meyer and Pistilli.

The following voted against: None.

The following was absent: None

Where upon the resolution was adopted.

ADOPTED: February 25, 2002

  
GRACE ARBOGAST, MAYOR

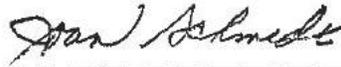
CERTIFICATE

STATE OF MINNESOTA  
COUNTY OF HENNEPIN  
CITY OF BROOKLYN PARK

I, the undersigned, being the duly qualified City Clerk of the City of Brooklyn Park, Minnesota, hereby certify that the above resolution is a true and correct copy of the resolution as adopted by the City Council of the City of Brooklyn Park on February 25, 2002.

WITNESS my hand officially as such Clerk and the corporate seal of the City this 26<sup>th</sup> day of February 2002.

(SEAL)



JOAN SCHMIDT, CITY CLERK

3520657

~~815244~~  
1080432

OFFICE OF THE REGISTRAR 36C  
OF TITLES  
HENNEPIN COUNTY, MINNESOTA  
CERTIFIED FILED ON

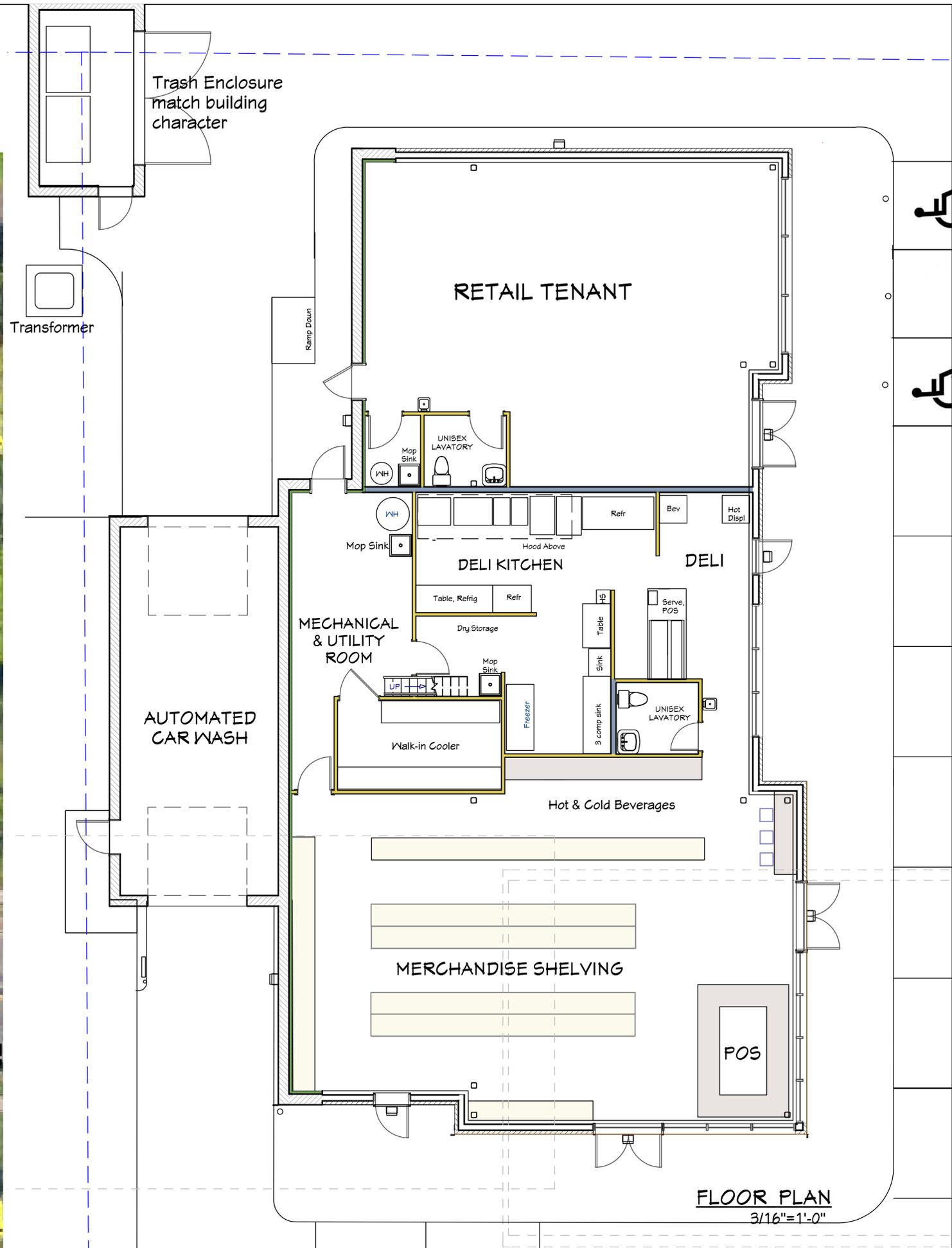
MAR 26 2002 10M

*Michelle Anne Spivey*  
REGISTRAR OF TITLES  
BY *[Signature]* DEPUTY

3520657

19-505

**MAIN STREET BROOKDALE**  
 New Building  
 Fuel Station/Convenience Store & TBD Tenant Space  
 1500 Brookdale Drive, No. Minneapolis, MN



**FLOOR PLAN**  
 3/16"=1'-0"

REV. NO.	DATE	DESCRIPTION
1	4/23/2020	Issued Planning & Zoning Approval

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.  
 License No. 16926  
 Date: \_\_\_\_\_

**Main Street Brookdale**  
 1500 Brookdale Drive No.  
 Brooklyn Park, MN

*W. E. McCrum, Architect*  
 1998 Arkwright Street  
 Maplewood, Minnesota 55117  
 (651) 329-6966  
 wmc55105@gmail.com



DATE:	4/23/2020
SCALE:	AS SHOWN
SHEET:	A-1

FACADE MATERIALS	
South Gross wall area:	1,587 sf
Burnished Block:	255 sf (11%)
Aluminum Storefront Glazing/Doors:	435 sf (33%)
EIFS:	637 sf (39%)
Architectural Corrugated Metal Panels:	229 sf (15%)
Metal Trim:	31 sf (2%)



**EXTERIOR ELEVATION (East-Humbolt Ave.)**

1500 Brooklyn Drive  
 Brooklyn Park, MN

1/8" = 1'-0"

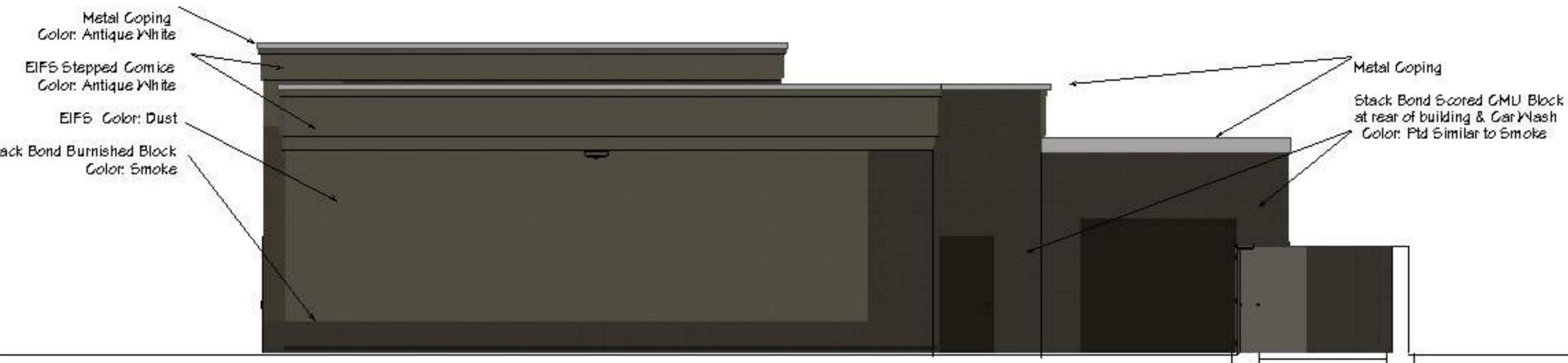
FAÇADE MATERIALS	
South Gross wall area:	380 sf
Burnished Block:	156 sf (13%)
Aluminum Storefront Glazing/Doors:	266 sf (80%)
EIPS:	315 sf (85%)
Architectural Corrugated Metal Panels:	127 sf (15%)
Metal Trim:	16 sf (2%)



**EXTERIOR ELEVATION (South-Brookdale Dr. No.)**

1500 Brookdale Drive  
Brooklyn Park, MN

1/4" = 1'-0"



Metal Coping  
Color: Antique White

EIFS Stepped Cornice  
Color: Antique White

EIFS Color: Dust

Stack Bond Burnished Block  
Color: Smoke

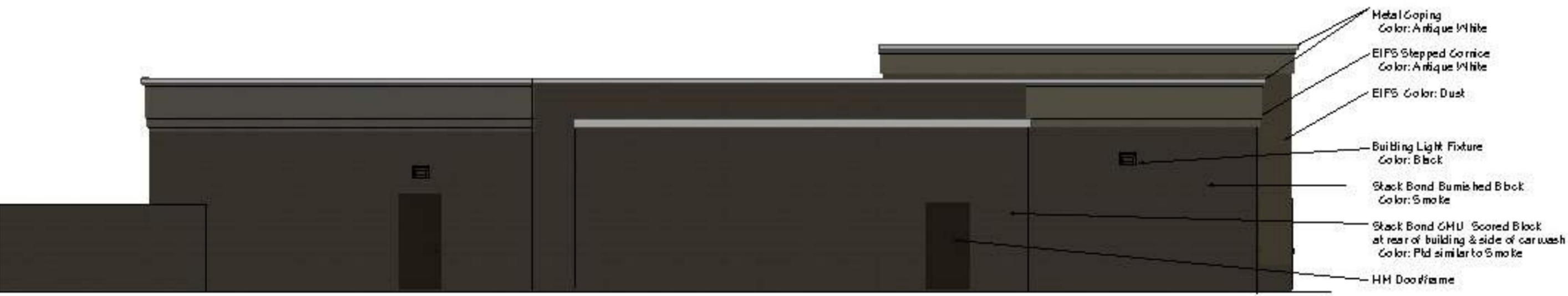
Metal Coping

Stack Bond Scored CMU Block  
at rear of building & Car Wash  
Color: Ptd Similar to Smoke

**EXTERIOR ELEVATION (North)**

1500 Brookdale Drive  
Brooklyn Park, MN

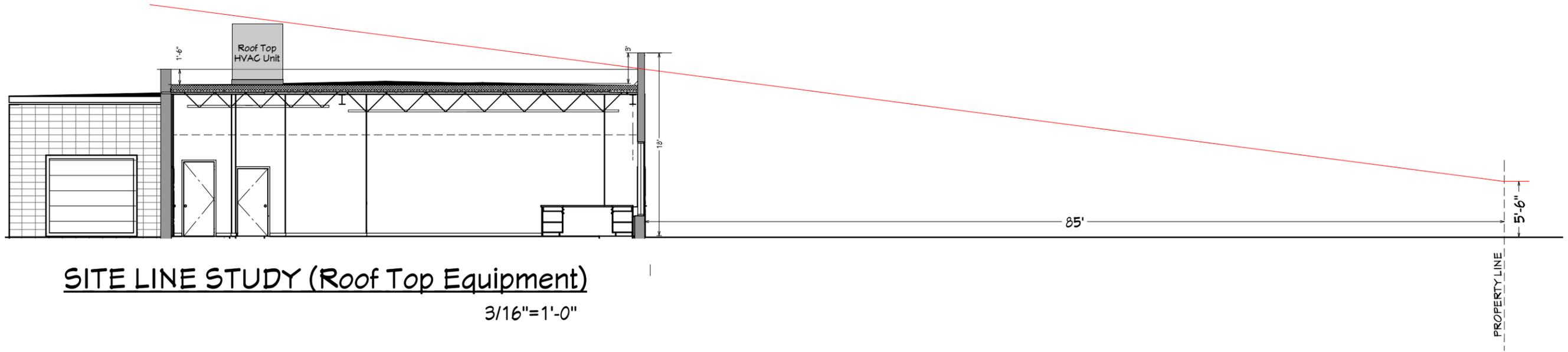
1/4"=1'-0"



- Metal Coping  
Color: Antique White
- EIFS Stepped Cornice  
Color: Antique White
- EIFS Color: Dust
- Building Light Fixture  
Color: Black
- Stack Bond Burnished Block  
Color: Smoke
- Stack Bond CMU Scored Block  
at rear of building & side of car wash  
Color: Ptd similar to Smoke
- HM Door frame

EXTERIOR ELEVATION (Rear-west)

1/4"=1'-0"



REV. No.	DATE	DESCRIPTION
	12/7/18	Issued for Bidding & Permitting

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.  
 Date: \_\_\_\_\_ License No. 16926

**Main Street Brookdale**  
 1500 Brookdale Drive No.  
 BrookLun Park, MN

*W. E. McCrum, Architect*  
 1998 Arkwright Street  
 Maplewood, Minnesota 55117  
 (651) 929-6966  
 bmc55103@gmail.com



DATE:	4/30/2020
SCALE:	AS SHOWN
SHEET:	A-7



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ENGINEERING

733 Marquette Ave Ste 700  
Minneapolis, MN 55402  
612.758.3080 MAIN  
612.758.3099 FAX  
www.alliant-inc.com

**BROOKDALE STATION**  
1500 BROOKDALE DRIVE  
BROOKLYN PARK, MN 55444

**EXISTING CONDITIONS SURVEY**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed LAND SURVEYOR under the laws of the State of MINNESOTA

PETE GOERS, RLS  
4-23-20  
Date License No.

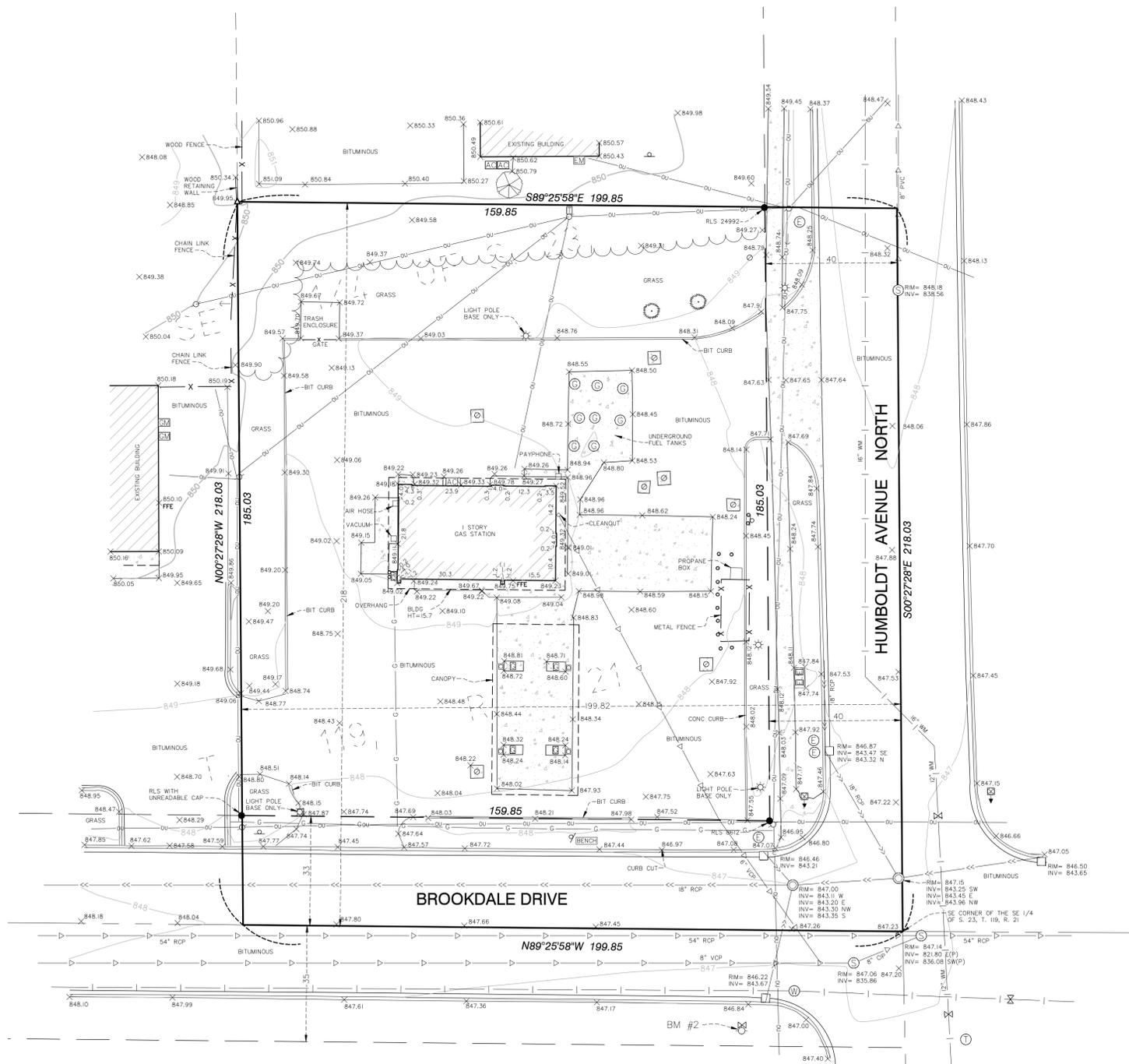
**QUALITY ASSURANCE/CONTROL**

BY DATE

DATE	ISSUE
3-27-20	PROGRESS SET
3-31-20	CITY SUBMITTAL
4-23-20	CITY COMMENTS

**PROJECT TEAM DATA**  
DESIGNED: MK  
DRAWN: ---  
PROJECT NO: 200049

**C-1.0**

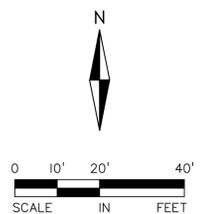


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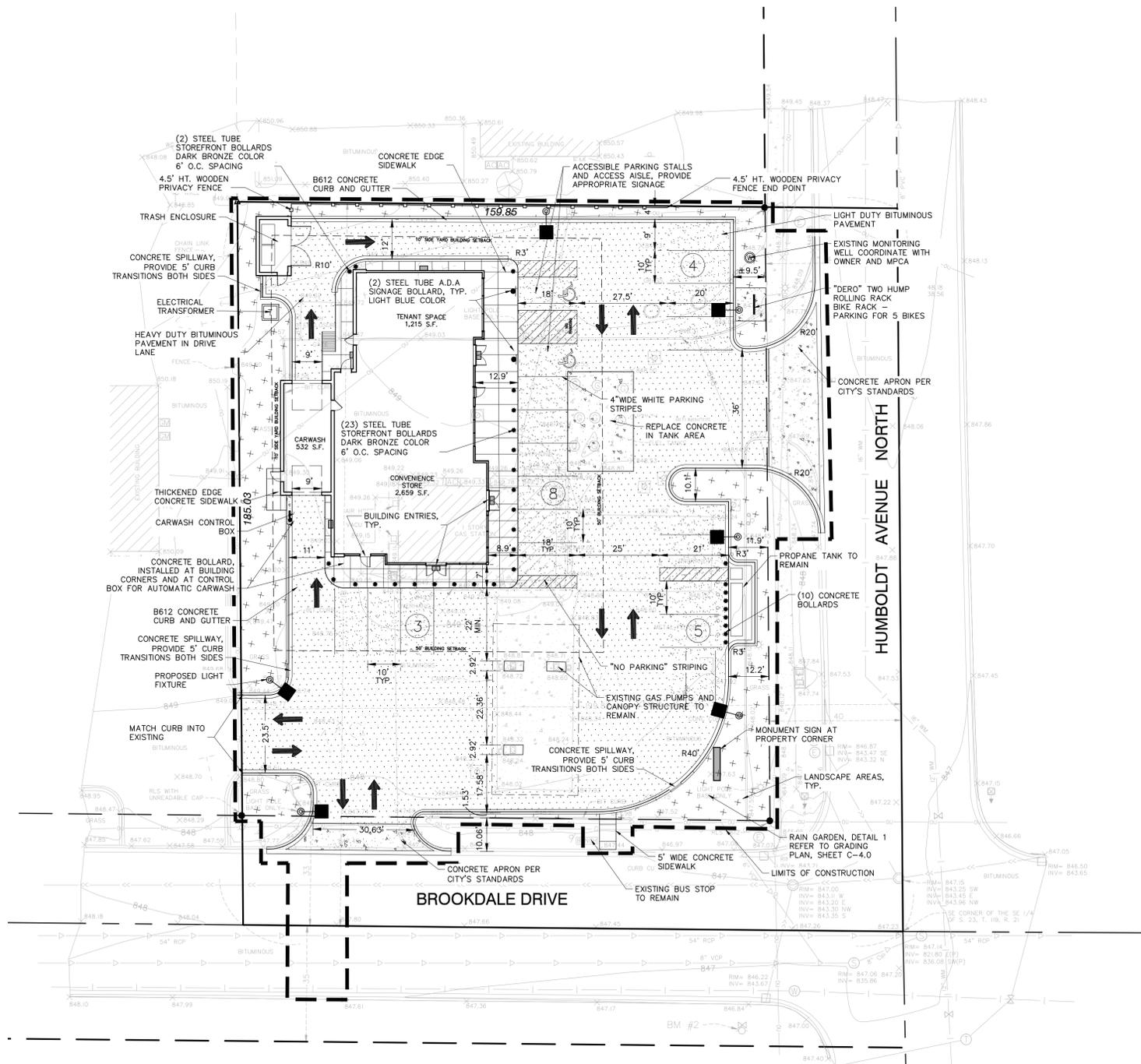
- ▲ SET MAG NAIL
  - FOUND IRON MONUMENT
  - HYDRANT
  - ⊗ WATER VALVE
  - SANITARY MANHOLE
  - ⊠ CATCH BASIN
  - ⊞ ELECTRIC BOX
  - ⊛ LIGHT
  - ⊙ STORM MANHOLE
  - ⊚ SIGN
  - ⊞ ELECTRIC METER
  - ⊞ POWER POLE
  - ⊞ TELEPHONE MANHOLE
  - ⊞ FUEL TANK COVER
  - ⊞ ELECTRIC MANHOLE
  - ⊞ TRAFFIC SIGNAL
  - ⊞ MONITOR WELL
  - ⊞ GAS METER
  - ⊞ AIR CONDITIONER
  - ⊞ COLUMN
  - ⊞ CONIFEROUS TREE
  - ⊞ DECIDUOUS TREE
- G — GASMAIN
  - S — SANITARY SEWER
  - SS — STORM SEWER
  - W — WATERMAIN
  - OU — OVERHEAD UTILITIES
  - X — FENCE
  - ⊞ CONCRETE



Know what's below.  
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Drawing name: C:\pw\_working\projectwise\mregionid\dms03862\200049site.dwg Apr 23, 2020 - 4:01pm



**NOTES**

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES, SUCH AS EXISTING GUTTER GRADES AT THE PROPOSED DRIVEWAYS, PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION & REMOVAL OF ALL EXISTING STRUCTURES WHICH INTERFERE WITH NEW WORK AS SHOWN.
- CONCRETE SIDEWALK AND CURB & GUTTER SHALL BE REMOVED TO NEAREST CONSTRUCTION JOINT OUTSIDE THE REMOVAL LIMITS.
- ALL DIMENSIONS, GRADES, EXISTING AND PROPOSED INFORMATION SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTER OF STRUCTURE, EDGE OF SIDEWALK OR EXTERIOR OF BUILDING.
- ALL CONCRETE SIDEWALK ADJACENT TO BUILDING SHALL BE SEPARATED BY A 1/2" EXPANSION JOINT.
- PROTECT EXISTING CONCRETE SIDEWALKS DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR TO REPLACE ANY CRACKED OR BROKEN PANELS CAUSED BY SITE CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & DISPOSAL OF THE EXISTING BITUMINOUS. BITUMINOUS SHALL BE SAW CUT OR JACK HAMMERED FOR STRAIGHT EDGES. TACK SHALL BE USED ON BITUMINOUS EDGE PRIOR TO PATCHING. MATCH EXISTING GRADES.
- CONTRACTOR SHALL PROTECT ADJOINING PROPERTIES & STRUCTURES FROM HAZARDS ASSOCIATED WITH HIS CONSTRUCTION ACTIVITIES & SHALL BE RESPONSIBLE FOR ALL DAMAGES TO PROPERTIES & STRUCTURES THAT OCCUR AS A RESULT OF THESE ACTIVITIES.
- CONTRACTOR SHALL NOT IMPED EXISTING TRAFFIC CIRCULATION TO ADJACENT BUSINESSES. PROVIDE TRAFFIC CONTROL DURING CONSTRUCTION PER MNDOT STANDARDS.
- CONTRACTOR SHALL PERFORM SWEEPING ON PRIVATE PARKING AREAS AND PUBLIC STREETS AT LEAST ONCE A WEEK, ONCE A DAY IF NEEDED.
- CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE TO PREVENT AND ELIMINATE ANY DUST NUISANCE OCCASIONED BY AND DURING CONSTRUCTION, UNTIL THE PROJECT HAS BEEN COMPLETED AND HANDED OVER.
- REFER TO ARCHITECTURAL DRAWINGS FOR CONCRETE STOOPS ADJACENT TO PROPOSED BUILDING.
- CONTINUOUS CONCRETE CURB & GUTTER WHICH CHANGES TYPE SHALL HAVE A FIVE FOOT TRANSITION.
- ALL CONCRETE CURB AND GUTTER ADJACENT TO CONCRETE WALK SHALL BE SEPARATED BY A 1/2" INCH EXPANSION JOINT.
- PARKING LOT STRIPING SHALL BE 4 INCH WHITE.
- ALL WORK WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY ENGINEERING DESIGN STANDARDS.
- ALL CURB AND GUTTER TO BE CONCRETE B612 CURB UNLESS NOTED OTHERWISE.
- CONCRETE APRONS TO BE INSTALLED FOR ALL ACCESS DRIVES ONTO PUBLIC STREETS PER CITY STANDARDS.
- ALL CONCRETE PADS TO BE 3000 PSI AIR ENTRAINED 6" CONCRETE WITH #4 BARS @ 12" O.C. AND BROOM FINISHED.

**SITE DATA**

LOT AREA = 29,571 S.F. = 0.68 ACRES  
 ZONING - B-2 NEIGHBORHOOD RETAIL BUSINESS DISTRICT  
 PROPOSED BUILDING AREA  
 4,013 S.F. RETAIL SPACE (EXISTING)

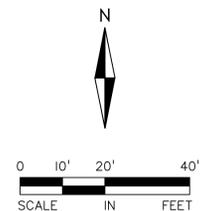
EXISTING SITE PERMEABILITY:  
 TOTAL SITE AREA: 29,571 SF = 0.68 AC  
 EXISTING IMPERVIOUS SF: 20,941 SF = 71%  
 EXISTING PERVIOUS SF: 8,630 SF = 29%

PROPOSED SITE PERMEABILITY:  
 TOTAL SITE AREA: 29,571 SF = 0.68 AC  
 PROPOSED IMPERVIOUS SF: 25,143 SF = 85.03%  
 PROPOSED PERVIOUS SF: 4,428 SF = 14.97%

PARKING DATA  
 RETAIL REQUIREMENT = 1 SPACE FOR EVERY 200 S.F.  
 3,983 S.F. OF RETAIL AREA PROPOSED  
 3,983 S.F. AT 1/200 = 20 STALLS  
 20 STALLS REQUIRED  
 20 STALLS PROVIDED

**LEGEND:**

- EXISTING CURB & GUTTER
- B612 CURB & GUTTER (EXCEPT IN ROW)
- B612 CURB & GUTTER (OUTFALL)
- CONCRETE PAVEMENT
- HEAVY DUTY BITUMINOUS
- LIGHT DUTY BITUMINOUS
- LANDSCAPE AREA
- PROPOSED LIGHT FIXTURE SEE PHOTOMETRIC PLAN
- CONSTRUCTION LIMITS
- PROPERTY LINE
- R.O.W. LINE
- BUILDING SETBACK



**ALLIANT**  
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 612.758.3099 FAX  
 www.alliant-inc.com

BROOKDALE STATION

1500 BROOKDALE DRIVE  
 BROOKLYN PARK, MN 55444

SITE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

CLARK WICKLUND, PE  
 4-23-20  
 Date License No.

**QUALITY ASSURANCE/CONTROL**

DATE	ISSUE
3-27-20	PROGRESS SET
3-31-20	CITY SUBMITTAL
4-23-20	CITY COMMENTS

PROJECT TEAM DATA  
 DESIGNED: MK  
 DRAWN: MLS  
 PROJECT NO: 200049



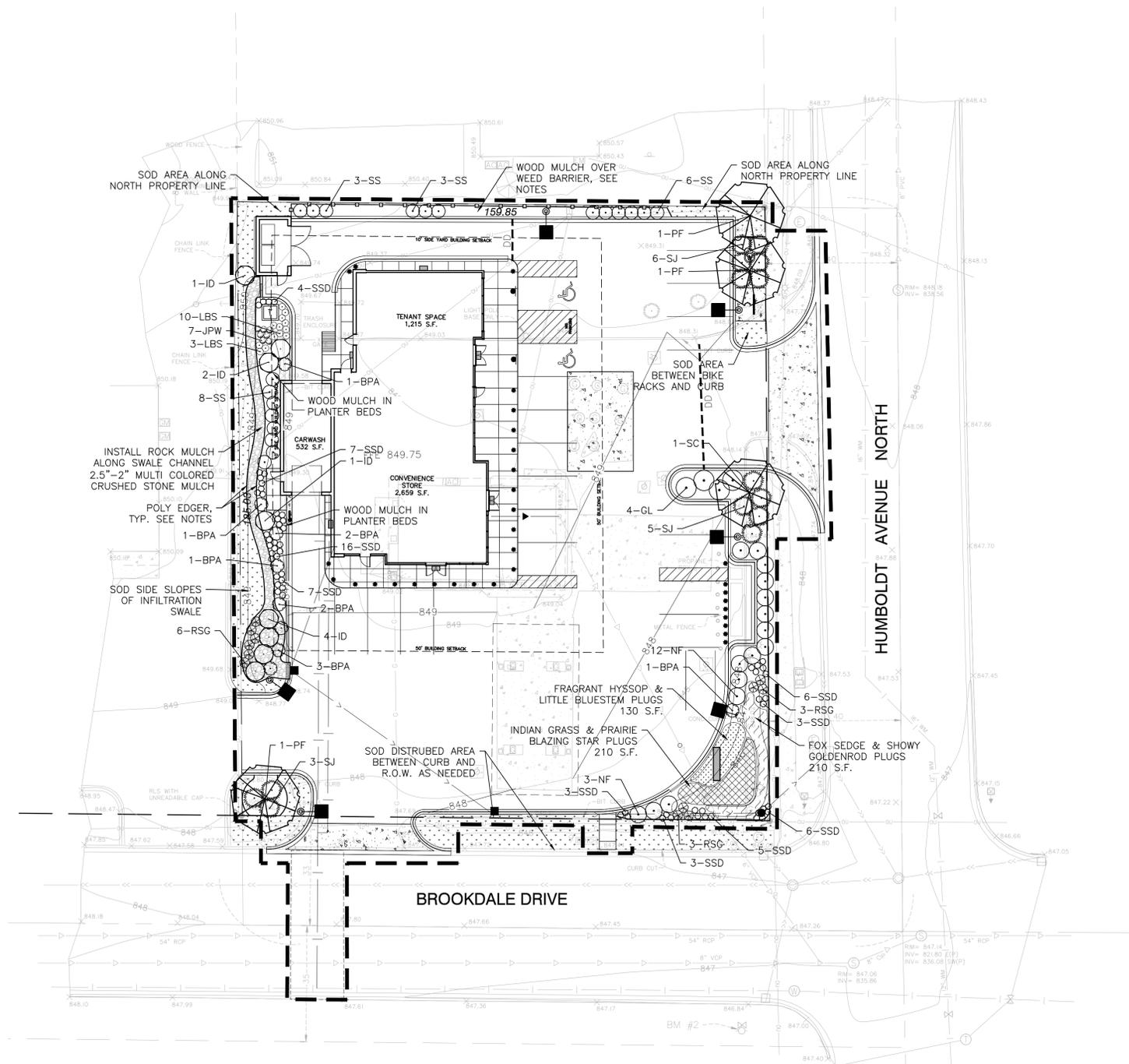
Know what's below.  
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 Dial 811

**C-3.0**





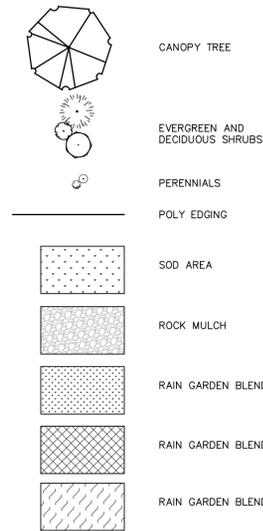
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**LANDSCAPE SCHEDULE:**

QUANTITY	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE / ROOT TYPE	NOTES
<b>ORNAMENTAL TREES</b>					
3	PF	Prairie Fire Crabapple	Malus 'Prairie Fire'	2" B&B	Single Trunk, No V-Crotch
1	SC	Spring Snow Crabapple	Malus 'Spring Snow'	2" B&B	Single Trunk, No V-Crotch
<b>SHRUBS</b>					
4	GL	Gro-low Sumac	Rhus aromatica 'Gro-Low'	12" ht. Cont.	Min. 5 canes at size spec.
8	ID	Isanti Dogwood	Cornus sericea 'Isanti'	24" ht. min. Cont.	Min. 5 canes at size spec.
15	NF	Neon Flash Spirea	Spirea japonica 'Neon Flash'	24" ht. Cont.	Min. 5 canes at size spec.
12	SJ	Scandia Juniper	Juniperus sabina 'Scandia'	12" ht. Cont.	Min. 5 canes at size spec.
20	SS	Snowmound Spirea	Spirea nipponica 'Snowmound'	24" ht. Cont.	Min. 5 canes at size spec.
<b>PERENNIALS &amp; ORNAMENTAL GRASSES</b>					
9	BPA	Blue False Indigo	Baptisia australis	4" cont.	
13	LBS	Little Bluestem	Schizachyrium scoparium	1 gal. cont.	
7	JPW	Joe Pye Weed	Eupatorium maculatum	1 gal. cont.	
12	RSG	Red Switchgrass	Panicum virgatum 'Shenandoah'	3 gal. cont.	
60	SSD	Stella Supreme Daylily	Hemerocallis 'Stella Supreme'	1 gal. cont.	
<b>PLUGS</b>					
50		Little Bluestem	Schizachyrium scoparium	2" cont.	24" spacing O.C.
50		Fox Sedge	Carex vulpinoidea	2" cont.	24" spacing O.C.
50		Showy Goldenrod	Solidago speciosa	2" cont.	24" spacing O.C.
18		Fragrant Hyssop	Agastache foeniculum	2" cont.	24" spacing O.C.
50		Indian Grass	Sorghastrum nutans	2" cont.	24" spacing O.C.
50		Prairie Blazing Star	Liatis pycnostachya	2" cont.	24" spacing O.C.

**LANDSCAPE LEGEND:**



**PLANTING NOTES:**

- INSTALL 4" MIN. TOP SOIL TO ALL SOD, SEED AND SHRUB AREAS. FINE GRADE ALL SOD AND SEED AREAS. INSTALL 12" TOP SOIL TO PERENNIAL AREAS.
- STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. HAVE OWNERS REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.
- ALL SHRUB AREAS UNLESS SPECIFIED AS OTHER, TO BE BED MULCHED WITH 4" DEPTH OF DARK BROWN SHREDDED HARDWOOD MULCH OVER FILTER FABRIC, UNLESS SPECIFIED AS OTHER. POLY-EDGER TO BE VALLEY VIEW BLACK DIAMOND OR APPROVED EQUAL.
- INSTALL 4-6" DEPTH DARK BROWN SHREDDED HARDWOOD MULCH AROUND ROOT SAUCER OF ALL TREES ISOLATED FROM PLANT BEDS. DO NOT PILE MULCH AGAINST THE BASE OF A PLANT OR TREE TRUNK; PULL THE MULCH AWAY FROM THE BASE ONE TO TWO INCHES.
- PLANT SOIL SHALL CONSIST OF 33% SELECT LOAMY TOPSOIL, 33% PEAT MOSS, 33% PIT RUN SAND.
- COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL TREE TRUNKS SHALL BE WRAPPED WITH BROWN CREPE TREE WRAP. APPLY WRAP IN NOVEMBER AND REMOVE IN APRIL.
- CALL GOPHER STATE ONE CALL AT 651-454-0002 OR, 811 FOR LOCATING ALL UNDERGROUND UTILITIES AND AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK.
- MAINTAIN ALL PLANT MATERIALS, INCLUDING WATERING, UNTIL THE TIME OF ACCEPTANCE.
- COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.
- STAKING AND GUYING OF TREES OPTIONAL: MAINTAIN PLUMBNESS OF TREES FOR DURATION OF WARRANTY PERIOD.
- SWEEP AND WASH ALL PAVED SURFACES AND REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
- LANDSCAPE CONTRACTOR SHALL INSTALL KENTUCKY BLUE GRASS SOD IN DENOTED AREAS INCLUDING ALL R.O.W. PER LOCAL INDUSTRY STANDARDS. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND HAVE STAGGERED JOINTS.
- SUPPLY DESIGN AND INSTALLATION FOR NEW WATER EFFICIENT IRRIGATION SYSTEM BY OTHERS. DESIGN SYSTEM INCLUDING CONTROLS, ELECTRICAL AND WATER SERVICE CONNECTIONS WITH 100% COVERAGE OF NEW SOD AND PLANTING AREAS. SOD, SEED AND SHRUB AREAS TO BE ON SEPARATE ZONES. DESIGN TO INCLUDE DRIP IRRIGATION IN SHRUB AREAS ADJACENT TO BUILDING. EXCESS WATER SHALL NOT COME IN CONTACT WITH BUILDING AND SIDEWALKS. THE IRRIGATION SYSTEM SHALL HAVE A RAIN/FREEZE SENSOR SHUTOFF. USE RAINBIRD OR APPROVED EQUAL COORDINATE WITH G.C., OWNER AND WORK OF OTHER DISCIPLINES.

**LANDSCAPE REQUIREMENTS:**

PER BROOKLYN PARK CITY CODE, SEC.152-371; LANDSCAPE PLANS MUST SATISFY THREE OF THE FOLLOWING REQUIREMENTS:

- ONE OVERSTORY TREE PER 3,000 SQUARE FEET OF OPEN AREA  
OPEN SPACE PROVIDED PER SITE PLAN = 3,983 S.F.  
OVERSTORY TREES REQUIRED = 1.32  
OVERSTORY TREES PROVIDED = 0 TREES PROVIDED
- ONE ORNAMENTAL TREE PER 1,500 SQUARE FEET OF OPEN SPACE.  
OPEN SPACE PROVIDED PER SITE PLAN = 3,983 S.F.  
ORNAMENTAL TREES REQUIRED = 2.66  
ORNAMENTAL TREES PROVIDED = 4
- ONE EVERGREEN TREE PER 3,000 SQUARE FEET OF OPEN AREA, EXCEPT ON SITES WHERE SECURITY, PEDESTRIAN OR TRAFFIC SAFETY ARE A CONCERN  
EVERGREENS MAY BE EXCLUDED OR INSTALLED IN A REDUCED NUMBER.  
OPEN SPACE PROVIDED PER SITE PLAN = 3,983 S.F.  
EVERGREEN TREES REQUIRED = 1.32  
EVERGREEN TREES PROVIDED = 0
- ONE DECIDUOUS OR EVERGREEN SHRUB PER 100 SQUARE FEET OF OPEN AREA.  
OPEN SPACE PROVIDED PER SITE PLAN = 3,983 S.F.  
SHRUBS REQUIRED = 39.82  
SHRUBS PROVIDED = 59 PROVIDED



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**BROOKDALE STATION**  
1500 BROOKDALE DRIVE  
BROOKLYN PARK, MN 55444  
**LANDSCAPE PLAN**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of MINNESOTA

MARK KRONBECK PLA, ASLA  
4-23-20  
Date License No.

**QUALITY ASSURANCE/CONTROL**

BY DATE

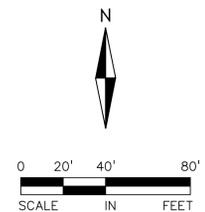
DATE	ISSUE
3-27-20	PROGRESS SET
3-31-20	CITY SUBMITTAL
4-23-20	CITY COMMENTS

**PROJECT TEAM DATA**  
DESIGNED: MK  
DRAWN: MLS  
PROJECT NO: 200049

**L-1.0**



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Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Watts	Lum. Lumens
	1	AA	SINGLE	0.900	LUMARK PRV-C15-D-UNV-T3-BZ-HSS MOUNT ON 13FT POLE WITH 2FT BASE	52	6460
	3	BB	SINGLE	0.900	LUMARK PRV-C15-D-UNV-T4-BZ-HSS MOUNT ON 13FT POLE WITH 2FT BASE	52	6437
	2	BB2	TWIN	0.900	LUMARK PRV-C15-D-UNV-T4-BZ-HSS MOUNT ON 13FT POLE WITH 2FT BASE WITH ROTATED OPTICS	104	6437
	2	CC	SINGLE	0.900	LUMARK PRV-C15-D-UNV-T4-BZ WALL MOUNT AT 17FT	52	7088
	1	CC1	SINGLE	0.900	LUMARK PRV-C15-D-UNV-T4-BZ WALL MOUNT AT 13FT	52	7088
	3	DD	SINGLE	0.900	LUMARK PRV-C15-D-UNV-T2-BZ WALL MOUNT AT 13FT	52	7123
	10	FF	SINGLE	0.900	HALO HC640D010-HM634840-61WDH MOUNT IN CANOPY AT APPROX 14FT	40	3891

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE GROUND	Illuminance	Fc	2.41	28.7	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	20.95	28.7	10.1	2.07	2.84
EAST PARKING	Illuminance	Fc	4.01	5.8	1.1	3.65	5.27
MAIN ENTRY PARKING	Illuminance	Fc	3.21	4.9	1.9	1.69	2.58
SOUTH PARKING	Illuminance	Fc	2.68	3.1	2.5	1.07	1.24



TYPE AA, BB, BB2, CC & DD



TYPE FF



Plan View  
Scale: 1 inch= 20 Ft.

GENERAL NOTES:

A. PULSE PRODUCTS DOES NOT ASSUME RESPONSIBILITY FOR THE INTERPRETATION OF THIS CALCULATION OR COMPLIANCE TO THE LOCAL, STATE, OR FEDERAL LIGHTING CODES OR ORDINANCES.

B. LIGHTING LAYOUT IS NOT INTENDED FOR CONSTRUCTION DOCUMENTS BUT ONLY TO ILLUSTRATE THE PERFORMANCE OF THE PRODUCT.

C. ALL READINGS/CALCULATIONS SHOWN ARE SHOWN ON OBJECTS/SURFACES.



#	Date	Comments

Revisions	

Drawn By: SANDY  
Checked By: MARK  
Date: 4/30/2020  
Scale: AS NOTED

1500 BROOKDALE DR  
BROOKLYN PARK, MN

# City of Brooklyn Park Request for Council Action

<b>Agenda Item:</b>	6.6	<b>Meeting Date:</b>	May 26, 2020
<b>Agenda Section:</b>	Land Use Actions	<b>Originating Department:</b>	Community Development
<b>Resolutions:</b>	XXX	<b>Prepared By:</b>	Todd A. Larson, Senior Planner
<b>Ordinance:</b>	FIRST READING		
<b>Attachments:</b>	9	<b>Presented By:</b>	Cindy Sherman, Planning Director
<b>Item:</b>	A1 Reliable Home Care – Preliminary Plat, Comprehensive Plan Amendment, Rezoning, and Conditional Use Permit #20-109 for a 32-Bed Residential Care Center		

## City Manager’s Proposed Actions:

MOTION \_\_\_\_\_, SECOND \_\_\_\_\_, TO WAIVE THE READING AND ADOPT RESOLUTION #2020-\_\_\_\_\_ APPROVING PRELIMINARY PLAT #20-109 OF “A1 RELIABLE HOME SERVICES,” SUBDIVIDING 5.5 ACRES INTO TWO LOTS AT THE NORTHEAST CORNER OF 69<sup>TH</sup> AVENUE NORTH AND ZANE AVENUE NORTH.

MOTION \_\_\_\_\_, SECOND \_\_\_\_\_, TO WAIVE THE READING AND ADOPT RESOLUTION #2020-\_\_\_\_\_ APPROVING A COMPREHENSIVE PLAN AMENDMENT RE-GUIDING 1.791 ACRES FROM INSTITUTIONAL TO MEDIUM-HIGH DENSITY RESIDENTIAL AT 6940 ZANE AVENUE NORTH.

MOTION \_\_\_\_\_, SECOND \_\_\_\_\_, TO WAIVE THE READING AND ADOPT ON FIRST READING AN ORDINANCE AMENDING CHAPTER 152 OF CITY CODE REZONING PROPERTIES AT THE NORTHEAST CORNER OF 69<sup>TH</sup> AVENUE NORTH AND ZANE AVENUE NORTH.

*The draft conditional use permit resolution is provided for reference, but will not be acted upon until the second reading of the rezoning ordinance.*

## Planning Commission Recommendation:

At its meeting on May 13, 2020, the Planning Commission unanimously recommended approval of the proposal with the conditions listed in the attached resolutions with an additional condition regarding submission of a security plan.

## Overview:

Brooklyn Evangelical Lutheran Church is located on 5.5 acres at the northeast corner of 69<sup>th</sup> Avenue and Zane Avenue. The Church has two acres of excess land at the north end of the site it would like to sell for development. The property is narrow, yet deep, limiting the types of uses that could reasonably go there. The property is currently zoned Detached Single- and Attached Two-Family Residential District (R4). A plat is proposed to subdivide the property into a lot for development and a lot retained for the Church’s uses.

A1 Reliable Home Care is an existing company in the northeast metro that is looking to purchase the development parcel and construct and operate a 32-bed care facility specializing in care for people with developmental disabilities, brain injuries, and mental disabilities. Some of the residents will live here while recovering from an injury, while some residents will live here as their permanent residence.

This type of use falls under the “care center, convalescent home, and assisted living” uses in the Zoning Code, which is a conditional use in the multi-family districts and many of the business districts. Under the existing R4 zoning, this type of use is not allowed. The A1 site is proposed to be rezoned to Multiple-Family Residential District (R6), which is the same zoning as the properties to the east. Along with that rezoning, the portion of the

property the Church will retain will be rezoned to Public Institution (PI), a more fitting zoning district for the existing religious use.

The whole site is guided for institutional uses in the recently adopted 2040 Comprehensive Plan. The A1 site will need to be re-guided for medium-high density residential uses. The re-guiding is necessary so that the Comprehensive Plan and proposed zoning are consistent.

**Budgetary/Fiscal Issues:**

The existing church property is tax exempt. The care center property will become taxable. Park dedication is required with the plat, although the applicant has requested that the City Council consider waiving this requirement.

**Alternatives to consider:**

1. Approve the proposal as recommended by the Planning Commission.
2. Approve the proposal with modifications.
3. Deny the proposal based on certain findings.

**Attachments:**

- 6.6A RESOLUTION – PRELIMINARY PLAT
- 6.6B RESOLUTION – COMPREHENSIVE PLAN AMENDMENT
- 6.6C ORDINANCE
- 6.6D DRAFT CONDITIONAL USE PERMIT RESOLUTION
- 6.6E LOCATION MAP
- 6.6F PLANNING AND ZONING INFORMATION
- 6.6G PLANNING COMMISSION MINUTES
- 6.6H APPLICANT'S NARRATIVE
- 6.6I PLANS

RESOLUTION #2020-

RESOLUTION APPROVING PRELIMINARY PLAT OF  
"A1 RELIABLE HOME SERVICES"  
SUBDIVING 5.5 ACRES INTO TWO LOTS  
AT THE NORTHEAST CORNER OF 69<sup>TH</sup> AVENUE NORTH AND ZANE AVENUE NORTH

Planning Commission File #20-109

WHEREAS, the plat of "A1 Reliable Home Services" has been submitted in the manner required for platting of land under the Brooklyn Park Codes and under Chapter 462 of the Minnesota Statutes and all proceedings have been duly had thereunder; and

WHEREAS, said plat is consistent with the Comprehensive Plan and the regulations and requirements of the laws of the State of Minnesota and codes of the City of Brooklyn Park, Chapters 151 and 152.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park, Preliminary and Final Plat Request #20-109 "A1 Reliable Home Services" shall be approved subject to the following conditions:

**1.00 DRAWINGS**

1.01 Preliminary plans on file in the City Clerk's office dated 04-29-2019 for two lots upon compliance with the following requirements:

**2.00 BONDS, ESCROWS AND DIRECT PAYMENTS**

2.01 A developer's escrow shall be required in the amount of **\$2,000.00** as required by Chapter 152. The developer's escrow must be posted with the City Treasurer to cover engineering, legal and administrative costs incurred by the City. If this account becomes deficient, it shall be the developer's responsibility to deposit additional funds. This must be done before final bonding obligations are complete.

2.02 Payment of any special assessments on the property.

**3.00 REQUIRED DOCUMENTS**

3.01 Approval of Title by the City Attorney and all conditions therein.

**4.00 GENERAL CONDITIONS**

4.01 It shall be the developer's responsibility to keep active and up to date the developer's contract and financial surety (Letter of Credit, bonds, etc.). These documents must remain active until the developer has been released from any further obligation by City Council motion received in writing from the Engineering Department.

RESOLUTION #2020-

RESOLUTION APPROVING A COMPREHENSIVE PLAN AMENDMENT RE-GUIDING  
1.791 ACRES FROM INSTITUTIONAL TO MEDIUM-HIGH DENSITY RESIDENTIAL  
AT 6940 ZANE AVENUE NORTH

Planning Commission File #20-109

WHEREAS, *Brooklyn Park 2025* goals include Beautiful Places with quality housing for all ages and incomes; and

WHEREAS, the site is proposed for a residential care facility; and

WHEREAS, this project provides housing and care for vulnerable populations in the community; and

WHEREAS, the amendment provides a reasonable transition to adjacent institutional uses and residential uses across Zane Avenue; and

WHEREAS, designating the subject property to Medium-High Residential is consistent with the purpose and intent of the adopted 2040 Comprehensive Plan.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park, the Comprehensive Land Use Plan is hereby amended changing the property designation from Institutional to Medium-High Residential, subject to review by the Metropolitan Council, for the property proposed to be described as:

*Lot 2, Block 1, A1 Reliable Home Care, Hennepin County, Minnesota*

ORDINANCE #2020-

ORDINANCE AMENDING CHAPTER 152 OF CITY CODE REZONING PROPERTIES  
AT THE NORTHEAST CORNER OF 69<sup>TH</sup> AVENUE NORTH AND ZANE AVENUE NORTH

WHEREAS, the 5.5-acre property at the northeast corner of 69<sup>th</sup> Avenue North and Zane Avenue North has been used for religious uses for many years; and

WHEREAS, the City's Comprehensive Plan guided the entire property for institutional uses and was recently amended to medium-high density residential uses along the northern 1.791 acres; and

WHEREAS, the rezoning set forth in this Ordinance is in conformance with the Comprehensive Plan as amended.

The City of Brooklyn Park Does Ordain:

**Section 1.**

The following property is rezoned from Detached Single- and Attached Two-Family Residential District (R4) to Public Institution (PI):

*5840 69<sup>th</sup> Avenue North and 6924 Zane Avenue North  
Lot 1, Block 1, A1 Reliable Home Care, Hennepin County, Minnesota*

**Section 2.**

The following property is rezoned from Detached Single- and Attached Two-Family Residential District (R4) to Multiple Family Residential District (R6):

*6940 Zane Avenue North  
Lot 2, Block 1, A1 Reliable Home Care, Hennepin County, Minnesota*

**Section 3.**

The official map is hereby updated in the City Clerk's office with the above changes.

## RESOLUTION #2020-

RESOLUTION APPROVING A CONDITIONAL USE PERMIT  
FOR A 32-BED RESIDENTIAL CARE FACILITY  
AT 6940 ZANE AVENUE NORTH

WHEREAS, an application has been made by A1 Reliable Home Care for a Conditional Use Permit under the provisions of the City Code on property legally described as:

*Lot 2, Block 1, A1 Reliable Home Services, Hennepin County, Minnesota*

WHEREAS, *Brooklyn Park 2025* goals include Beautiful Places with quality housing for all ages and incomes; and

WHEREAS, this project provides housing and care for vulnerable populations in the community; and

WHEREAS, the effect of the proposed use upon the health, safety, and welfare of surrounding lands, existing and anticipated traffic conditions, and its effect on the neighborhood have been considered; and

WHEREAS, the matter has been referred to the Planning Commission who held the public hearing on May 13, 2020.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park:

The Conditional Use Permit for a 32-unit care center facility is hereby approved with the following conditions:

**1.00 DRAWINGS**

- 1.01 Site, utility, landscaping, and grading plans on file in the City Clerk's office dated XXX is approved for 32 units, subject to conditions listed below.
- 1.02 Architectural plans dated XXX, are approved, subject to conditions listed below.

**2.00 BONDS, ESCROWS AND DIRECT PAYMENTS**

- 2.01 A Development Contract and bonding shall be required as a development bond or letter of credit in the amount of **\$284,000.00**, a cash bond in the amount of **\$14,900.00**, and a developer's escrow in the amount of **\$8,900.00** as required by Chapter 152. The developer's escrow must be posted with the City to cover engineering, legal and administrative costs incurred by the City. If this account becomes deficient, it shall be the developer's responsibility to deposit additional funds. This must be done before final bonding obligations are complete.

**3.00 REQUIRED DOCUMENTS**

- 3.01 All utility construction, drainage, grading and development plans must be approved by the City Engineer prior to receiving a building permit.
- 3.02 A comprehensive search shall be performed to identify any existing wells on the property. A licensed well driller shall properly abandon any unused wells in the plat. Such abandonment shall be reviewed and approved by the Minnesota Department of Health.

- 3.03 Storm water approval by the City Engineer per Shingle Creek Watershed Management Commission rules and all conditions therein, including a storm water management maintenance agreement.
- 3.04 A State of Minnesota Housing with Services license is required for the operation of the facility. All conditions of the licensing procedures shall apply.

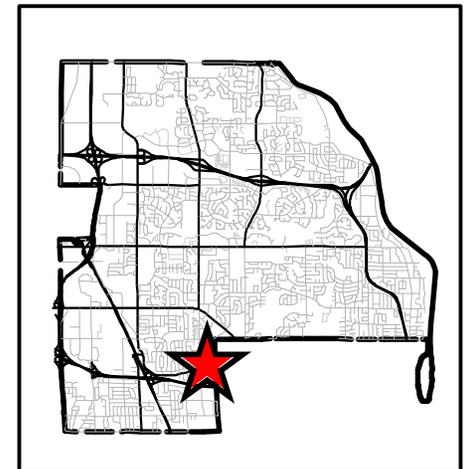
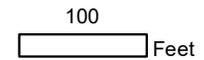
#### **4.00 GENERAL CONDITIONS**

- 4.01 It shall be the developer's responsibility to keep active and up to date the developer's contract and financial surety (Letter of Credit, bonds, etc.). These documents must remain active until the developer has been released from any further obligation by City Council motion received in writing from the Engineering Department.
- 4.02 Before final bonding obligations are released, a certificate signed by a registered engineer must be provided. This certificate will state that all final lot and building grades are in conformance to drainage development plan(s) approved by the City Engineer.
- 4.03 No burying of construction debris shall be permitted on the site.
- 4.04 Dust control measures must be in place to prevent for dust and erosion including, but not limited to, daily watering, silt fences, and seeding. The City Engineer may impose measures to reduce dust.
- 4.05 Adequate dumpsters must be on site during construction of streets, utilities, and buildings. When full, they must be emptied immediately or replaced with an empty dumpster.
- 4.06 Snow must not be stored on any parking space. In the event landscaped areas or storm water basins are full, snow must be hauled off site.
- 4.07 All lighting must meet City Code requirements. The lighting plan must be submitted prior to building permit showing parking and pedestrian areas meet 1.0 foot-candle light levels. All lighting must be downcast and shielded and freestanding lighting is limited to a 15-foot mounting height.
- 4.08 All signage must conform to City Code requirements and obtain a permit prior to construction.
- 4.09 The property owner is responsible for maintaining and irrigating the grass and landscaping in the adjacent boulevards.
- 4.10 The rain garden shall be planted with landscape elements that are appropriate for the conditions.
- 4.11 The lap siding on the plans must be upgraded to a material more durable than vinyl siding.
- 4.12 The operator shall work with the Brooklyn Park Police Department to develop and implement a security plan for the property prior to commencing operations.

**Rezoning/Plat/Conditional Use Permit #20-109 A1 Reliable Home Care**  
**NE Corner of Zane Ave. N. & 69th Ave. N.**



Spring 2018 Air Photo.



Map Date April 10, 2020

Land Use Plan	Institutional
Current Zoning	Detached Single- and Attached Two-Family Residential District (R4)
Proposed Land Use Plan	Institutional and Medium-High Residential District
Proposed Zoning	A1 Reliable Home Care Site – Multiple-Family Residential District (R6) Brooklyn Evangelical Lutheran Site – Public Institution (PI)
Surrounding Zoning	North – Public Institution (PI) <i>Zanewood Community School (across the storm water ditch)</i> East – Multiple-Family Residential District (R6) South – Public Institution (PI) <i>Northview Middle School</i> West – Detached Single-Family Residential District (R3)
Neighborhood	Village Creek
Lot Areas	A1 Reliable Home Care – 1.791 acres Brooklyn Evangelical Lutheran – 3.429 acres
Building Footprint	5,878 ft <sup>2</sup>
Total Area	17,635 ft <sup>2</sup>
Number of Parking Spaces	28
Number of Units	32
Height of the Building	41 feet – 3 stories
Conforms to:	
	Land Use Plan – With amendment
	Subdivision Code – Yes
	Zoning Code – With Rezoning
	Variances Needed – None
Notification	50 Mailed Notices 1 Proposed Development Sign Sun Post Legal Notices Neighborhood Update Email – Village Creek and Hartkopf

### Building Design

The three-story building will have brick, lap siding, windows, and a hip roof for a residential appearance. Each level will allow for grouping of residents with similar care needs. Two fenced patios will provide the residents secured outdoor areas to enjoy. The building is set back 112 feet from Zane Avenue in order to preserve some of the large elm trees and to minimize the apparent height of the building. The applicant has indicated that the lap siding will be something more durable than vinyl siding such as steel siding, Hardie, or LP Smartside, but has not made a final selection.

The plans show a possible second building site farther east on the back of the property. There are no plans for a second building at this time. In the event the business owner would like to expand, an amendment to the conditional use permit will be necessary.

### Access and Parking

Vehicular access to the site will be from a single driveway off of Zane Avenue. The 28-space parking lot is designed to accommodate staff at the largest shift overlap and visitors. The residents do not drive nor will they have vehicles on-site. For this use, only 16 spaces are required. In the event there is not enough parking, there is ample room available to extend the parking lot eastward.

**Pedestrian Connections**

A multi-use trail runs along Zane Avenue on this side of the street. A walkway is shown connecting the front door with the trail. A bike rack is provided for staff and visitors near the front entrance.

**Landscaping and Screening**

The site has several mature elm and evergreen trees that will be preserved and protected during construction. The vegetation along the drainageway to the north will remain untouched providing a screen between the site and the Zanewood School parking lot. The applicant is working with the Church to plant a row of screening evergreens along the property line south of the parking lot.

The storm water basin is shown as seeded for restoration. It is recommended that it be planted with shrubs and plants that are appropriate for the conditions to be more aesthetically pleasing.

**Storm Water Management**

A small shallow storm water basin will be constructed in the front yard of the building. This basin provides pre-treatment and infiltration opportunity before overflowing into the storm sewer and then out to the drainageway to the north. It is not anticipated to hold water on a regular basis, so it should be landscaped appropriately.

**Public Utilities**

City water and sanitary sewer are available to the site. The utilities are being designed so they can be easily extended in the event another building is proposed on the site. Final utility design will be approved by the Public Utilities Division.

**Subdivision and Park Dedication**

The Church property is currently unplatted. In order to split off a parcel for development, the property must be platted. The proposed preliminary plat meets the requirements of both the existing and the proposed zoning districts.

Consistent with state law and city subdivision regulations, the City can collect money for park dedication at the time of subdivision. This money is used for the acquisition of new park land or for the development and redevelopment of park land amenities. It cannot be used for park maintenance, administration, or programming. The amount required is based off the non-residential rate of \$8,000 per acre. This is charged on all the property in the plat, not just the development site. It is a one-time fee that will not be charged again in the case of further subdivision, as long as it is for another non-residential use. The amount due on the Church lot is \$27,432 (3.429 acres) and \$14,328 on the development parcel (1.791 acres).

The applicant is requesting to waive this requirement entirely since she is required to pay all the expenses per the purchase agreement with the Church and does not feel her clients would use the park system. A letter of request is attached to this report. Typically, the Recreation and Parks Advisory Commission (RPAC) would review this request to make a recommendation to the Council, but they are not meeting until June. In a similar, situation, with Oxbow Creek 6<sup>th</sup> Addition approximately 14 years ago, the Council approved requiring the developer (Hidden Oaks) to pay its portion, but deferred the portion required on Eternal Hope Lutheran Church's property until it was either further subdivided or redeveloped. Staff is recommending a similar solution: to collect the fee on the new development area but defer the fee for the church portion of the site.

**Public Safety**

The Police and Fire Departments have reviewed the plans and provided no additional comments or concerns. The building will be sprinkled and there will be a fire hydrant installed on site in accordance with the Fire Code.

**Public Engagement**

The Church hosted a neighborhood meeting on January 14, 2020, with the applicant, the design team, and City staff. No neighbors attended.

**UNAPPROVED MINUTES**  
**MINUTES OF THE BROOKLYN PARK PLANNING COMMISSION**  
**Regular Meeting – May 13, 2020**

## 1. CALL TO ORDER/SWEAR IN NEW MEMBERS

The meeting was called to order at 7:00 PM.

Chair Kisch swore in Commissioner Erin Aarestad.

Chair Kisch swore in Commissioner Christian Muvundamina.

## 2. ROLL CALL/PLEDGE OF ALLEGIANCE

Those present were: Commissioners Aarestad, Herbers, Husain, Kiekow, Kisch, Mohamed, Morton-Spears, Muvundamina, and Vosberg; Planning Director Sherman; Planning Program Assistant Davis.

Those not present were: Council Liaison Russell; Senior Planner Larson.

## 6. PUBLIC HEARING

- A. A-1 Reliable Home Care (Deborah Ojogwu) – Preliminary Plat, Comprehensive Plan Amendment, Rezoning, and Conditional Use Permit #20-109 for a 32-bed residential care center.**

Planning Director Sherman introduced the application for a 32-bed residential care facility on Zane Ave, just north of 69<sup>th</sup> Ave N. Currently, the large land parcel belongs to an existing church. The north end of the site is vacant land that has been for sale for years for residential development. The application requires four motions for each of the components of the application. First, a plat is required to subdivide the lot into two parcels which allows the church to retain ownership of the southerly portion of the site. Second, a comprehensive plan amendment is required to change the land guidance to medium-high density residential. Third, the northwest corner of 69<sup>th</sup> Ave N and Zane Ave N will be rezoned as a Multiple Family Residential District, while the church parcel will be rezoned to Public Institution District. Finally, the care facility will require a Conditional Use Permit, which is dependent on the previous three components.

Public Director Sherman explained the site access will come off Zane Ave N with a parking lot to the south which separates the church site from the new construction. The building is setback a fair distance from Zane Ave N in order to preserve the existing trees on the site which will serve for landscaping and as a buffer from the residential area across Zane Ave N. The proposed rezoning is consistent with the adjacent sites. The northern portion of the site will include a heavily wooded drainage ditch that is across from Zanewood Elementary School. There is a manufacturing company to the east of the property, but since it is zoned as a Multiple Family Residential District the proposed rezoning to R6 is consistent with the site. Staff recommends approval.

Tom Wasmoen, the architect with Firm Ground and applicant representative, explained this project has been in the works for a while, and the Brooklyn Park site was a suggestion from Senior Planner Larson. The church is excited for the care facility to be a neighbor of the church and anticipates providing volunteers to the applicant. He introduced several other speakers on the line, including Deborah Ojogwu, to answer questions and speak on behalf of A1 Reliable Home Care.

Tom Wasmoen explained Deborah currently operates 4 group homes spread throughout the northwest part of the Twin Cities. The proposed care facility will allow her to consolidate and provide better amenities, a safer environment, and the level of care her residents deserve. He noted the building will be designed to provide short-term and long-term housing and treatment for those with mental health disabilities and brain injuries. He explained each level of the three-story building will provide a different level of care, but the entire building is

secured. The residents are escorted if they leave the facility. Private outdoor space will be provided on site secured by a 6-foot decorative fence to prevent memory care residents from wandering.

Deborah Ojogwu, applicant and owner of A1 Reliable Home Care, added they are working on obtaining a comprehensive license, and the facility will be registered as housing with services. They help clients with various health concerns such as brain injuries, developmental disability, bipolar, depression, and other mental health conditions. She explained they work with the state and counties within and surrounding the Twin Cities metro area. They staff so each resident has one-on-one attention throughout the day.

John Defreitas, a registered nurse with A1 Reliable Home Care, explained they provide services to those with mental challenges in addition to those with chronic diseases. He explained they aim to provide residents with the support they need to successfully transfer back into society. When a transition back into society is not possible, residents are able to live at the facility and receive continued support on a permanent basis. Clients with mental challenges receive one-on-one services 24-hours a day. Clients arrive at their facilities after they have been stabilized at a hospital but are still in need of additional care in the short- or long-term.

Mike Boyd, the chair of Brooklyn Lutheran Congregation, explained he represents the church selling the land to A1 Reliable Home Care. In addition to being able to answer questions, he wanted to confirm the Congregation's excitement and support of the applicant's mission for the land.

Chair Kisch open and closed the public hearing explaining no one registered to speak on this item.

Commissioner Herbers explained he was in favor of the proposal. He thought the location was a good fit with other 3-story buildings down the road, and he liked the overall layout of the facility.

Commissioner Kiekow asked if residents in the facility have a history of violence or require locked apartments.

Tom Wasmoen explained this facility is not meant to treat those with violent behaviors. In the event of a crisis, a client would be moved to a different facility. Their team is trained to handle typical explosions of emotions from time to time. He stated their residents won't have locked rooms, but there is a secured space dedicated for memory care.

Commissioners Kiekow asked for confirmation that those with violent histories won't be treated at the facility.

Tom Wasmoen explained clients that arrive after a hospital stay are stabilized and on medication, so these clients would not be violent. He added that the biggest worry for clients with mental health struggles such as depression is that they stay safe and take care of themselves.

Commissioner Kiekow asked for a description of preventative measures in place so memory care residents won't wander off the site.

Tom Wasmoen reiterated the building is secured with locked entries that require a key fob or assistance from staff. He added the exterior spaces are gated with a timer and alarm. Additionally, residents are always accompanied by staff.

Commissioner Kiekow asked the applicant to confirm the submitted plans include a patio on the east side of the building with a fence.

Tom Wasmoen confirmed there are two patios with an additional patio to the north that is specifically serves memory care resident within a smaller and more secure space.

Commissioner Mohamed left the remote meeting for family reasons.

Commissioner Morton-Spears asked if they also treat children.

Tom Wasmoen explained the building is designed for a wide age range of adults, but residents are at least 18 years old.

Commissioner Morton-Spears how visitors access the building.

Tom Wasmoen explained visitor's check-in with staff in an entry vestibule.

Commissioner Morton-Spears asked how long clients typically stay at the facility.

Deborah Ojogwu explained the length of the stay is dependent on the particular needs of each client. She noted there will be a transitional floor that will help client's with brain injuries to recover until they can go back home or until the family decides they should stay at the facility. She stated there are no set limits on the length of a stay.

Commissioner Morton-Spears asked if clients are referred from physicians.

Deborah Ojogwu stated clients are sent to them by various counties.

Commissioner Muvundamina asked if the residence was considered more of a transitional care facility.

John said there are a number of patients who are able to transition back into the community, but the residence also provides long-term care as needed.

Commissioner Vosberg read from the applicant's website which noted a few types of assistance offered through A1 Reliable Home Care. She asked which type of assistance would be offered at the proposed facility.

Deborah Ojogwu answered this facility would provide a 24-hour customized assisted living home.

Commissioner Vosberg asked for clarifications what type of patients require the 24-hour customized assisted living since various speakers noted everything from brain injuries, dementia, bipolar, depression, diabetes, and heart disease. She noted a previous speaker stated client can be released as soon after finishing "the program." She asked for the program to be explained.

Deborah Ojogwu explained clients can be released as soon as they get better and their family is able to support them at home. She explained sometimes families prefer their family member with a long-term brain injury remains at the facility to receive proper care around the clock.

Commissioner Vosberg if A1 Reliable Home Care is actively doing something to assist in the recovery of clients.

Deborah Ojogwu stated they are actively assisting clients through recovery. She explained there are different levels of brain injuries. Sometimes accidents require continued physical and occupational therapy, but clients can be released when they reach a point where they feel they are strong enough to go back home. At the same time, they have more medically complex clients that may not have the option of staying with family.

Commissioner Vosberg asked if A1 Reliable Home Care offers or escorts clients to the various therapies needed to recover from a brain injury.

Deborah Ojogwu explained they do provide therapies based on the treatment plan ordered by the doctor. She said a therapist will begin treating clients on site once they move into the bigger. Right now, they bring clients into the hospital to receive their recommended therapy due to the limitations of their current facilities.

Commissioner Vosberg if intervention support services would be part of the 24-hour customized assisted living.

Deborah Ojogwu stated the proposal doesn't include intervention support services.

Commissioner Vosberg asked if any patients with a history of behavioral or violent concerns will be brought to the facility.

Deborah Ojogwu said if they have a client with a behavioral issue, they work with social workers who hold degrees in behavioral therapy.

Tom Wasmoen stressed their clientele is not violent.

Commissioner Vosberg asked if there are any restrictions as to how close this type of a facility can be located to a school.

Planning Director Sherman stated there is not a separation requirement from a congregate care facility regardless of the type of health concerns. She said the use is not that different from group homes already found in single-family neighborhoods, it is just a bigger number of residents housed in a consolidated facility.

Chair Kisch supported the plat, rezoning, and comprehensive plan amendment components of the proposal as everything seemed to meet requirements and was in alignment with the needs of the area. Regarding the Conditional Use Permit, he asked the intention for a potential future building indicated on the site plan. He wanted to confirm the applicant was aware that any changes to the use could require a new application to make changes to the Conditional Use Permit for the site.

Planning Director Sherman explained the plan was simply to show how a second building could be accommodated in the future. She confirmed the applicant would need to come back to amend the Conditional Use Permit to expand into a second building.

Chair Kisch asked for the intended use of the second building.

Tom Wasmoen said the second building would provide the same services with some additional office and amenity space.

Commissioner Vosberg asked how A1 Reliable Home Care plans to interact with the larger community. She asked if they completed or intent to conduct any outreach, particularly with the Osseo School District.

Mike Boyd said the church plans to work with A1 Reliable Home Care to guide spiritual needs of the patients.

Deborah Ojogwu added she currently takes all of her clients to church if they so choose.

Commissioner Vosberg stated she hopes the residents have a chance to interact with the larger community for the health of the overall neighborhood.

Tom Wasmoen added that a large number of the staff live in Brooklyn Park, so they are hopeful staff will be able to help inform and expand outreach within the larger community.

John assured the Commission that they actively try to keep their clients involved in community activities and events as much as possible, particularly chances for their clients to socialize with children.

**MOTION HUSAIN, SECOND HERBERS TO RECOMMEND APPROVAL OF PRELIMINARY PLAT #20-109 OF "A1 RELIABLE HOME SERVICES," SUBDIVIDING 5.5 ACRES INTO TWO LOTS AT THE NORTHEAST CORNER OF 69<sup>TH</sup> AVENUE NORTH AND ZANE AVENUE NORTH SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.**

Commissioner Vosberg was temporarily absent from the call.

***MOTION CARRIED UNANIMOUSLY. A VOTE WAS NOT RECORDED FOR COMMISSIONER VOSBERG.***

MOTION HERBERS, SECOND MORTON-SPEARS TO RECOMMEND APPROVAL OF COMPREHENSIVE PLAN AMENDMENT #20-109 REGARDING 2 ACRES FROM INSTITUTIONAL TO MEDIUM-HIGH DENSITY RESIDENTIAL AT 6940 ZANE AVENUE NORTH.

Commissioner Vosberg rejoined the call.

*MOTION CARRIED UNANIMOUSLY.*

MOTION HERBERS, SECOND MORTON-SPEARS TO RECOMMEND APPROVAL OF REZONING #20-109 REZONING THE NORTHWEST CORNER OF 69<sup>TH</sup> AND ZANE AVENUES FROM DETACHED SINGLE- AND ATTACHED TWO-FAMILY RESIDENTIAL (R4) TO MULTIPLE FAMILY RESIDENTIAL (R6) AND PUBLIC INSTITUTION (PI).

*MOTION CARRIED UNANIMOUSLY.*

MOTION HERBERS, SECOND MORTON-SPEARS TO RECOMMEND APPROVAL OF CONDITIONAL USE PERMIT #20-109 FOR A CARE CENTER AT 6940 ZANE AVENUE NORTH, SUBJECT TO CONDITIONS IN THE DRAFT RESOLUTION.

*MOTION CARRIED UNANIMOUSLY.*



*“Your well-built project begins and endures on Firm Ground”*

April 1, 2020

Letter of Request and Description – A1 Reliable Home Care Supportive Housing

To: Mr. Todd Larson  
City Of Brooklyn Park Planning Department

**Property: 5840 69<sup>th</sup> Ave North – Brooklyn Park, Minnesota**

We are pleased to present the Brooklyn Park Planning Commission with our application for our project’s Plan Development Review, Plat, and Rezoning Review.

A-1 Reliable Home Care is proposing to build supportive housing for 32 long-term residents at 5840 69<sup>th</sup> Avenue North, Brooklyn Park, MN 55429. This project will be on a new site plat, the northerly 2 acres that the Brooklyn Park Evangelical Lutheran Church is selling to the Owner. The current zoning for this site is R-4. The new zoning being requested is R-6.

The proposed new use for the site is a 32-unit, 3 story supportive housing facility for developmentally disabled and mental health care residents. The full-service facility will provide 24-hour care and supervision of the residents in a structured setting. Secured outdoor amenity space is also proposed for resident programming. This setting is licensed by the Minnesota Department of Health (MDH) as a “Comprehensive Care Provider,” and will be a registered housing with services facility with MDH.

The client’s programming for the building is similar to that of a memory care facility, with individual bedrooms, community dining and recreation areas, wandering loops, commercial kitchen, enclosed patios and constant staff supervision, in-house care and security. At its core, the client is invested in caring for their residents in a supportive and uplifting atmosphere. In the words of Ms. Ojogwu, the Founder and CEO of A1 Reliable:

“In line with our mission statement, A-1 Reliable Home Care seeks to help meet the physical, emotional, spiritual, and mental needs of our client(s) and their families. We serve individuals with many forms of mental health needs including developmental, mental health diagnosed issues, and traumatic brain injuries. We are dedicated to achieving these services in an atmosphere which is positive and cost effective to the client(s) and families. We provide a home like environment with twenty-four hours support and supervision to all of our residents.”

This project will provide a built embodiment of A-1 Reliable’s mission above by providing dignified care for the referenced individuals in a safe, constructive and uplifting atmosphere.

The project team consists of the following key members:

- Owner: A1 Reliable Home Care – Deborah Ojogwu, CEO
- Architect: Firm Ground Architects & Engineers – Tom Wasmoen and Philip Briggs



- General Contractor: Patriot Construction – Bill Beckfeld and Bill Beckfeld Jr.
- Civil Engineer and Landscape Design: Civil Site Group – Matt Pavek
- Structural Engineer: Sandman Associates – James Lundequam

The building will be a three-story wood-framed building with a concrete slab-on-grade construction. The building footprint will be approximately 5,900 square feet and the total building area will be approximately 17,600 square feet. Parking will be in a surface lot on the south side of the site, which will be screened from the adjoining sites by evergreen landscaping. The exterior palette will include brick, a variety of lap siding and vertical siding panels and trim; an asphalt shingle roof; columned porch elements; and residential-scaled windows. The intent is for the project to blend in well with the residential character of the surrounding neighborhood, and to maintain a strong sense of “home” for its residents.

Please find enclosed the following documents for the plan development review and in support of the Owner’s request for new plat and change in zoning for this property:

- Completed Application Form (copy – original was mailed)
- Application Fee check (copy – original was mailed)
- Legal Description of Property
- Architectural Plans – site plan, floor plans, exterior elevations
- Site Survey
- Civil and Landscaping Plans, including grading & drainage plan, utility plan, lighting plan, and landscape design.

We look forward to presenting the project to the Planning Commission on May 13, 2020. Please review the documents and contact us with any questions or comments.

Thank you,

**Tom Wasmoen & Philip Briggs**

Firm Ground Architects & Engineers.

# A1 RELIABLE HOME SERVICES SUPPORTIVE HOUSING

## BROOKLYN PARK, MINNESOTA

### ISSUED FOR: CITY RESUBMITTAL

PRELIMINARY:  
NOT FOR  
CONSTRUCTION

PROJECT  
**A1 RELIABLE HOME SERVICES  
SUPPORTIVE HOUSING**  
6940 ZANE AVE N, BROOKLYN PARK, MN 55445  
**A-1 RELIABLE HOME CARE**  
2353 RICE STREET, SUITE 107, ST PAUL, MN 55113

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Matthew R. Pavek*  
Matthew R. Pavek  
DATE 04/21/20 LICENSE NO. 44263

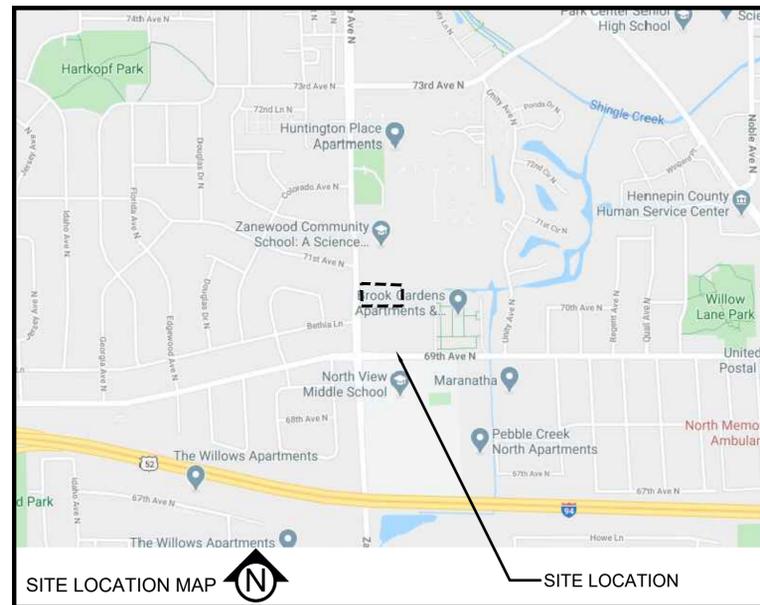
ISSUE/SUBMITTAL SUMMARY  
DATE DESCRIPTION  
04/19/20 CITY SUBMITTAL  
04/21/20 CITY RESUBMITTAL

DRAWN BY: KB, BN REVIEWED BY: MP  
PROJECT NUMBER: 20040

REVISION SUMMARY  
DATE DESCRIPTION

TITLE SHEET

C0.0



**ARCHITECT:**

FIRM GROUND ARCHITECTS & ENGINEERS, INC.  
275 MARKET STREET  
SUITE 368  
MINNEAPOLIS, MN 55405  
CONTACT: TOM WASMOEN  
612-819-1835

**DEVELOPER / PROPERTY OWNER:**

A1 RELIABLE HOME CARE  
2353 RICE STREET  
SUITE 107  
ST. PAUL, MN 55113

**ENGINEER / LANDSCAPE ARCHITECT:**

CIVIL SITE GROUP  
4931 W 35TH STREET  
SUITE 200  
ST LOUIS PARK, MN 55416  
CONTACT: MATT PAVEK  
612-615-0060

**SURVEYOR:**

CIVIL SITE GROUP  
4931 W 35TH STREET  
SUITE 200  
ST LOUIS PARK, MN 55416  
CONTACT: RORY SYNSTELIEN  
612-615-0060

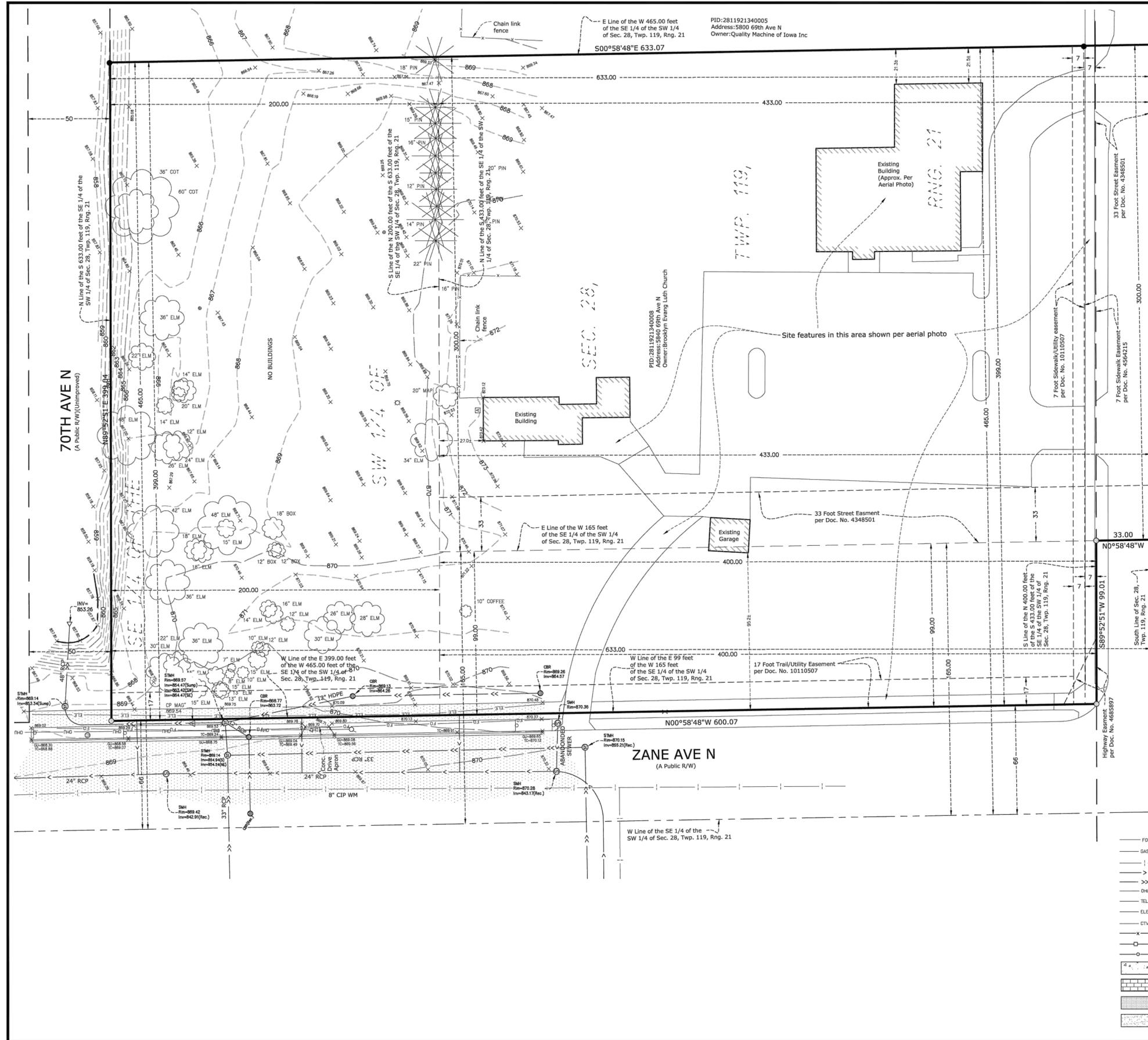
**GEOTECHNICAL ENGINEER:**

HAUGO GEOTECHNICAL SERVICES  
2825 CEDAR AVE S  
MINNEAPOLIS, MN 55407  
612-729-2959

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C0.0	TITLE SHEET
V1.0	SITE SURVEY
C1.0	REMOVALS PLAN
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	CIVIL DETAILS
C5.1	CIVIL DETAILS
C5.2	CIVIL DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN NOTES & DETAILS
LT1.0	LIGHTING PLAN
SW1.0	SWPPP - EXISTING CONDITIONS
SW1.1	SWPPP - PROPOSED CONDITIONS
SW1.2	SWPPP - DETAILS
SW1.3	SWPPP - NARRATIVE
SW1.4	SWPPP - ATTACHMENTS
SW1.5	SWPPP - ATTACHMENTS



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**DESCRIPTION OF PROPERTY SURVEYED**

The East 300 feet of the West 465 feet of the South 433 feet of the East 1/2 of the Southwest 1/4 of Section 28, Township 119, Range 21, according to the United States Government Survey thereof. Said land being situated in Hennepin County, State of Minnesota. Subject to an easement for street purposes over the West 30 feet and the South 33 feet thereof. Subject to any and all drainage easements, if any.

The East 99 feet of the West 165 feet of the North 400 feet of the South 433 feet of the Southeast 1/4 of the Southwest 1/4 of Section 28, Township 119, Range 21

The East 399 feet of the West 465 feet of the North 200 feet of the South 633 feet of the Southeast 1/4 of the Southwest 1/4 of Section 28, Township 119, Range 21, both parcels according to the maps or plats thereof on file and of record in the office of the Register of Deeds in and for said County.

**ALTA/NSPS Land Title Survey Notes**  
(numbered per Table A)

- Bearings are based on the Hennepin County Coordinate System (1986 Adjustment).
- Site Address: Unassigned, Zane Ave N, Brooklyn Park, MN 55429.  
Note: At the time of this survey, subject property appears to be a part of 5840 69th Ave N, Brooklyn Park, MN 55429.
- This property is contained in Zone X (area determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0203F, effective date of November 4, 2016.
- The Gross land area is 249,328 Sq. Ft. +/- or 5.723 Acres +/-.
- Elevations are based on the NGVD 29 Datum. Site Benchmark is the top of a map nail in the bituminous path along the westerly property line of subject property, located 50 feet +/- southerly of the northwest property corner.  
Elevation = 869.54
- The current Zoning for the subject property was not provided.

Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.

- We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property.
- The names of the adjoining owners of the platted lands, as shown hereon, are based on information obtained from the Hennepin County online property map.
- Some features shown per aerial photo, as noted hereon.

**SURVEY REPORT**

- This map and report was prepared without the benefit of a Commitment for Title Insurance. The property description shown hereon is per Warranty Deed, Doc. No. 4348501 obtained from the Hennepin County RecordEase website and may or may not be the latest description of record. We have also shown some easements per documents found on said RecordEase website. These may or may not be the latest easements of record and there may be other easements or other matters of record we are unaware of and thus not shown hereon.

**ALTA CERTIFICATION**  
To: Brooklyn Evangelical Lutheran Church of Brooklyn Park, a religious corporation; and A-1 Reliable Home Care Inc.  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 8, 11, 13, and 15 of Table A thereof. The field work was completed on 3-23-2020.  
Dated this 31st day of March, 2020.

Rory L. Synstelien  
Minnesota License No. 44565  
rory@civilsitegroup.com

**PROJECT**  
A1 RELIABLE HOME SERVICES  
SUPPORTIVE HOUSING

**CLIENT**  
ZANE AVE N, BROOKLYN PARK, MN 55445  
A-1 RELIABLE HOME CARE  
2363 RICE STREET, SUITE 107, ST PAUL, MN 55113

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Rory L. Synstelien  
DATE: 3-31-2020 LICENSE NO. 44565

FIELD CREW	DO
DRAWN BY	FJ
REVIEWED BY	CJ
UPDATED BY	



**REVISION SUMMARY**

DATE	DESCRIPTION
4-15-20	Add church site

PROJECT NO.: 20040

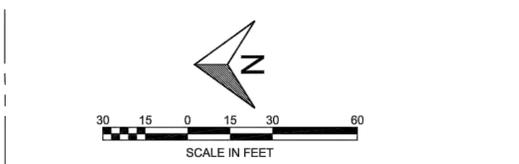
**ALTA/NSPS LAND TITLE SURVEY**

**V1.0**

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**Linetype & Symbol Legend**

FD	FIBER OPTIC	SIGN	AIR CONDITIONER
---	GASMAIN	⊕	UTILITY MANHOLE
---	WATERMAIN	⊕	SANITARY MANHOLE
---	SANITARY SEWER	⊕	ELECTRIC MANHOLE
---	STORM SEWER	⊕	CATCH BASIN
---	OVERHEAD UTILITIES	⊕	ROOF DRAIN
---	TELEPHONE LINE	⊕	TELEPHONE BOX
---	ELECTRIC LINE	⊕	TELEPHONE MANHOLE
---	CABLE LINE	⊕	ELECTRIC TRANSFORMER
---	CHAINLINK FENCELINE	⊕	TRAFFIC SIGNAL
---	WOODEN FENCELINE	⊕	CABLE TV BOX
---	GUARDRAIL	⊕	ELECTRICAL METER
---	CONCRETE SURFACE	⊕	GAS METER
---	PAVER SURFACE	⊕	FOUND IRON MONUMENT
---	BITUMINOUS SURFACE	⊕	SET IRON MONUMENT
---	GRAVEL/LANDSCAPE SURFACE	⊕	CAST IRON MONUMENT
---		⊕	CONFEROUS TREE
---		⊕	DECIDUOUS TREE



**PRELIMINARY:  
NOT FOR CONSTRUCTION**

**A1 RELIABLE HOME SERVICES  
SUPPORTIVE HOUSING**  
6940 ZANE AVE N, BROOKLYN PARK, MN 55445

**A-1 RELIABLE HOME CARE**  
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PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavek  
DATE: 04/21/20 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY	
DATE	DESCRIPTION
04/19/20	CITY SUBMITTAL
04/21/20	CITY SUBMITTAL

DRAWN BY: KB, BN REVIEWED BY: MP  
PROJECT NUMBER: 20040

REVISION SUMMARY	
DATE	DESCRIPTION

REMOVALS PLAN

REVISION SUMMARY	
DATE	DESCRIPTION

REMOVALS PLAN

**C1.0**

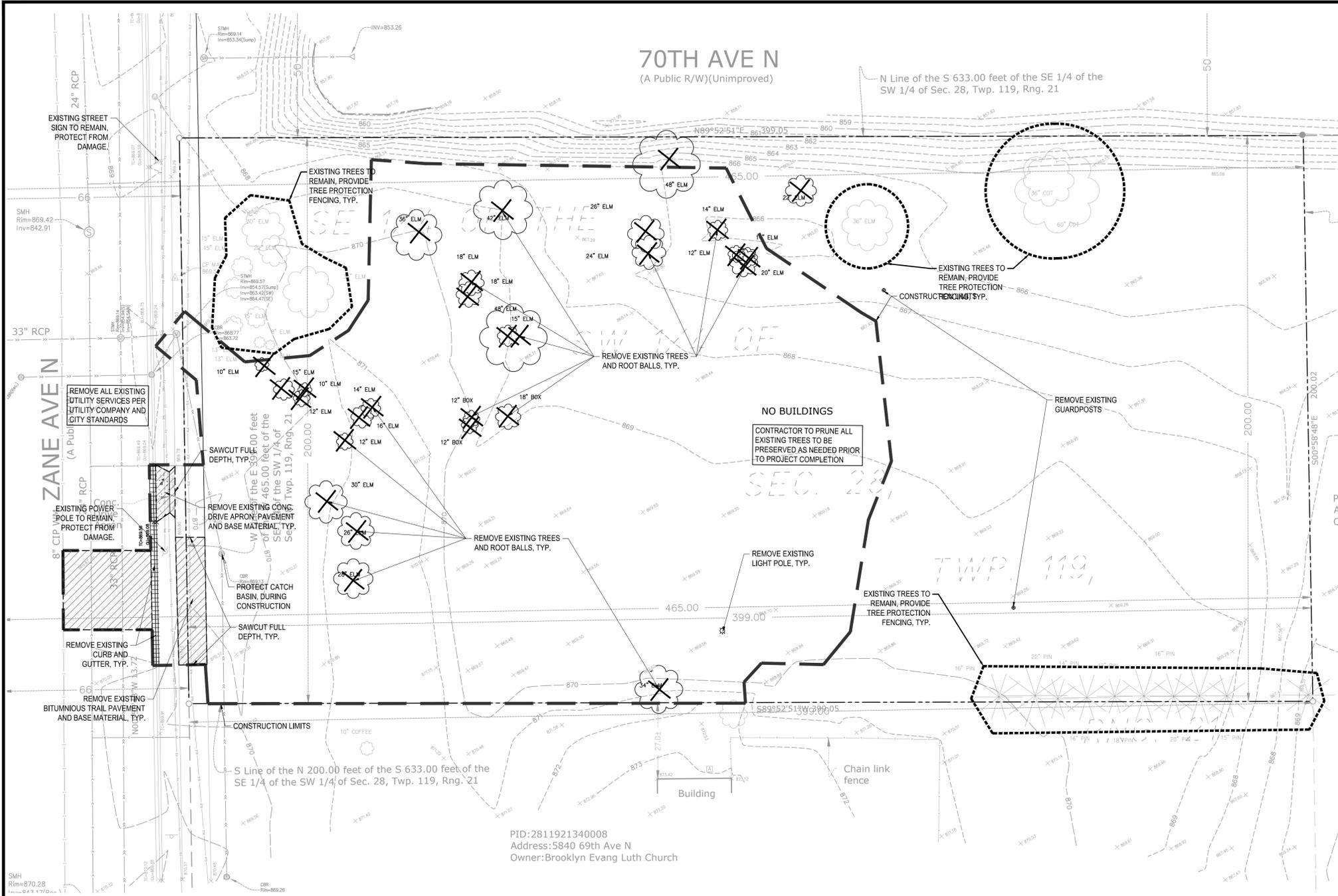
# 70TH AVE N

(A Public R/W)(Unimproved)

N Line of the S 633.00 feet of the SE 1/4 of the SW 1/4 of Sec. 28, Twp. 119, Rng. 21

S Line of the N 200.00 feet of the S 633.00 feet of the SE 1/4 of the SW 1/4 of Sec. 28, Twp. 119, Rng. 21

PID: 2811921340008  
Address: 5840 69th Ave N  
Owner: Brooklyn Evang Luth Church



### REMOVAL NOTES:

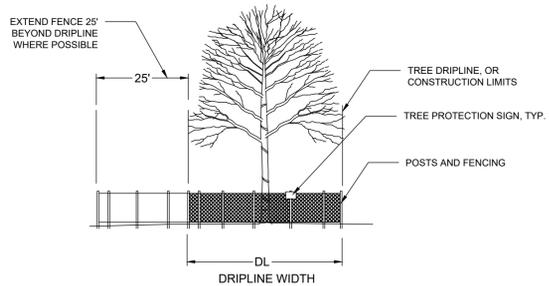
- SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN.
- REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
- REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
- EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS OR THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
- REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- ABANDON, REMOVE, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE APPROXIMATE. COORDINATE WITH PROPOSED PLANS.
- EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
- PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS. WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND CLEAN-UP OPERATIONS AS WELL AS CONSTRUCTION SHOWN ON THE DRAWINGS.
- MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS.
- DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
- PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
- SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM, AND THEFT, DURING AND AFTER NORMAL WORK HOURS, THROUGHOUT THE DURATION OF THE CONTRACT. SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY.
- VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNERS REPRESENTATIVE AND THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE DRAWINGS AND MAINTAINED IN A MANNER AS REQUIRED BY THE CITY.
- ALL EXISTING SITE TRAFFIC/REGULATORY SIGNAGE TO BE INVENTORIED AND IF REMOVED FOR CONSTRUCTION SHALL BE RETURNED TO LGU.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

### CITY OF BROOKLYN PARK REMOVAL NOTES:

- RESERVED FOR CITY SPECIFIC REMOVAL NOTES.

### EROSION CONTROL NOTES:

SEE SWPPP ON SHEETS SW1.0 - SW1.5



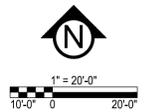
FURNISH A AND INSTALL TEMPORARY FENCE AT THE TREE'S DRIP LINE OR CONSTRUCTION LIMITS AS SHOWN ON PLAN, PRIOR TO ANY CONSTRUCTION. WHERE POSSIBLE PLACE FENCE 25' BEYOND DRIP LINE. PLACE TREE PROTECTION SIGN ON POSTS, ONE PER INDIVIDUAL TREE (FACING CONSTRUCTION ACTIVITY), OR ONE EVERY 100' LF ALONG A GROVE OR MULTI-TREE PROTECTION AREA.

### REMOVALS LEGEND:

- 1125 --- EX. 1' CONTOUR ELEVATION INTERVAL
- [Hatched Box] REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC., AND GRAVEL PVMTS.
- [Cross-hatched Box] REMOVAL OF STRUCTURE INCLUDING ALL FOOTINGS AND FOUNDATIONS.
- [Dashed Line] REMOVE CURB AND GUTTER. IF IN RIGHT-OF-WAY, COORDINATE WITH LOCAL GOVERNING UNIT.
- [Circle with X] TREE PROTECTION
- [X] TREE REMOVAL - INCLUDING ROOTS AND STUMPS

### 1 TREE PROTECTION NTS

**811**  
Know what's below.  
Call before you dig.



# 70TH AVE N

(A Public R/W)(Unimproved)

N Line of the S 633.00 feet of the SE 1/4 of the SW 1/4 of Sec. 28, Twp. 119, Rng. 21

N89°52'51"E 399.05

S Line of the N 200.00 feet of the S 633.00 feet of the SE 1/4 of the SW 1/4 of Sec. 28, Twp. 119, Rng. 21

PID:2811921340008  
Address:5840 69th Ave N  
Owner:Brooklyn Evang Luth Church

## SITE LAYOUT NOTES:

- CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET OPENING PERMIT.
- THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO TECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
- CONTRACTOR SHALL FIELD VERIFY COORDINATES AND LOCATION DIMENSIONS OF THE BUILDING AND STAKE FOR REVIEW AND APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF FOOTING MATERIALS.
- LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD. PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
- CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION. LOCATION OF BUILDING IS TO BUILDING FOUNDATION AND SHALL BE AS SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING, FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES. THE OWNER RESERVES THE RIGHT TO REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
- PEDESTRIAN CURB RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOME LANDING AREAS IN ACCORDANCE WITH A.D.A. REQUIREMENTS-SEE DETAIL.
- CROSSWALK STRIPING SHALL BE 24" WIDE WHITE PAINTED LINE, SPACED 48" ON CENTER PERPENDICULAR TO THE FLOW OF TRAFFIC. WIDTH OF CROSSWALK SHALL BE 5' WIDE. ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE IN COLOR UNLESS OTHERWISE NOTED OR REQUIRED BY ADA OR LOCAL GOVERNING BODIES.
- SEE SITE PLAN FOR CURB AND GUTTER TYPE. TAPER BETWEEN CURB TYPES-SEE DETAIL.
- ALL CURB RADII ARE MINIMUM 3' UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO FINAL PLAT FOR LOT BOUNDARIES, NUMBERS, AREAS AND DIMENSIONS PRIOR TO SITE IMPROVEMENTS.
- FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
- PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE.
- ALL PARKING LOT PAINT STRIPING TO BE WHITE, 4" WIDE TYP.
- BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEETS FOR PAVEMENT SECTIONS.
- ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

## CITY OF BROOKLYN PARK SITE NOTES:

- RESERVED FOR CITY SPECIFIC SITE NOTES.

## SITE AREA TABLE:

	EXISTING CONDITION	PROPOSED CONDITION
BUILDING COVERAGE	0 SF 0.0%	6,090 SF 7.6%
ALL PAVEMENTS	1,328 SF 1.7%	17,744 SF 22.2%
ALL NON-PAVEMENTS	78,481 SF 98.3%	55,975 SF 70.1%
<b>TOTAL SITE AREA</b>	<b>79,809 SF 100.0%</b>	<b>79,809 SF 100.0%</b>

IMPERVIOUS SURFACE	EXISTING CONDITION	PROPOSED CONDITION
EXISTING CONDITION	1,328 SF 1.7%	
PROPOSED CONDITION		23,834 SF 29.9%
<b>DIFFERENCE (EX. VS PROP.)</b>		<b>22,506 SF 28.2%</b>

## SITE PLAN LEGEND:

- LIGHT DUTY BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH, SEE DETAIL.
- HEAVY DUTY BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH, SEE DETAIL.
- CONCRETE PAVEMENT (IF APPLICABLE) AS SPECIFIED (PAD OR WALK) SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & CONCRETE DEPTHS, SEE DETAIL.
- PROPERTY LINE
- CONSTRUCTION LIMITS
- CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN
- TRAFFIC DIRECTIONAL ARROW PAVEMENT MARKINGS
- SIGN AND POST ASSEMBLY. SHOP DRAWINGS REQUIRED.  
HC = ACCESSIBLE SIGN  
NP = NO PARKING FIRE LANE  
ST = STOP  
CP = COMPACT CAR PARKING ONLY  
ACCESSIBILITY ARROW (IF APPLICABLE) DO NOT PAINT.



Know what's below.  
Call before you dig.



1" = 20'-0"  
10'-0" 0 20'-0"

4/21/2020 12:33 PM

**PRELIMINARY:  
NOT FOR  
CONSTRUCTION**

**A1 RELIABLE HOME SERVICES  
SUPPORTIVE HOUSING**  
6940 ZANE AVE N, BROOKLYN PARK, MN 55445

**A-1 RELIABLE HOME CARE**  
2353 RICE STREET, SUITE 107, ST PAUL, MN 55113

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavek  
DATE: 04/21/20 LICENSE NO. 44283

DATE	DESCRIPTION
04/10/20	CITY SUBMITTAL
04/21/20	CITY SUBMITTAL

DATE	DESCRIPTION

DATE	DESCRIPTION

DRAWN BY: KB, BN REVIEWED BY: MP  
PROJECT NUMBER: 20040

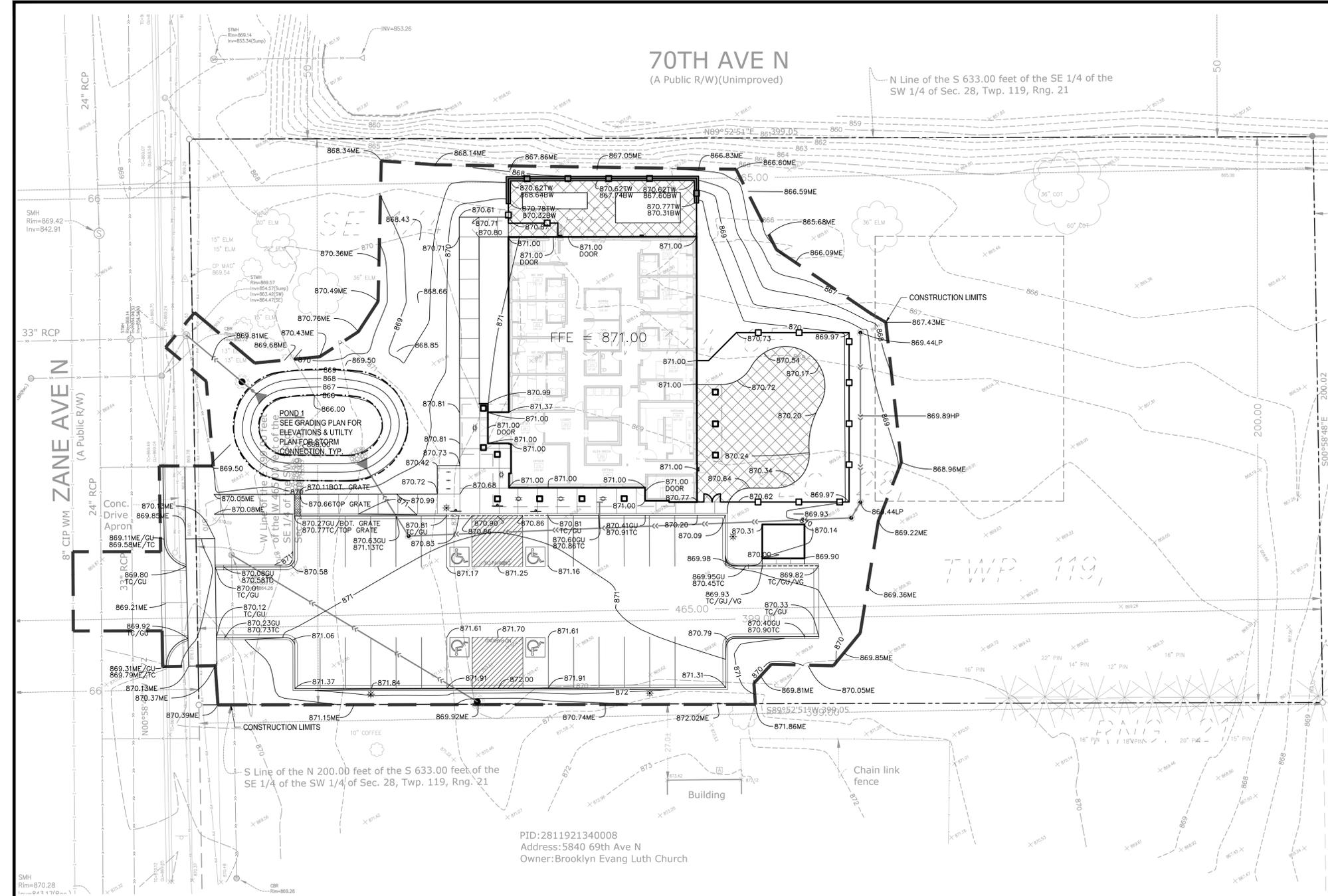
**SITE PLAN**

**C2.0**  
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# 70TH AVE N

(A Public R/W)(Unimproved)

N Line of the S 633.00 feet of the SE 1/4 of the SW 1/4 of Sec. 28, Twp. 119, Rng. 21



PID:2811921340008  
 Address:5840 69th Ave N  
 Owner:Brooklyn Evang Luth Church

**GROUNDWATER INFORMATION:**  
 PER GEOTECHNICAL REPORT BY HAUGO GEOTECHNICAL SERVICES, DATED 03-24-20  
 GROUNDWATER WAS OBSERVED AT ELEVATIONS RANGING FROM 859.90 TO 861.00.  
 THE BORINGS & GROUNDWATER ARE AS FOLLOWS:  
 SB-1 859.90  
 SB-2 860.20  
 SB-3 861.00

- GENERAL GRADING NOTES:**
- SEE SITE PLAN FOR HORIZONTAL LAYOUT & GENERAL GRADING NOTES.
  - THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO SITE PREPARATION, SOIL CORRECTION, EXCAVATION, EMBANKMENT, ETC.) IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
  - GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY.
  - ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
  - PROPOSED SPOT GRADES ARE FLOW-LINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
  - GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
  - PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. MAXIMUM SLOPES IN MAINTAINED AREAS IS 4:1
  - PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOPSOIL AND SODDING ACTIVITIES.
  - IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
  - EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
  - FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISH GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED BY TRAFFIC OR ERODED BY WATER OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
  - PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND/OR PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER. NO TEST ROLL SHALL OCCUR WITHIN 10' OF ANY UNDERGROUND STORM RETENTION/DETENTION SYSTEMS.
  - TOLERANCES
    - THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
    - THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
    - AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
    - TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
  - MAINTENANCE
    - THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS.
    - CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES. DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD, ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEEDED AND MULCHED.
    - WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCARIFY, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.

**CITY OF BROOKLYN PARK GRADING NOTES:**

- RESERVED FOR CITY SPECIFIC GRADING NOTES.

**EROSION CONTROL NOTES:**  
 SEE SWPPP ON SHEETS SW1.0 - SW1.5

**GRADING PLAN LEGEND:**

---	1125	EX. 1' CONTOUR ELEVATION INTERVAL
---	-1137	1.0' CONTOUR ELEVATION INTERVAL
○	41.26	SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED)
G	891.00	SPOT GRADE ELEVATION GUTTER
TC	891.00	SPOT GRADE ELEVATION TOP OF CURB
BS/TS	891.00	SPOT GRADE ELEVATION BOTTOM OF STAIRS/TOP OF STAIRS
ME	891.00	SPOT GRADE ELEVATION MATCH EXISTING
CB		GRADE BREAK - HIGH POINTS
---		CURB AND GUTTER (T.O = TIP OUT)
→	EOF=1135.52	EMERGENCY OVERFLOW



**PRELIMINARY - NOT FOR CONSTRUCTION**

**A1 RELIABLE HOME SERVICES SUPPORTIVE HOUSING**  
 6940 ZANE AVE N, BROOKLYN PARK, MN 55445

**A-1 RELIABLE HOME CARE**  
 2353 RICE STREET, SUITE 107, ST PAUL, MN 55113

PROJECT

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Matthew R. Pavak  
 DATE: 04/21/20 LICENSE NO. 44283

**ISSUE/SUBMITTAL SUMMARY**

DATE	DESCRIPTION
04/19/20	CITY SUBMITTAL
04/21/20	CITY RESUBMITTAL

DRAWN BY: KB, BN REVIEWED BY: MP  
 PROJECT NUMBER: 20040

**REVISION SUMMARY**

DATE	DESCRIPTION

**GRADING PLAN**

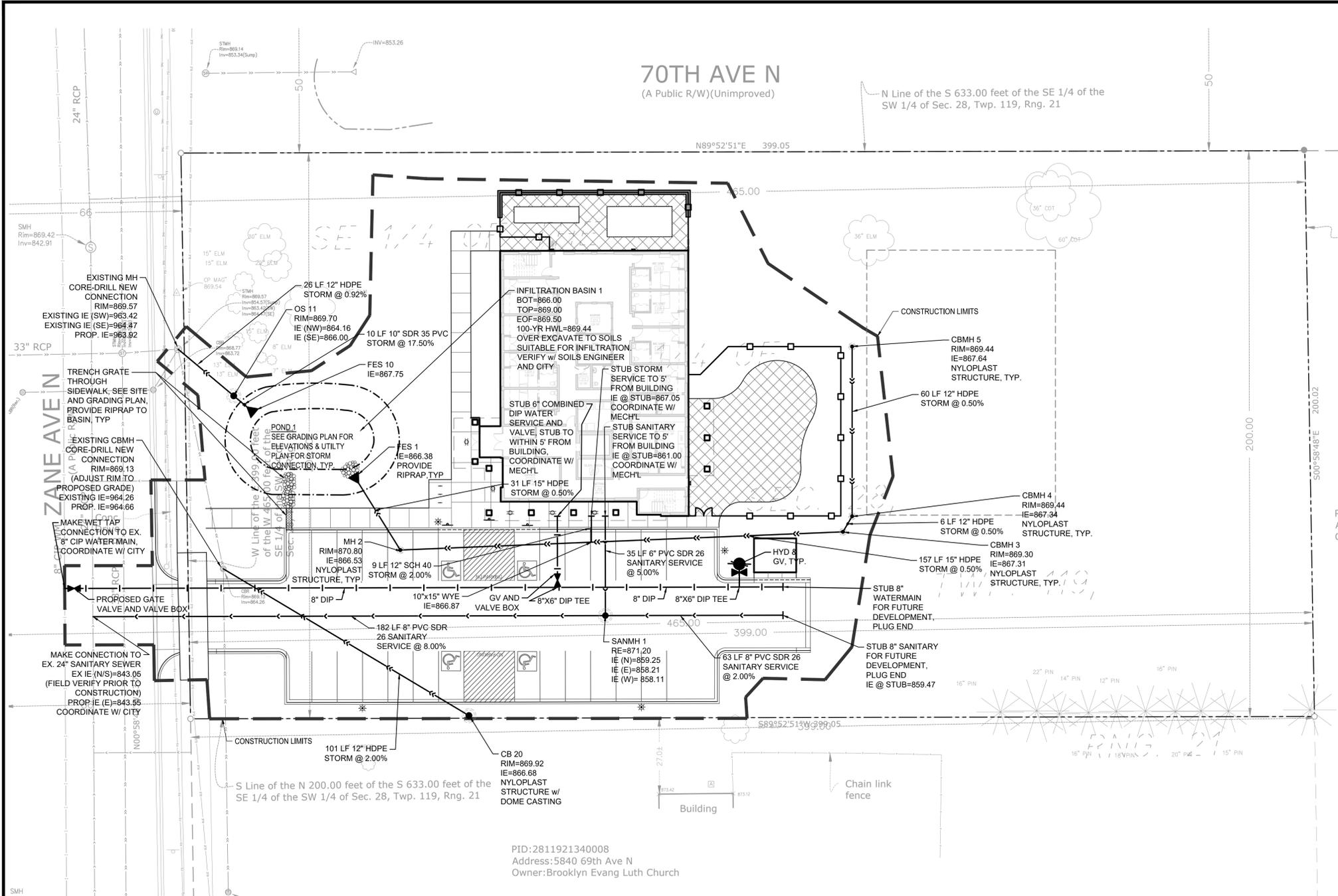
**C3.0**

4/21/2020 12:33 PM  
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# 70TH AVE N

(A Public R/W)(Unimproved)

N Line of the S 633.00 feet of the SE 1/4 of the SW 1/4 of Sec. 28, Twp. 119, Rng. 21



PID:2811921340008  
 Address:5840 69th Ave N  
 Owner:Brooklyn Evang Luth Church

### GENERAL UTILITY NOTES:

- SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS. 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
- CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
- ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) AWWA C151, ASME B16.4, AWWA C110, AWWA C153 UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) ASTM D3034 & F679, OR SCH 40 ASTM D1785, 2665, ASTM F794, 1866) UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE SHALL BE HDPE ASTM F714 & F2306 WITH ASTM D3212 SPEC FITTINGS UNLESS OTHERWISE NOTED.
- PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
- UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
- HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
- A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
- CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE-DRILLED.
- COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
- ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
- CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
- CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
- ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, OR OTHER STRUCTURES.
- ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MN RULES, CHAPTER 4714, SECTION 1109.0.

### CITY OF BROOKLYN PARK UTILITY NOTES:

- RESERVED FOR CITY SPECIFIC UTILITY NOTES.

**PRELIMINARY - NOT FOR CONSTRUCTION**

**A1 RELIABLE HOME SERVICES SUPPORTIVE HOUSING**  
 6940 ZANE AVE N, BROOKLYN PARK, MN 55445

**A-1 RELIABLE HOME CARE**  
 2353 RICE STREET, SUITE 107, ST PAUL, MN 55113

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*Matthew R. Pavek*  
 Matthew R. Pavek  
 DATE: 04/21/20 LICENSE NO. 44283

ISSUE/SUBMITTAL SUMMARY	
DATE	DESCRIPTION
04/19/20	CITY SUBMITTAL
04/21/20	CITY SUBMITTAL

REVISION SUMMARY	
DATE	DESCRIPTION

DRAWN BY: KB, BN REVIEWED BY: MP  
 PROJECT NUMBER: 20040

### UTILITY LEGEND:

- MANHOLE
- CATCH BASIN
- GATE VALVE AND VALVE BOX
- FIRE HYDRANT
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- FES AND RIP RAP



Know what's below.  
 Call before you dig.



1" = 20'-0"  
 10'-0" 0 20'-0"

### UTILITY PLAN

**C4.0**



**PRELIMINARY - NOT FOR CONSTRUCTION**

**A1 RELIABLE HOME SERVICES SUPPORTIVE HOUSING**  
6940 ZANE AVE N, BROOKLYN PARK, MN 55445  
**A-1 RELIABLE HOME CARE**  
2353 RICE STREET, SUITE 107, ST PAUL, MN 55113

PROJECT

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Matthew R. Pavsek  
DATE 04/21/20 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY	
DATE	DESCRIPTION
04/21/20	CITY SUBMITTAL
04/21/20	CITY RESUBMITTAL

DRAWN BY: KB, BN REVIEWED BY: MP  
PROJECT NUMBER: 20040

REVISION SUMMARY	
DATE	DESCRIPTION

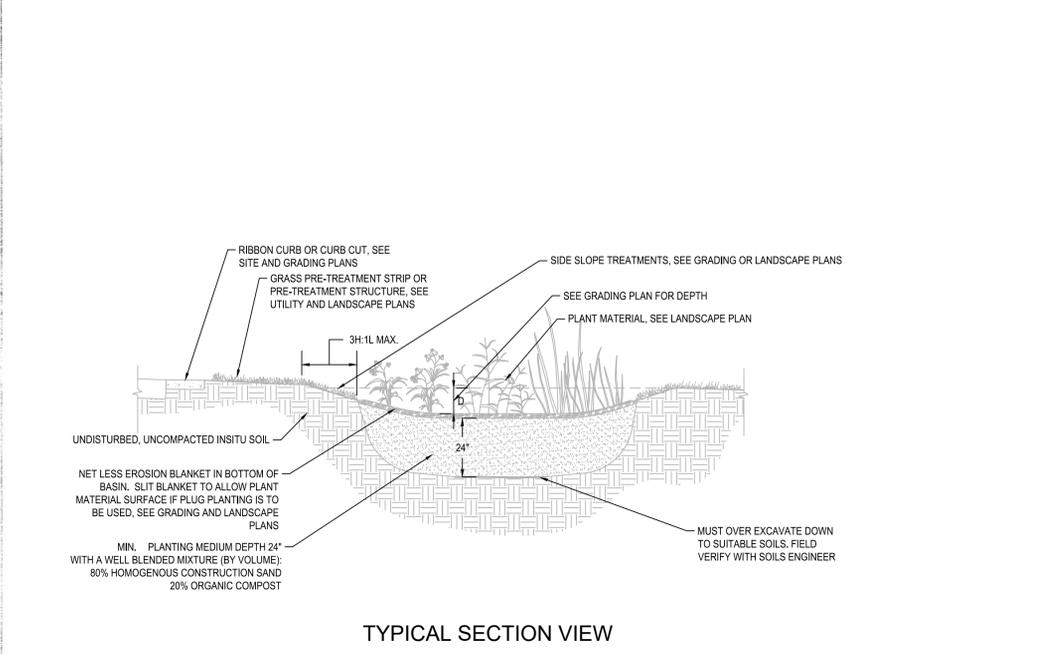
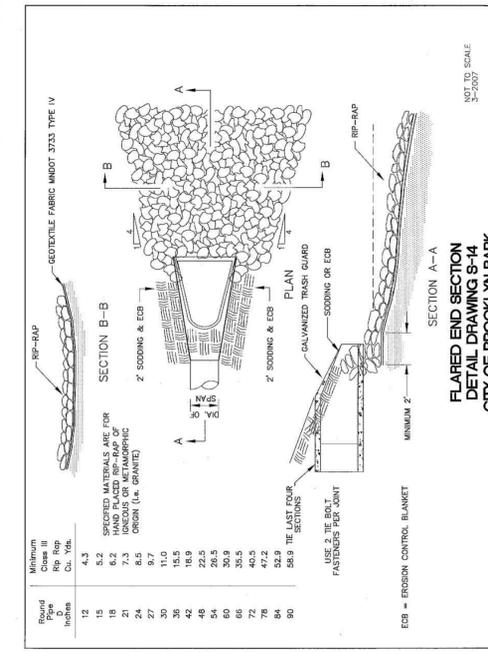
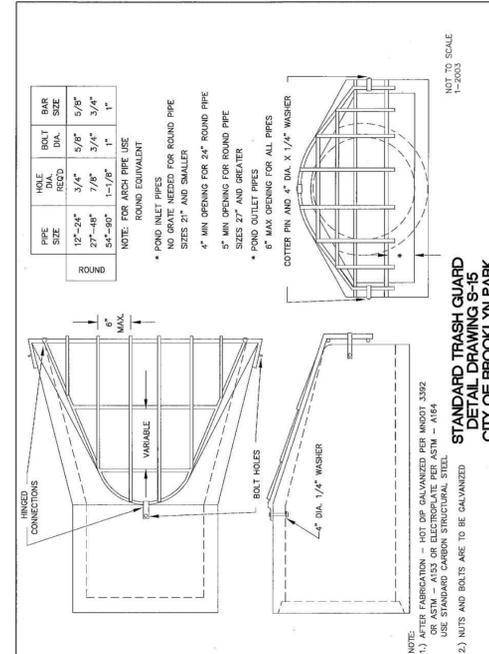
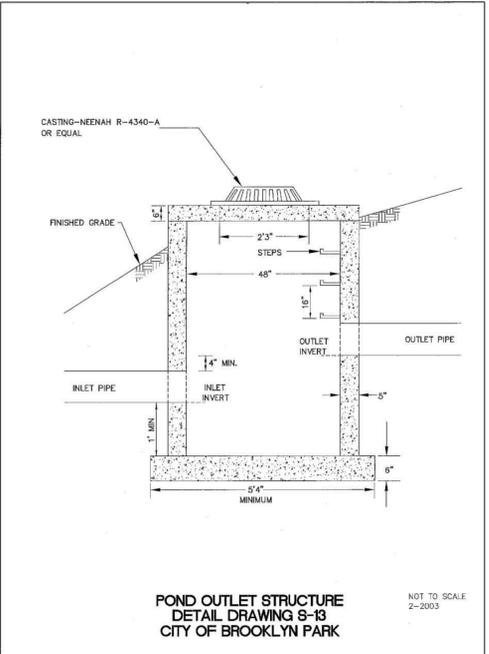
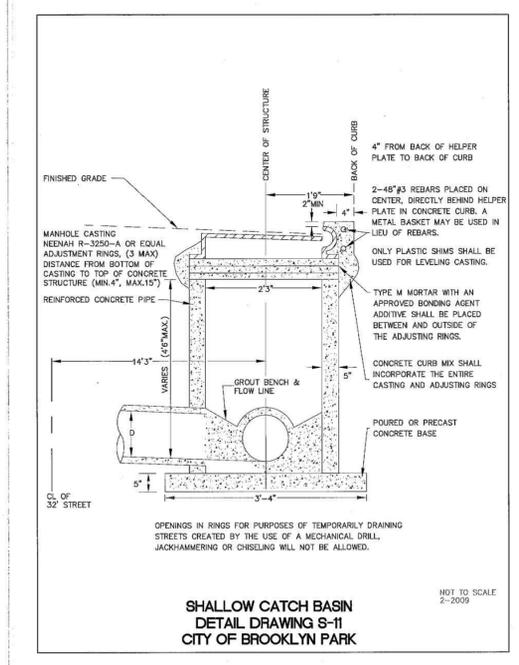
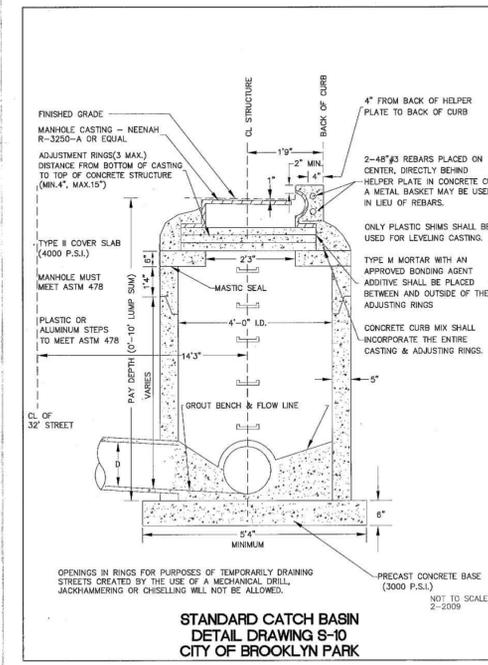
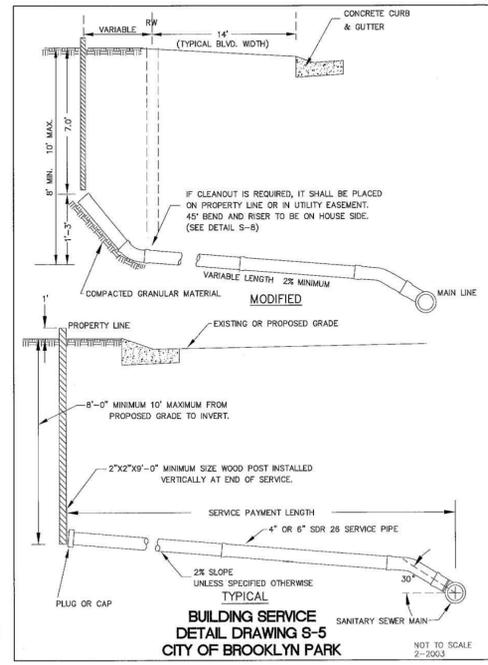
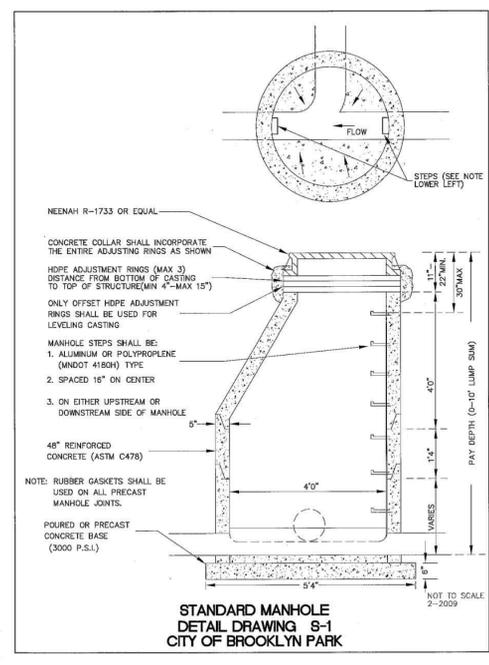
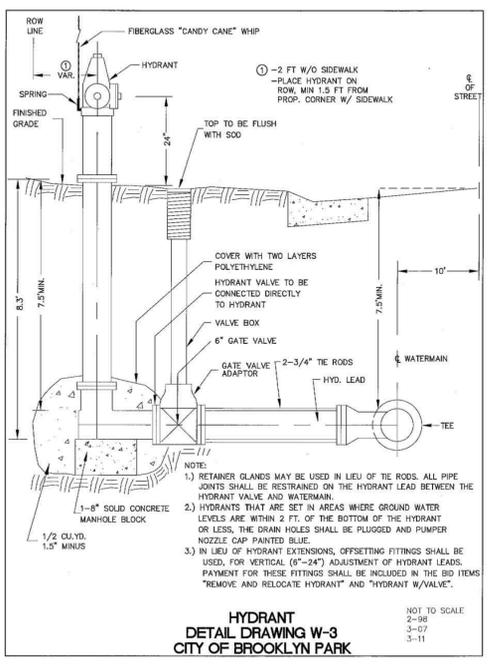
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REVISION SUMMARY	
DATE	DESCRIPTION

DRAWN BY: KB, BN REVIEWED BY: MP  
PROJECT NUMBER: 20040

CIVIL DETAILS

**C5.1**



**CONSTRUCTION SEQUENCING**

- INSTALL SILT FENCE AND/OR OTHER APPROPRIATE TEMPORARY EROSION CONTROL DEVICES TO PREVENT SEDIMENT FROM LEAVING OR ENTERING THE PRACTICE DURING CONSTRUCTION.
- ALL DOWN-GRADIENT PERIMETER SEDIMENT CONTROL BMP'S MUST BE IN PLACE BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITY BEGINS.
- PERFORM CONTINUOUS INSPECTIONS OF EROSION CONTROL PRACTICES.
- INSTALL UTILITIES (WATER, SANITARY SEWER, ELECTRIC, PHONE, FIBER OPTIC, ETC) PRIOR TO SETTING FINAL GRADE OF BIOTRETENTION DEVICE.
- ROUGH GRADE THE SITE. IF BIOTRETENTION AREAS ARE BEING USED AS TEMPORARY SEDIMENT BASINS LEAVE A MINIMUM OF 3 FEET OF COVER OVER THE PRACTICE TO PROTECT THE UNDERLYING SOILS FROM CLOGGING.
- PERFORM ALL OTHER SITE IMPROVEMENTS.
- PLANT ALL AREAS AFTER DISTURBANCE.
- CONSTRUCT BIOTRETENTION DEVICE UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA.
- IMPLEMENT TEMPORARY AND PERMANENT EROSION CONTROL PRACTICES.
- PLANT AND/OR ROCK MULCH BIOTRETENTION DEVICE.
- REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREA IS ADEQUATELY VEGETATED.

**GENERAL NOTES**

- IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL SHALL BE REMOVED FROM THE PRACTICE PRIOR TO CONTINUING CONSTRUCTION.
- GRADING OF BIOTRETENTION DEVICES SHALL BE ACCOMPLISHED USING LOW-COMPACTION EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF UNDERLYING SOILS.
- ALL SUB MATERIALS BELOW THE SPECIFIED BIOTRETENTION DEPTH (ELEVATION) SHALL BE UNDISTURBED, UNLESS OTHERWISE NOTED.

**BIO-INFILTRATION BASIN (RAIN GARDEN - TYP.)**

1 N T S



**PRELIMINARY:  
NOT FOR  
CONSTRUCTION**

**A1 RELIABLE HOME SERVICES  
SUPPORTIVE HOUSING**  
6940 ZANE AVE N, BROOKLYN PARK, MN 55445

**A-1 RELIABLE HOME CARE**  
2353 RICE STREET, SUITE 107, ST PAUL, MN 55113

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Patrick J. Sarver*  
Patrick J. Sarver  
DATE 04/21/20 LICENSE NO. 24904

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
04/21/20	CITY SUBMITTAL
04/21/20	CITY SUBMITTAL

DRAWN BY: KB, BN REVIEWED BY: MP  
PROJECT NUMBER: 20040

REVISION SUMMARY

DATE	DESCRIPTION

LANDSCAPE PLAN

**L1.0**

**LANDSCAPE NOTES:**

- WHERE SHOWN, SHRUB & PERENNIAL BEDS SHALL BE MULCHED WITH 4" DEPTH (MINIMUM AFTER INSTALLATION AND/OR TOP DRESSING OPERATIONS) OF SHREDDED CYPRESS MULCH.
- ALL TREES SHALL BE MULCHED WITH SHREDDED CYPRESS MULCH TO OUTER EDGE OF SAUCER OR TO EDGE OF PLANTING BED, IF APPLICABLE. ALL MULCH SHALL BE KEPT WITHIN A MINIMUM OF 2" FROM TREE TRUNK.
- IF SHOWN ON PLAN, RANDOM SIZED LIMESTONE BOULDERS COLOR AND SIZE TO COMPLIMENT NEW LANDSCAPING. OWNER TO APPROVE BOULDER SAMPLES PRIOR TO INSTALLATION.
- PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMPNESS OF PLANT MATERIAL FOR DURATION OF ACCEPTANCE PERIOD.
- UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
- CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR ONE (1) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER TOPSOIL AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
- REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- REPAIR AT NO COST TO THE OWNER IRRIGATION SYSTEM DAMAGED FROM LANDSCAPE CONSTRUCTION ACTIVITIES.
- PROVIDE SITE WIDE IRRIGATION SYSTEM DESIGN AND INSTALLATION. SYSTEM SHALL BE FULLY PROGRAMMABLE AND CAPABLE OF ALTERNATE DATE WATERING. THE SYSTEM SHALL PROVIDE HEAD TO HEAD OR DRIP COVERAGE AND BE CAPABLE OF DELIVERING ONE INCH OF PRECIPITATION PER WEEK. SYSTEM SHALL EXTEND INTO THE PUBLIC RIGHT-OF-WAY TO THE EDGE OF PAVEMENT/BACK OF CURB.
- CONTRACTOR SHALL SECURE APPROVAL OF PROPOSED IRRIGATION SYSTEM INCLUDING PRICING FROM OWNER, PRIOR TO INSTALLATION.

**POLLINATOR SAFE PLANT MATERIAL:**

- THE CONTRACTOR SHALL PROVIDE ONLY PLANT MATERIAL FREE OF NEONICOTINOID BASED INSECTICIDES AND/OR TREATMENTS OF ANY KIND, INCLUDING BUT NOT LIMITED TO IMIDACLOPRID (CONFIDOR, ADMIRE, GAUCHO, ADVOCATE), THIAMETHOXAM (ACTARA, PLATINUM, CRUISER), CLOTHIANIDIN (PONCHO, DANTOSU, DANTOP), ACETAMIPRID (MOSPILAN, ASSAIL, CHIPCOTRISTAR), THIACTOPRID (CALYPSO), DINOTEFURAN (STARKLE, SAFARI, VENOM), AND NITENPYRAM (CAPSTAR, GUARDIAN).
- CONTRACTOR SHALL CERTIFY, THROUGH SUPPLIERS POLICY STATEMENT OR AFFIDAVIT, THAT NO NEONICOTINOID BASED INSECTICIDES HAVE BEEN USED ON SITE OR DIRECTLY ADJACENT TO THE GROWING OR STORAGE PLOTS OF THE SUPPLIED PLANT MATERIAL, INCLUDING THE PLANTING OF AGRICULTURAL (OR OTHER) SEED TREATED WITH NEONICS.

**LEGEND**

- SHREDDED CYPRESS MULCH, SAMPLES REQUIRED PROVIDE EDGING AS SHOWN ON PLAN
- LAWN - SOD
- SEED TYPE 1 - MNDOT 34-262 WET PRAIRIE, PER MNDOT SEEDING MANUAL SPECIFICATIONS (2014)
- SEED TYPE 2 - MNDOT 35-221 DRY PRAIRIE, PER MNDOT SEEDING MANUAL SPECIFICATIONS (2014)
- 1" DIA. ROCK MAINTENANCE STRIP OVER FILTER FABRIC, SAMPLES REQUIRED. PROVIDE EDGING AS SHOWN ON PLAN

- PROPOSED CANOPY TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED EVERGREEN TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED ORNAMENTAL TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED DECIDUOUS AND EVERGREEN SHRUB SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED PERENNIAL PLANT SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- EDGING
- DECORATIVE BOULDERS (ROUNDED & BLOCK STYLE), 18"-30" DIA.



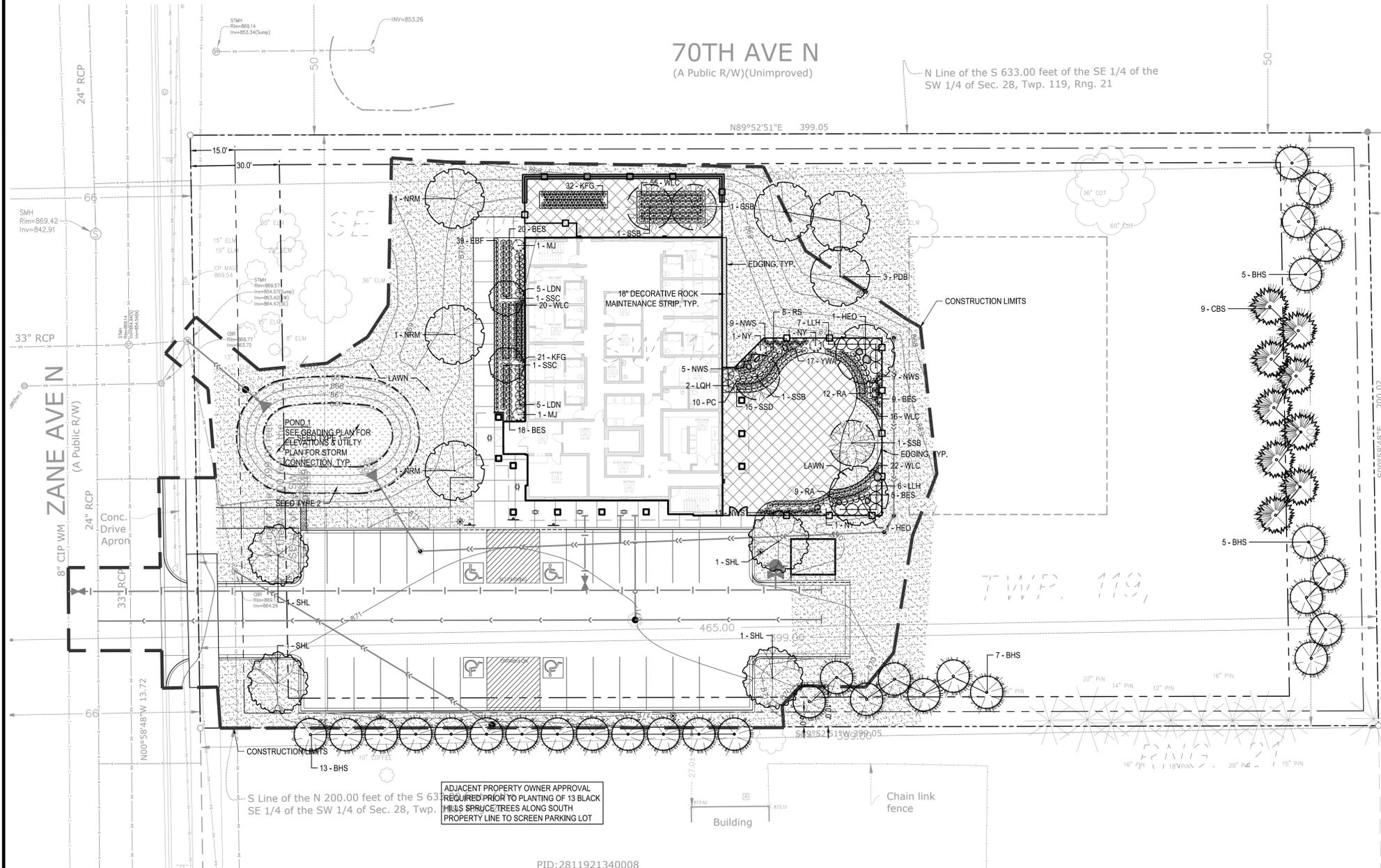
Know what's below.  
Call before you dig.



1" = 20'-0"  
10'-0" 0 20'-0"

**70TH AVE N**  
(A Public R/W)(Unimproved)

N Line of the S 633.00 feet of the SE 1/4 of the SW 1/4 of Sec. 28, Twp. 119, Rng. 21



ADJACENT PROPERTY OWNER APPROVAL REQUIRED PRIOR TO PLANTING OF 13 BLACK HILLS SPRUCE/TREES ALONG SOUTH PROPERTY LINE TO SCREEN PARKING LOT

PID:2811921340008

**PLANT SCHEDULE - ENTIRE SITE**

SYM	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	COMMENTS
<b>DECIDUOUS TREES</b>					
NRM	3	NORTHWOOD RED MAPLE	<i>Acer rubrum</i> 'Northwood'	2.5' CAL.	B&B STRAIGHT LEADER, FULL FORM
SHL	4	SKYLINE HONEYLOCUST	<i>Gleditsia triacanthos</i> 'Skycole'	2.5' CAL.	B&B STRAIGHT LEADER, FULL FORM
HEO	2	HERITAGE ENGLISH OAK	<i>Quercus x macdonnellii</i> 'Clemons'	2.5' CAL.	B&B STRAIGHT LEADER, FULL FORM
SSB	4	SHILOH SPLASH RIVE BIRCH	<i>Betula nigra</i> 'Shiloh Splash'	2.5' CAL.	B&B STRAIGHT LEADER, FULL FORM
PDB	3	PRAIRIE DREAM PAPER BIRCH	<i>Betula papyrifera</i> 'Varen'	2.5' CAL.	B&B STRAIGHT LEADER, FULL FORM
<b>ORNAMENTAL TREES</b>					
SSC	2	SPRING SNOW FLOWERING CRAB	<i>Malus</i> 'Spring Snow'	1.5' CAL.	B&B STRAIGHT LEADER, FULL FORM
<b>EVERGREEN TREES</b>					
BHS	30	BLACK HILLS SPRUCE	<i>Picea glauca</i> 'Densata'	6' HT.	B&B STRAIGHT LEADER, FULL FORM
CBS	9	COLORADO SPRUCE	<i>Picea pungens</i>	6' HT.	B&B STRAIGHT LEADER, FULL FORM
<b>SHRUBS - CONIFEROUS &amp; EVERGREEN</b>					
MJ	2	MEDORA JUNIPER	<i>Juniperus scopulorum</i> 'Medora'	36" HT.	CONT.
NY	3	NOVA YEW	<i>Taxus cuspidata</i> 'Nova'	36" HT.	CONT.
LDN	10	LITTLE DEVIL NINEBARK	<i>Physocarpus opulifolius</i> 'Donna May'	24" HT.	CONT.
DNS	-	DWARF NORWAY SPRUCE	<i>Picea abies</i> 'Pumila'	24" HT.	CONT.
LLH	13	LITTLE LIME HYDRANGEA	<i>Hydrangea paniculata</i> 'Jane'	24" HT.	CONT.
LQF	2	LITTLE QUICKFIRE HYDRANGEA	<i>Hydrangea paniculata</i> 'SMHPLQF'	24" HT.	CONT.
<b>PERENNIALS &amp; GRASSES</b>					
EBF	39	ELIJAH BLUE FESCUE	<i>Festuca glauca</i> 'Elijah Blue'	#1	CONT.
WLC	113	WALKER'S LOW CATMINT	<i>Nepeta x faassenii</i> 'Walker's Low'	#1	CONT.
BES	52	GOLDSTURM RUDBECKIA	<i>Rudbeckia fulgida</i> 'Goldsturm'	#1	CONT.
KFG	53	KARL FOERSTER FEATHER REED GRASS	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	#1	CONT.
NWS	32	NORTHWIND SWITCH GRASS	<i>Panicum virgatum</i> 'Northwind'	#1	CONT.
RA	21	RHEINLAND ASTILBE	<i>Astilbe japonica</i> 'Rheinland'	#1	CONT.
YWA	17	YOUNIQUE WHITE ASTILBE	<i>Astilbe</i> 'Verswhite'	#1	CONT.
PC	10	PURPLE CONEFLOWER	<i>Echinacea purpurea</i>	#1	CONT.
RS	8	RUSSIAN SAGE	<i>Perovskia atriplicifolia</i>	#1	CONT.
SSD	15	STELLA SUPREME DAYLILY	<i>Hemerocallis</i> 'Stella Supreme'	#1	CONT.





- SWPPP NOTES:**
1. THIS PROJECT IS GREATER THAN ONE ACRE AND WILL REQUIRE AN MPCA NPDES PERMIT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY EROSION CONTROL PERMITS REQUIRED BY THE CITY.
  2. SEE SHEETS SW1.0 - SW1.5 FOR ALL EROSION CONTROL NOTES, DESCRIPTIONS, AND PRACTICES.
  3. SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
  4. CONTRACTOR IS RESPONSIBLE FOR SWPPP IMPLEMENTATION, INSPECTIONS, AND COMPLIANCE WITH NPDES PERMIT.

**CITY OF BROOKLYN PARK EROSION CONTROL NOTES:**

1. RESERVED FOR CITY SPECIFIC EROSION CONTROL NOTES.

ALL SPECIFIED EROSION AND SEDIMENT CONTROL PRACTICES, AND MEASURES CONTAINED IN THIS SWPPP ARE THE MINIMUM REQUIREMENTS. ADDITIONAL PRACTICES MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION.

**PRELIMINARY:  
NOT FOR  
CONSTRUCTION**

**A1 RELIABLE HOME SERVICES  
SUPPORTIVE HOUSING**  
6940 ZANE AVE N, BROOKLYN PARK, MN 55445

**A-1 RELIABLE HOME CARE**  
2353 RICE STREET, SUITE 107, ST PAUL, MN 55113

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Matthew R. Pavsek*  
Matthew R. Pavsek  
DATE 04/21/20 LICENSE NO. 44283

**ISSUE/SUBMITTAL SUMMARY**

DATE	DESCRIPTION
04/19/20	CITY SUBMITTAL
04/21/20	CITY SUBMITTAL

**REVISION SUMMARY**

DATE	DESCRIPTION

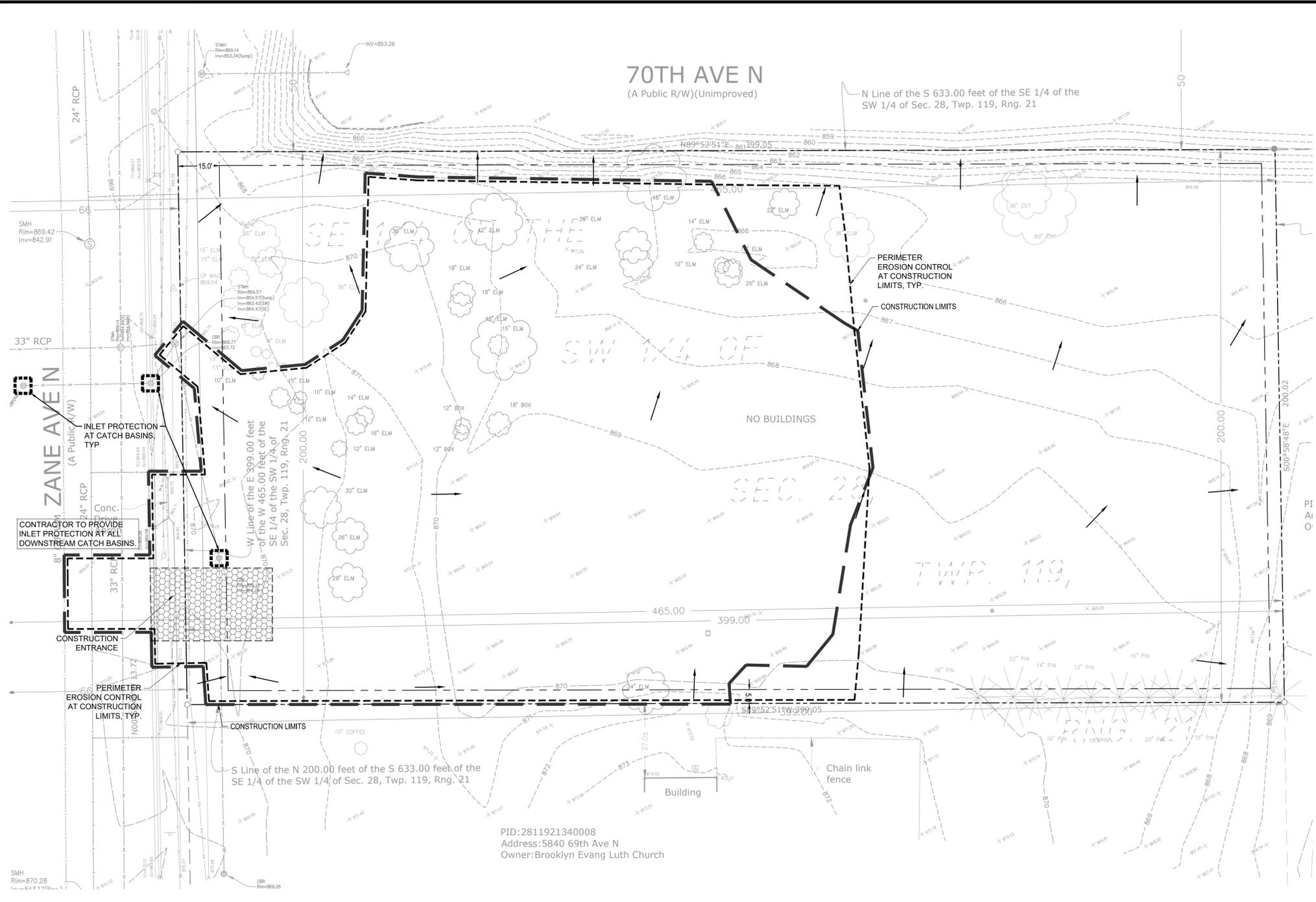
DRAWN BY: KB, BN REVIEWED BY: MP  
PROJECT NUMBER: 20040

**REVISION SUMMARY**

DATE	DESCRIPTION

SWPPP - EXISTING CONDITIONS

**SW1.0**



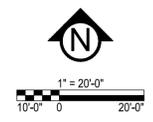
**70TH AVE N**  
(A Public R/W)(Unimproved)

N Line of the S 633.00 feet of the SE 1/4 of the SW 1/4 of Sec. 28, Twp. 119, Rng. 21

W Line of the E 399.00 feet of the W 465.00 feet of the SE 1/4 of the SW 1/4 of Sec. 28, Twp. 119, Rng. 21

PID: 2811921340008  
Address: 5840 69th Ave N  
Owner: Brooklyn Evang Luth Church

- LEGEND:**
- 1125 --- EX. 1' CONTOUR ELEVATION INTERVAL
  - 1137 --- 1.0' CONTOUR ELEVATION INTERVAL
  - DRAINAGE ARROW
  - - - - - SILT FENCE / BIOROLL - GRADING LIMIT
  - INLET PROTECTION
  - ▨ STABILIZED CONSTRUCTION ENTRANCE
  - ▨ EROSION CONTROL BLANKET



**SWPPP NOTES:**

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**CITY OF BROOKLYN PARK EROSION CONTROL NOTES:**

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**PRELIMINARY:  
NOT FOR  
CONSTRUCTION**

**PROJECT**  
A1 RELIABLE HOME SERVICES  
SUPPORTIVE HOUSING  
6940 ZANE AVE N, BROOKLYN PARK, MN 55445  
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*Matthew R. Pavek*  
Matthew R. Pavek  
DATE 04/21/20 LICENSE NO. 44283

**ISSUE/SUBMITTAL SUMMARY**

DATE	DESCRIPTION
04/19/20	CITY SUBMITTAL
04/21/20	CITY RESUBMITTAL

DRAWN BY: KB, BN REVIEWED BY: MP  
PROJECT NUMBER: 20040

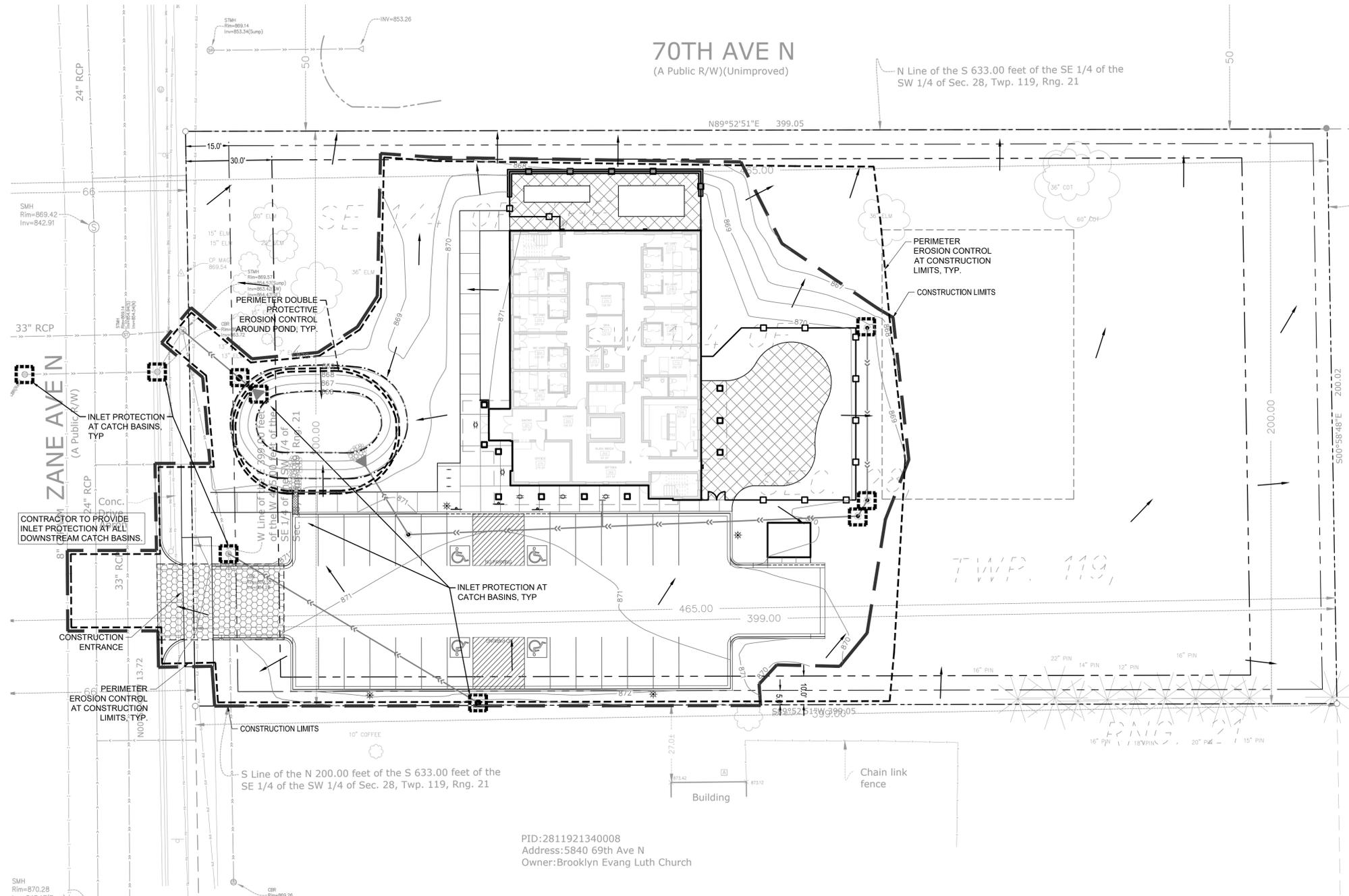
**REVISION SUMMARY**

DATE	DESCRIPTION

SWPPP - PROPOSED CONDITIONS

**SW1.1**

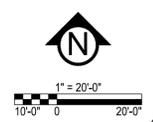
**70TH AVE N**  
(A Public R/W)(Unimproved)



PID:2811921340008  
Address:5840 69th Ave N  
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- DRAINAGE ARROW
- SILT FENCE / BIOROLL - GRADING LIMIT
- INLET PROTECTION
- ▨ STABILIZED CONSTRUCTION ENTRANCE
- ▨ EROSION CONTROL BLANKET





THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH A CONSTRUCTION ACTIVITY THAT DISTURBS SITE SOIL OR WHO IMPLEMENT A POLLUTANT CONTROL MEASURE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (DATED AUGUST 1, 2016 #MR10001) AND ANY LOCAL GOVERNING AGENCY HAVING JURISDICTION CONCERNING EROSION AND SEDIMENTATION CONTROL.

## STORMWATER DISCHARGE DESIGN REQUIREMENTS

### SWPPP

THE NATURE OF THIS PROJECT WILL BE CONSISTENT WITH WHAT IS REPRESENTED IN THIS SET OF CONSTRUCTION PLANS AND SPECIFICATIONS. SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE (ATTACHMENT A CONSTRUCTION SWPPP TEMPLATE) FOR ADDITIONAL SITE SPECIFIC SWPPP INFORMATION. THE PLANS SHOW LOCATIONS AND TYPES OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMP'S. STANDARD DETAILS ARE ATTACHED TO THIS SWPPP DOCUMENT.

THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:

1. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE
2. INSTALLATION OF SILT FENCE AROUND SITE
3. INSTALL ORANGE CONSTRUCTION FENCING AROUND INFILTRATION AREAS.
4. CLEAR AND GRUB FOR TEMPORARY SEDIMENT BASIN /POND INSTALL
5. CONSTRUCT TEMPORARY SEDIMENT BASIN /POND (SECTION 14)
6. CLEAR AND GRUB REMAINDER OF SITE
7. STRIP AND STOCKPILE TOPSOIL
8. ROUGH GRADING OF SITE
9. STABILIZE DENUDED AREAS AND STOCKPILES
10. INSTALL SANITARY SEWER, WATER MAIN STORM SEWER AND SERVICES
11. INSTALL SILT FENCE / INLET PROTECTION AROUND CBS
12. INSTALL STREET SECTION
13. INSTALL CURB AND GUTTER
14. BITUMINOUS ON STREETS
15. FINAL GRADE BOULEVARD, INSTALL SEED AND MULCH
16. REMOVE ACCUMULATED SEDIMENT FROM BASIN / POND
17. FINAL GRADE POND / INFILTRATION BASINS (DO NOT COMPACT SOILS IN INFILTRATION AREAS.)
18. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SOD/LANDSCAPING, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.

### RECORDS RETENTION:

THE SWPPP (ORIGINAL OR COPIES) INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP CAN BE KEPT IN EITHER THE FIELD OFFICE OR IN AN ON SITE VEHICLE DURING NORMAL WORKING HOURS.

ALL OWNERS(S) MUST KEEP THE SWPPP, ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOT AS OUTLINED IN SECTION 4. THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.

1. THE FINAL SWPPP.
2. ANY OTHER STORMWATER RELATED PERMITS REQUIRED FOR THE PROJECT.
3. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION (SEE SECTION 11, INSPECTIONS AND MAINTENANCE).
4. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY, CONTRACTS AND AGREEMENTS REGARDING PERPETUAL MAINTENANCE, AND
5. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

### SWPPP IMPLEMENTATION RESPONSIBILITIES:

1. THE OWNER AND CONTRACTOR ARE PERMITTEE(S) AS IDENTIFIED BY THE NPDES PERMIT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE IMPLEMENTATION OF THE SWPPP, INCLUDING THE ACTIVITIES OF ALL OF THE CONTRACTOR'S SUBCONTRACTORS.
3. CONTRACTOR SHALL PROVIDE A PERSON(S) KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMP'S TO OVERSEE ALL INSTALLATION AND MAINTENANCE OF BMP'S AND IMPLEMENTATION OF THE SWPPP.
4. CONTRACTOR SHALL PROVIDE PERSON(S) MEETING THE TRAINING REQUIREMENTS OF THE NPDES PERMIT TO CONDUCT INSPECTION AND MAINTENANCE OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMIT. ONE OF THESE INDIVIDUAL(S) MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY MP/CA. CONTRACTOR SHALL PROVIDE TRAINING DOCUMENTATION FOR THESE INDIVIDUAL(S) AS REQUIRED BY THE NPDES PERMIT. THIS TRAINING DOCUMENTATION SHALL BE RECORDED IN OR WITH THE SWPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS THE PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED. DOCUMENTATION SHALL INCLUDE:
  - 4.1. NAMES OF THE PERSONNEL ASSOCIATED WITH THE PROJECT THAT ARE REQUIRED TO BE TRAINED PER SECTION 21 OF THE PERMIT.
  - 4.2. DATES OF TRAINING AND NAME OF INSTRUCTOR AND ENTITY PROVIDING TRAINING.
  - 4.3. CONTENT OF TRAINING COURSE OR WORKSHOP INCLUDING THE NUMBER OF HOURS OF TRAINING.
5. FOLLOWING FINAL STABILIZATION AND THE TERMINATION OF COVERAGE FOR THE NPDES PERMIT, THE OWNER IS EXPECTED TO FURNISH LONG TERM OPERATION AND MAINTENANCE (O & M) OF THE PERMANENT STORM WATER MANAGEMENT SYSTEM.

## CONSTRUCTION ACTIVITY REQUIREMENTS

### SWPPP AMENDMENTS (SECTION 6):

1. ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS.
2. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMP'S AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER.
3. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMP'S AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MP/CA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL.

### BMP SELECTION AND INSTALLATION (SECTION 7):

1. PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMP'S IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES.

### EROSION PREVENTION (SECTION 8):

1. BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED.
2. PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES, WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING).
3. PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) BUT PERMITTEES MUST PROVIDE SEDIMENT CONTROLS AT THE BASE OF THE STOCKPILE.
4. FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPawning TIME FRAMES, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATERS EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS DURING THE RESTRICTION PERIOD.
5. PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 14 CALENDAR DAYS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE DITCH TEMPORARILY OR PERMANENTLY CEASES.
6. TEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. PERMITTEES MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES
7. PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THAN 2 PERCENT.
8. PERMITTEES MUST PROVIDE TEMPORARY OR PERMANENT ENERGY DISSIPATION AT ALL PIPE OUTLETS WITHIN 2 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM.
9. PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11.

### SEDIMENT CONTROL (SECTION 9):

1. PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMP'S ON ALL DOWNGRADIENT PERIMETERS OF THE SITE AND DOWNGRADIENT AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURB AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES UPGRADEMENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE ANY UPGRADEMENT LAND-DISTURBING ACTIVITIES BEGIN AND MUST KEEP THE SEDIMENT CONTROL PRACTICES IN PLACE UNTIL THEY ESTABLISH PERMANENT COVER.
2. IF DOWNGRADIENT SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL UPGRADEMENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMP'S TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3.
3. TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT

SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS.

4. A FLOATING SILT CURTAIN PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALLATION OF RIP RAP ALONG THE SHORELINE) IN THAT AREA IS COMPLETE, PERMITTEES MUST INSTALL AN UPWARD PERIMETER CONTROL PRACTICE IF EXPOSED SOILS STILL DRAIN TO A SURFACE WATER.
5. PERMITTEES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES, IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY IS COMPLETED. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE.
6. PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMP'S DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET.
7. PERMITTEES MUST REMOVE INLET PROTECTION FROM A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (E.G. STREET FLOODING/FREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G., CITY/COUNTY/TOWNSHIP/MINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP.
8. PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF STOCKPILES ON THE DOWNGRADIENT PERIMETER.
9. PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.
10. PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE.
11. PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMP'S ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING ONTO THE STREET.
12. PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14.
13. IN ANY AREAS OF VEGETATIVE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION.
14. PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE.
15. PERMITTEES MUST DIRECT DISCHARGES FROM BMP'S TO VEGETATED AREAS UNLESS INFEASIBLE.
16. PERMITTEES MUST PRESERVE A 50 FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE REDUNDANT (DOUBLE) PERIMETER SEDIMENT CONTROL'S WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT'S EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER. PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS. IF PRESERVING THE BUFFER IS INFEASIBLE, PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. SHEET PILING IS A REDUNDANT PERIMETER CONTROL IF INSTALLED IN A MANNER THAT RETAINS ALL STORMWATER.
17. PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE PERMITTEES MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.

### DEWATERING AND BASIN DRAINING (SECTION 10):

1. PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PERMITTEES MUST DEWATER TO SURFACE WATERS IF THEY VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR TO ENTERING A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMP'S SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE SURFACE WATER OR DOWNSTREAM PROPERTIES.
2. IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS) PRIOR TO DISCHARGE.
3. PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR INUNDATION OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSES SIGNIFICANT ADVERSE IMPACT TO THE WETLAND.
4. IF PERMITTEES USE FILTERS WITH BACKWASH WATER, THEY MUST HALL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION.

### INSPECTIONS AND MAINTENANCE (SECTION 11):

1. PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS.
2. PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMP'S.
3. PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL BMP'S WITH FUNCTIONAL BMP'S BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS ANOTHER TIME FRAME IS SPECIFIED IN ITEM 11.5 OR 11.6. PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA.
4. DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT CURB AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS AND RESTORABLE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. PERMITTEES MUST USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF OBTAINING ACCESS. PERMITTEES ARE RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS.
5. PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PAVED STREETS.
6. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE.
7. PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME.
8. PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B.
9. PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS:
  - a. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF CONSTRUCTION ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE.
  - b. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY UNTIL CONSTRUCTION ACTIVITY RESUMES. THE MP/CA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WARRANT; OR
  - c. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE SUSPENDED. INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RAINFALL OCCURRING, OR UPON RESUMING CONSTRUCTION, WHICHEVER COMES FIRST.
10. PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST INCLUDE:
  - a. DATE AND TIME OF INSPECTIONS; AND
  - b. NAME OF PERSONS CONDUCTING INSPECTIONS; AND
  - c. ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND
  - d. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES); AND
  - e. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ONSITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES; AND
  - f. IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E., COLOR, ODOR, SETTLED OR SUSPENDED SOLIDS, OIL SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS); AND
  - g. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS.

### POLLUTION PREVENTION MANAGEMENT (SECTION 12):

1. PERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES ARE NOT REQUIRED TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER.
2. PERMITTEES MUST PLACE PESTICIDES, FERTILIZERS AND TREATMENT CHEMICALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
3. PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
4. PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7035.
5. PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041.
6. PERMITTEES MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE. PERMITTEES MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061, USING DRY CLEAN UP METHODS WHERE AVAILABLE.
7. PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST

DISPOSE WASTE FROM THE WASHING ACTIVITY PROPERLY. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS.

8. PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MP/CA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY.

### PERMIT TERMINATION (SECTION 4 AND SECTION 13):

1. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE.
2. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL CLEAN OUT, OR TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY. THE PERMITTEES' COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION DATE OF THE NOT.
3. PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOT. VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR THE BASE OF A SAND FILTER.
4. PERMITTEES MUST CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS IN SECTION 15 THROUGH 18 AND IS OPERATING AS DESIGNED.
5. PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE NOT.
6. PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMP'S PRIOR TO SUBMITTING THE NOT. PERMITTEES MAY LEAVE BMP'S DESIGNED TO DECOMPOSE ON-SITE IN PLACE.
7. FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADIENT PERIMETER CONTROL IS COMPLETE, THE RESIDENCE SELLS TO THE HOMEOWNER, AND THE PERMITTEE DISTRIBUTES THE MP/CA'S HOMEOWNER FACT SHEET TO THE HOMEOWNER.
8. FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTING THE NOT.

### SEED NOTES:

ALL SEED MIXES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MNDOT SEEDING MANUAL.

### GENERAL RECOMMENDATIONS:

THE CONTRACTOR IS RESPONSIBLE TO SALVAGE AND PRESERVE EXISTING TOPSOIL NECESSARY FOR FINAL STABILIZATION AND TO ALSO MINIMIZE COMPACTION IN ALL LANDSCAPE AREAS, IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE TILLED TO A MINIMUM DEPTH OF 3 INCHES.

### TEMPORARY EROSION CONTROL SEEDING, MULCHING & BLANKET.

#### SEED

- TEMPORARY SEED SHALL BE MNDOT SEED MIX 21-112 (WINTER WHEAT COVER CROP) FOR WINTER AND 21-111 (OATS COVER CROP) FOR SPRING/SUMMER APPLICATIONS. BOTH SEED MIXES SHALL BE APPLIED AT A SEEDING RATE OF 100 LBS/ACRE.

#### MULCH

- IMMEDIATELY AFTER SEEDING, WITHIN 24 HOURS, MNDOT TYPE 1 MULCH SHOULD BE APPLIED TO PROTECT AND ENHANCE SEED GERMINATION. MULCH SHALL BE APPLIED AT 90% COVERAGE (2 TONS PER ACRE OF STRAW MULCH)

#### SLOPES

- 3:1 (HORIZ:VERT.) OR FLATTER MULCH SHALL BE COVERED WITH MULCH
- SLOPES STEEPER THAN 3:1 OR DITCH BOTTOMS SHALL BE COVERED WITH EROSION CONTROL BLANKET.
- SEE PLAN FOR MORE DETAILED DITCH AND STEEP SLOPE EROSION CONTROL TREATMENTS.

## TRAINING SECTION 21

DESIGN ENGINEER: MATTHEW R. PAVEK P.E.  
TRAINING COURSE: DESIGN OF SWPPP  
TRAINING ENTITY: UNIVERSITY OF MINNESOTA  
INSTRUCTOR: JOHN CHAPMAN  
DATES OF TRAINING COURSE: 5/15/2011 - 5/16/2011  
TOTAL TRAINING HOURS: 12  
RE-CERTIFICATION: 3/16/2017 (8 HOURS), EXP. 5/31/2020

## OWNER INFORMATION

OWNER:  
A1 RELIABLE HOME CARE  
2353 RICE STREET, SUITE 107  
ST. PAUL, MN 55113

CONTACT:

## AREAS AND QUANTITIES:

	EXISTING CONDITION		PROPOSED CONDITION	
BUILDING COVERAGE	0 SF	0.0%	6,090 SF	7.6%
ALL PAVEMENTS	1,328 SF	1.7%	17,744 SF	22.2%
ALL NON-PAVEMENTS	78,481 SF	98.3%	55,975 SF	70.1%
TOTAL SITE AREA	79,809 SF	100.0%	79,809 SF	100.0%

### IMPERVIOUS SURFACE

EXISTING CONDITION	1,328 SF	1.7%
PROPOSED CONDITION	23,834 SF	29.9%
DIFFERENCE (EX. VS PROP.)	22,506 SF	28.2%

### EROSION CONTROL QUANTITIES

DISTURBED AREA	41,396 SF	0.95 AC
SILT FENCE/BIO-ROLL	±970 LF	
EROSION CONTROL BLANKET	0 SF	
INLET PROTECTION DEVICES	±9 EA	

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION.

## SWPPP CONTACT PERSON

CONTRACTOR:

SWPPP INSPECTOR TRAINING:

ALL SWPPP INSPECTIONS MUST BE PERFORMED BY A PERSON THAT MEETS THE TRAINING REQUIREMENTS OF THE NPDES CONSTRUCTION SITE PERMIT. TRAINING CREDENTIALS SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON SITE WITH THE SWPPP

## PARTY RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORM WATER MANAGEMENT SYSTEM

PERMANENT STORMWATER MANAGEMENT IS NOT REQUIRED AS PART OF THIS PROJECT TO MEET NPDES PERMIT REQUIREMENTS. THE PROJECT OWNER IS RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PROPOSED STORMWATER SYSTEM.

### SWPPP ATTACHMENTS (ONLY APPLICABLE IF SITE IS 1 ACRE OR GREATER):

CONTRACTOR SHALL OBTAIN A COPY OF THE FOLLOWING SWPPP ATTACHMENTS WHICH ARE A PART OF THE OVERALL SWPPP PACKAGE:

ATTACHMENT A. CONSTRUCTION SWPPP TEMPLATE - SITE SPECIFIC SWPPP DOCUMENT

ATTACHMENT B. CONSTRUCTION STORMWATER INSPECTION CHECKLIST

ATTACHMENT C. MAINTENANCE PLAN FOR PERMANENT STORM WATER TREATMENT SYSTEMS

ATTACHMENT D. STORMWATER MANAGEMENT REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER, AVAILABLE UPON REQUEST.

ATTACHMENT E: GEOTECHNICAL EVALUATION REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER, AVAILABLE UPON REQUEST.

### SUPPLEMENTARY SITE SPECIFIC EROSION CONTROL NOTES:

THESE NOTES SUPERCEDE ANY GENERAL SWPPP NOTES.

THIS PROJECT IS GREATER THAN 1.0 ACRES SO AN NPDES PERMIT IS REQUIRED AND NEEDS TO BE SUBMITTED TO THE MP/CA. THE CONTRACTOR IS REQUIRED TO FOLLOW THE GUIDELINES IN THE NPDES PERMIT THROUGHOUT CONSTRUCTION.

### PROJECT NARRATIVE:

PROJECT IS A REDEVELOPMENT OF AN EXISTING EMPTY LAND SPACE SPLIT FROM ONE LOT TO A NEW ASSISTED HOUSING FACILITY . SITE AND LANDSCAPE IMPROVEMENTS WILL OCCUR.

### NATIVE BUFFER NARRATIVE:

PRESERVING A 50' NATURAL BUFFER AROUND WATER BODIES IS NOT REQUIRED AS PART OF THIS PROJECT BECAUSE WATER BODIES ARE NOT LOCATED ON SITE.

### INFILTRATION NARRATIVE:

NA

### SOIL CONTAMINATION NARRATIVE:

SOILS ONSITE HAVE NOT BEEN IDENTIFIED AS CONTAMINATED. AN MP/CA SOILS ASSESSMENT WAS COMPLETED AND IT WAS DETERMINED THAT THIS SITE IS APPROPRIATE FOR INFILTRATION.

### SPECIAL TMDL BMP REQUIREMENTS SITE SPECIFIC (IF REQUIRED):

THIS PROJECT IS WITHIN ONE MILE AND DISCHARGES TO SHINGLE CREEK WHICH IS IDENTIFIED AS IMPAIRED WATER BODIES PER THE MP/CA'S 303(D) IMPAIRED WATERS LIST. SHINGLE CREEK IS IMPAIRED FOR BENTHIC MACROINVERTEBRATE BIOASSESSMENTS, CHLORIDE, DISSOLVED OXYGEN, ESCHERICHIA COLI, BECAUSE THESE WATERS ARE LOCATED WITHIN ONE MILE OF THE SITE. BMP'S AS DEFINED IN THE NPDES PERMIT ITEMS 23.9 AND 23.10 APPLY. THESE ARE AS FOLLOWS:

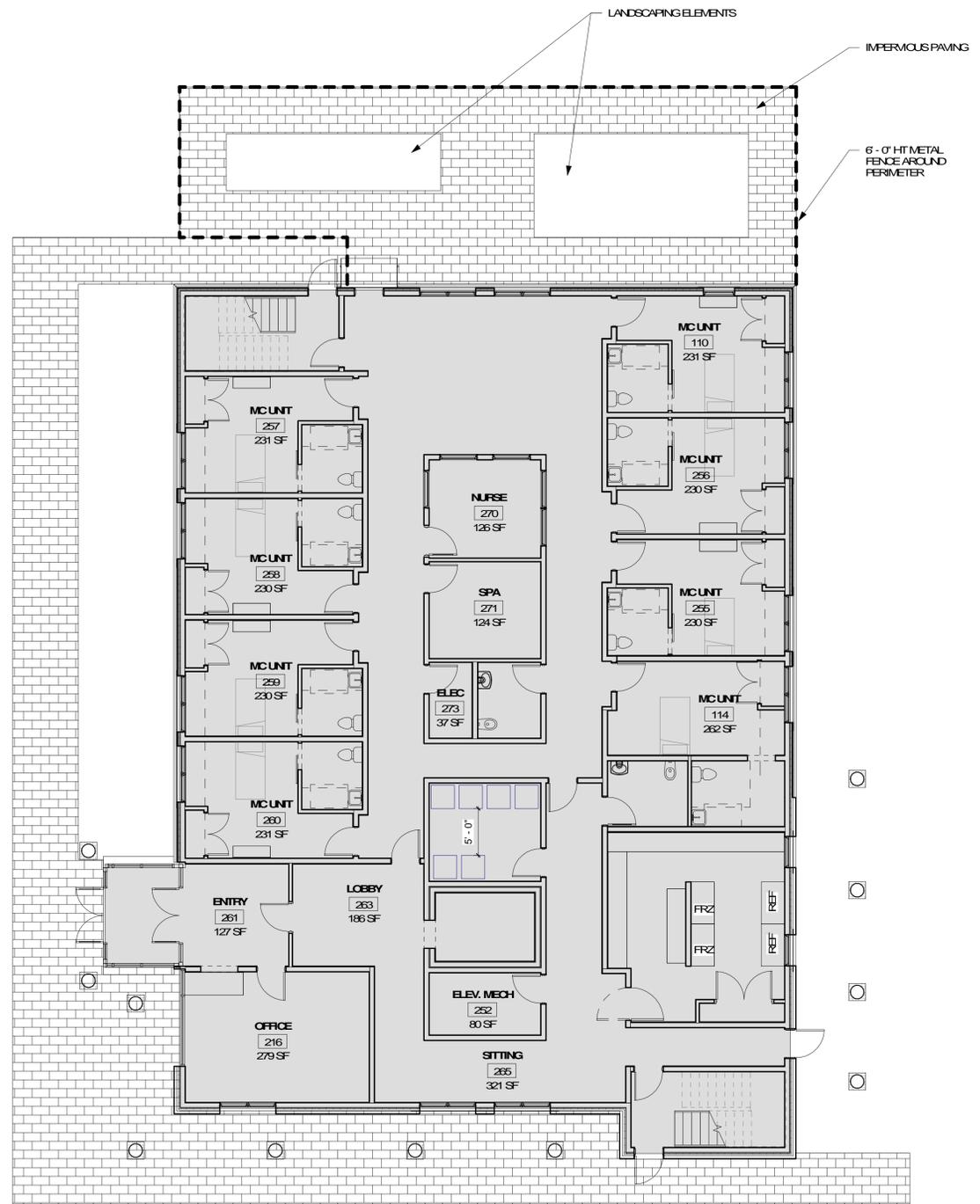
1. DURING CONSTRUCTION:
  - A. STABILIZATION OF ALL EXPOSED SOIL AREAS MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION BUT IN NO CASE COMPLETED LATER THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
  - B. TEMPORARY SEDIMENT BASIN REQUIREMENTS DESCRIBED IN SECTION 14, MUST BE USED FOR COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH FIVE (5) OR MORE ACRES DISTURBED AT ONE TIME.
</







2 TYP. SECOND & THIRD FLOOR PLAN  
 A101 1/8" = 1'-0"



1 FIRST FLOOR PLAN  
 A101 1/8" = 1'-0"



4 WEST EXTERIOR ELEVATION  
 A401 1/8" = 1'-0"

ROOF BEARING  
133'-0"  
 3 THIRD FLOOR  
122'-0"  
 2 SECOND FLOOR  
111'-0"  
 1 FIRST FLOOR  
100'-0"



3 NORTH EXTERIOR ELEVATION  
 A401 1/8" = 1'-0"

ROOF BEARING  
133'-0"  
 3 THIRD FLOOR  
122'-0"  
 2 SECOND FLOOR  
111'-0"  
 1 FIRST FLOOR  
100'-0"



2 EAST EXTERIOR ELEVATION  
 A401 1/8" = 1'-0"

ROOF BEARING  
133'-0"  
 3 THIRD FLOOR  
122'-0"  
 2 SECOND FLOOR  
111'-0"  
 1 FIRST FLOOR  
100'-0"



1 SOUTH EXTERIOR ELEVATION  
 A401 1/8" = 1'-0"

ROOF BEARING  
133'-0"  
 3 THIRD FLOOR  
122'-0"  
 2 SECOND FLOOR  
111'-0"  
 1 FIRST FLOOR  
100'-0"

OWNER

DEBORAH QUOGMU  
 2363 RICE STREET  
 SUITE 107  
 ST. PAUL, MN 55113

PROJECT

A-1 RELIABLE HOME  
 CARE SUPPORTIVE  
 HOUSING  
 BROOKLYN PARK,  
 MN

PROJECT NO. 19-146  
 DRAWN BY X SAMPLE  
 CHECKED BY T. WASMOEN  
 © COPYRIGHT 2019 FIRMGROUND INC.

**NOT FOR  
 CONSTRUCTION**

# ISSUE/REVISION DATE

SHEET TITLE

EXTERIOR  
 ELEVATIONS

SHEET NUMBER

**A401**

FIRM GROUND  
 architects & engineers





# City of Brooklyn Park Request for Council Action

<b>Agenda Item:</b>	7.1	<b>Meeting Date:</b>	May 26, 2020
<b>Agenda Section:</b>	General Action Items	<b>Originating Department:</b>	Community Development
<b>Resolution:</b>	N/A	<b>Prepared By:</b>	Keith Jullie, Rental and Business Licensing Manager
<b>Ordinance:</b>	N/A		
<b>Attachments:</b>	N/A		
<b>Item:</b>	Approve Splitting Annual On-Sale Liquor License Fee into Two Equal Payments		

## City Manager's Proposed Action:

MOTION \_\_\_\_\_, SECOND \_\_\_\_\_, TO APPROVE THE SPLITTING OF THE ANNUAL ON-SALE LIQUOR LICENSE FEE INTO TWO EQUAL PAYMENTS DUE ON JUNE 30 AND DECEMBER 31, 2020.

## Overview:

Several on-sale liquor license holders in Brooklyn Park have contacted the City and expressed a hardship with paying their annual license fee of \$8,200 for full liquor and \$2,000 for wine and strong beer. The hardship is due to the Stay at Home Executive Order that has shut down restaurants since March 17, 2020. Staff recommends approving an option for split fee payment to help businesses during this difficult time.

## Primary Issues/Alternatives to Consider:

There are 15 full liquor and 4 wine and strong beer on-sale liquor licenses due for renewal on June 30, 2020. State Statute prevents the City from extending the renewal deadline for Liquor licenses. Off-sale liquor licenses are not included in this request because they are not experiencing the same hardships as on-sale liquor licenses due to the current shut down.

Upon approval from the City Council, all On-Sale Liquor licenses (full and wine/strong beer) would be given the option to pay the full amount or split their license fee payment with half due by June 30 and the balance of the fee due by December 31, 2020.

## Budgetary/Fiscal Issues:

The anticipated revenue for on-sale liquor licenses in 2020 is \$131,000. Splitting the license fee will not have a notable impact on the budget as the full amount would be collected by the end of the year.

**Attachments:** N/A

# City of Brooklyn Park Request for Council Action

<b>Agenda Item:</b>	7.2	<b>Meeting Date:</b>	May 26, 2020
<b>Agenda Section:</b>	General Action Items	<b>Originating Department:</b>	Recreation and Parks
<b>Resolution:</b>	X	<b>Prepared By:</b>	Kelly Mertes, Supervisor Special Events, Recreation and Parks
<b>Ordinance:</b>	N/A		
<b>Attachments:</b>	1	<b>Presented By:</b>	Jody Yungers, Director of Recreation and Parks
<b>Item:</b>	Consideration to Cancel 2020 Tater Daze Event		

## City Manager's Proposed Action:

MOTION \_\_\_\_\_, SECOND \_\_\_\_\_, TO WAIVE THE READING AND ADOPT RESOLUTION #2020-\_\_\_\_ TO CANCEL THE 2020 TATER DAZE EVENT DUE TO INABILITY TO MEET CDC COVID-19 SOCIAL DISTANCING STANDARDS.

## Overview:

Since 2015, staff and the Tater Daze Committee have made incremental changes to the Tater Daze community festival with the interest to be more inclusive and relevant for all members of the community. Staff was working to better engage a broader representation of the community in the 2020 event. The 2020 Tater Daze event was planned as a one-day event to be held on Saturday, August 15, at the Community Activity Center front lawn from noon to 8 p.m.

With the onset of the COVID-19 pandemic, staff has been discussing what Tater Daze could look like in an effort to meet the CDC guideline for social distancing. These modifications would include, but are not limited to, no inflatables, modified beer tent, controlled social distancing for entertainment events, no vendor areas, no teen tater daze, modified youth crafts, and possibly reducing the number of food vendors from eight to three. Additionally, we would need to limit the number of people who attend the event, and for those who do attend, we would need to create space blocks where families could seat with social distancing. It would be necessary to bring in extra handwash stations, and it is not clear what the food vendor guidelines would be for an August event, as currently food truck customers cannot eat on site.

## Recommendation:

Based on the Governor's Request, "Not to entertain opening events where we cannot predict the behavior of participants," and our inability to provide a quality event experience, staff is recommending that the 2020 Tater Daze event be cancelled and that staff focus on other smaller events later in the summer. Staff will plan for a 2021 Tater Daze that celebrates Brooklyn Parks history and truly engages the entire Brooklyn Park community.

## Primary Issues/Alternatives to Consider:

Other Small Community Events to take place in mid-to-late summer of 2020:

- Concerts in the Park (3)
- Movies in the Park (3)

Plan for other events that celebrates our community heritage:

- "Bringing together Our Past and Present" through a Community Cookbook
  - Historic Eidem Farm staff, events staff and communications staff to engage the community in to create a "community cookbook," "Cooking with Spud – The rich potato farming history of Brooklyn Park" where residents submit their favorite potato recipes

- Cookbooks would be available for purchase beginning in August and into the fall at the Farmers Market or Historic Eidem Farm “Fall on the Farm” event.
- Fall Festival – focus on celebrating our history (outside walking tour)
- Norwegian Christmas on the Farm (outside walking tour)

**Budgetary/Fiscal Issues:**

Budget Items	Expenses	Revenue
<b>Total Tater Daze Event</b>	<b>\$18,780</b>	<b>\$600</b>
<b>Total Fireworks Event</b>	<b>\$8,275</b>	
<b>Total Levy (savings)</b>	<b>\$27,055</b>	<b>0</b>

**Attachments:**

7.2A RESOLUTION

7.2B 2020 COVID-MODIFIED CELEBRATE BROOKLYN PARK EVENTS

RESOLUTION #2020-

RESOLUTION TO CANCEL THE 2020 TATER DAZE EVENT  
DUE TO INABILITY TO MEET CDC COVID-19 SOCIAL DISTANCING STANDARDS

WHEREAS, with the onset of the COVID-19 pandemic, staff has been discussing what Tater Daze could look like in an effort to meet the CDC guideline for social distancing; and

WHEREAS, these modifications would include, but are not limited to, no inflatables, modified beer tent, controlled social distancing for entertainment events, no vendor areas, no teen tater daze, modified youth crafts, and possibly food vendors reduction from eight to three; and

WHEREAS, we would need to limit the number of people who attend the event to comply with social distancing guidelines and take extra precaution to address sanitation and food vendor requirements; and

WHEREAS, based on the Governor's Request "Not to entertain opening events where we cannot predict behavior of participants," and staff's inability to provide a quality community event experience under social distancing guidelines.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Brooklyn Park to cancel the 2020 Tater Daze event due to our inability to meet CDC COVID-19 social distancing standards.

# Celebrate Brooklyn Park

## Modified 2020 COVID Events Plan

**Celebrate Brooklyn Park Rec Events**



	Concert Series	Farmers Market	Historic Eidem Farm	City Collaboration	Partnerships
Drive-In Movies at the CAC Thursday, August 6 & 20 Friday, October 2	Tuesdays, 7 pm Music on the Lawn at the CAC July 14, 28, August 11	Farmers Market Kick-off Wednesday, June 24	Cooking with Spud, a community cookbook	National Night Out October 6	Ghostly Gala – October 24
Bark Park Expo – September 19 @ Brookdale Park		Wednesday’s, 2 – 6 pm at Zane Sports Park or CAC / Old Library lot	Virtual Story Time Tuesday’s		Community Band Holiday Concert – December 7
Spud Run – September 19 @ Brookdale Park		Final Farmers Market Wednesday, October 7	Virtual Eidem’s Items Thursday’s		
Spooktacular - October 31 @ ZW			Virtual Live Period Demonstrations Thursday’s		
			Virtual Live Craft Demonstrations Wednesday’s		
			Fall on the Farm Saturday, October 10		
			Norwegian Christmas Saturday, December 5		
	<b>Future Event Ideas</b> Movie at the Dome, Diversity Fest, Triathlon at River Park, Winter Fest “Spuds Freeze-Out or Spuds Winter Fun”			<b>Partnerships</b> with community civic & cultural groups to provide <b>City</b> presence at their events	