

Accessory Structures



Brooklyn Park City Hall
5200 85th Avenue North
Brooklyn Park, MN 55443

Visit our Website

Building Inspections Division
www.brooklynpark.org/building-permits-and-inspections

Contact a Building Inspector or
Schedule an Inspection
763-488-6379



APPLY FOR A PERMIT

If you need this information in another language or format or disability accommodations, email access@brooklynpark.org or call 763-424-8000.

Si usted necesita esta información en español: 763-424-8000

Yog xav tau kev pab, thov hu rau 763-424-8000 lawv mam li nrhiav ib tus neeg txhais lus rau koj

REQUIRED PERMITS

Accessory structures require a permit if the floor area is over 200 square feet and/or attached to a structure that has frost footings. *Note: if you are intending to build a garage, see our webpage on garages*

Accessory structure: is a structure subordinate to, incidental to, and/or serving the principal structure on the same lot. Examples of accessory structures include greenhouses, fences, gazebos, ice-fishing shacks, storage sheds, garages (attached or detached) etc.

CONSTRUCTION DOCUMENTS REQUIRED

- Plans drawn to scale include:**
 - Foundation plan
 - Floor plans(s)
 - Cross sections(s)
 - Elevation plans(s)
- Site plan/survey must indicate:**
 - Lot dimensions, property lines, distance from property lines for existing and proposed structures on the property.
 - You will need to upload the site plan or survey with your plans.
Note: We may have a survey on file for your home, email us at permits@brooklynpark.org to inquire.

FOUNDATION PLAN

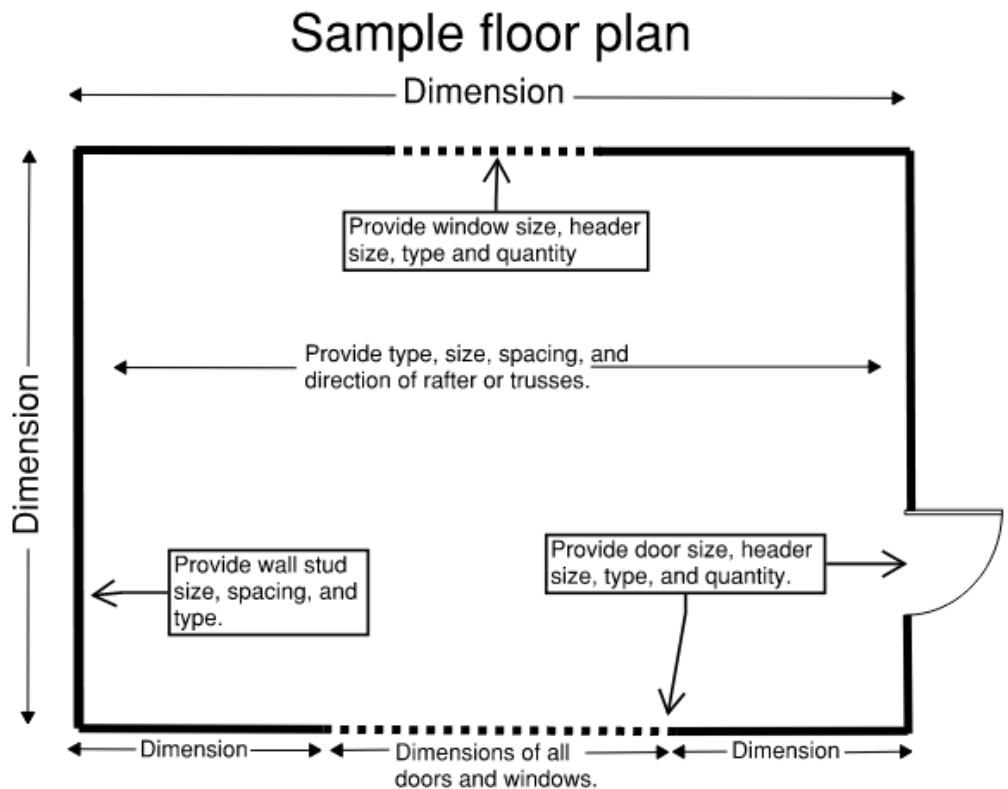
Foundation plan shall indicate:

- Provide the foundation type (concrete piers, helical piers, thickened foundation slab, etc.).
- Provide footing size: spacing, width, height, and depth.
- Post spacing (if applicable).
- Beam type, size, and number of ply's (if applicable).
- Anchor bolt size, type, and spacing (if applicable).
- Reinforcing bar (rebar) if installing.

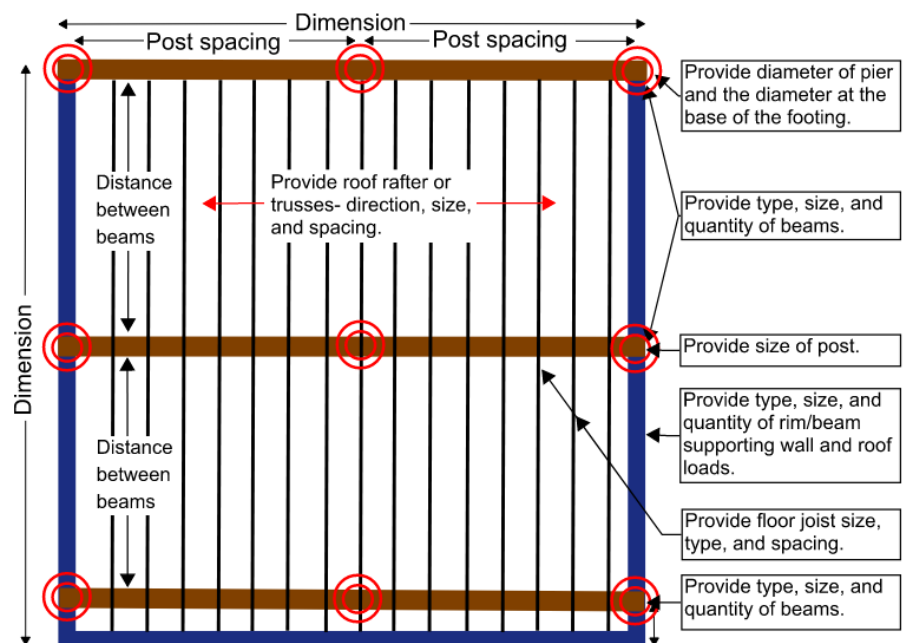
SAMPLE FLOOR PLAN

Floor plan shall indicate:

- Overall dimensions for the structure.
- All doors and window rough openings.
- Joist sizing and spacing.
- Beam sizes, type, and quantity.
- Post size and spacing.
- Header sizes, type, quantity.
- Wall stud, size, and type.
- Roof framing details - roof truss spacing or hand framed rafter construction (size and spacing).

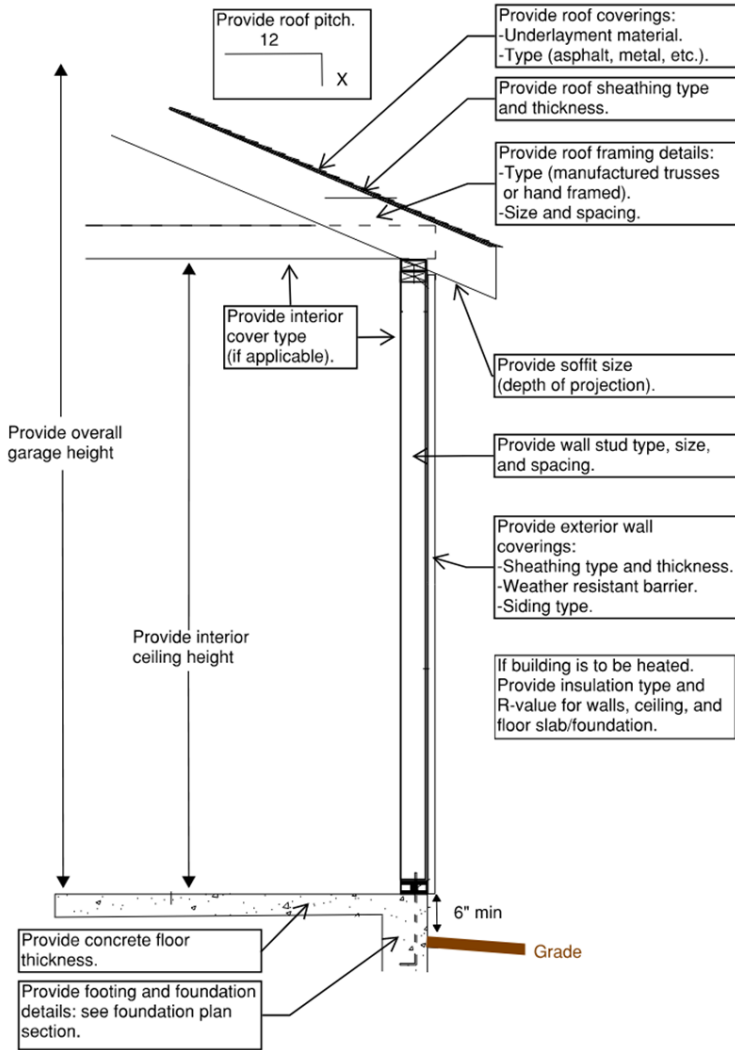


Sample floor framing plan



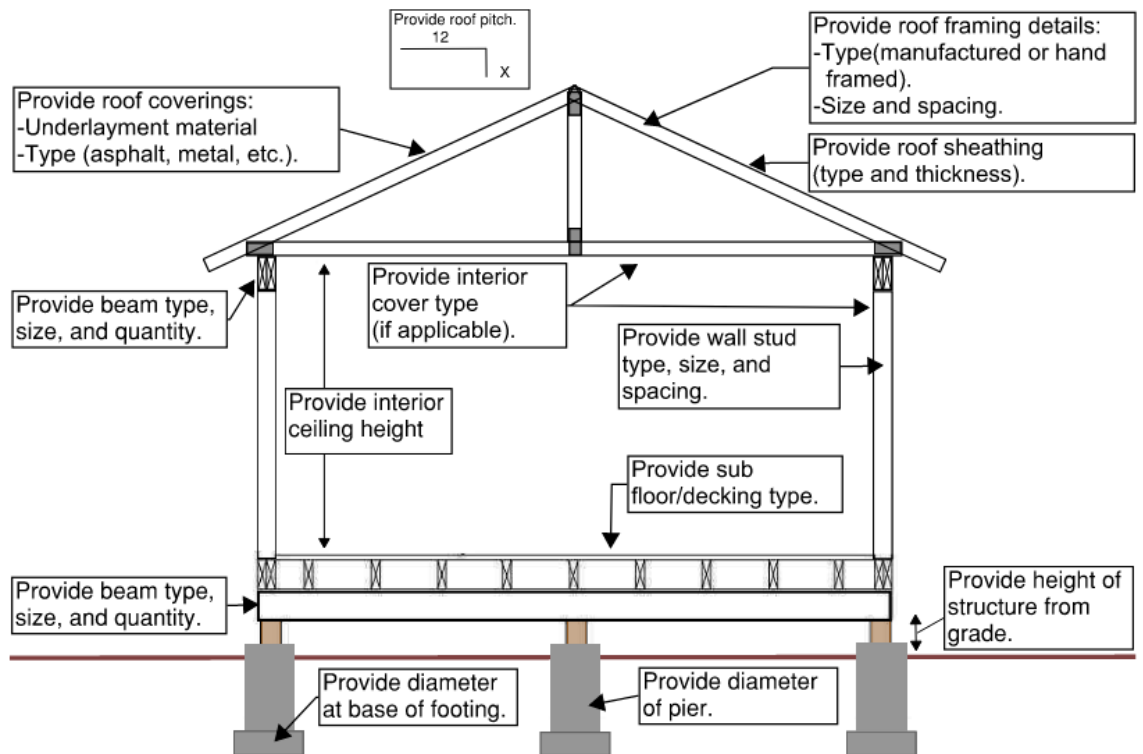
This guide is not intended nor shall be considered to cover all requirements of the Minnesota State Building Code or city ordinances.

SAMPLE CROSS SECTION



Cross section shall indicate:

- Footing size and depth.
- Beam size, type, and thickness.
- Post size and spacing.
- Wall stud size and spacing.
- Height above grade.
- Overall structure height.
- Roof framing details - roof truss spacing or hand framed rafter construction (size and spacing).
- Roof pitch.
- Roof sheathing type and thickness.
- Roof underlayment and roofing material.
- If insulation is installed, provide type, installed R-value.
- Interior wall coverings.
- Exterior wall coverings. (sheathing, weather resistant barriers, siding).
- Ceiling heights.



THINGS TO CONSIDER WHEN DRAWING/PLANNING YOUR ACCESSORY STRUCTURE.

- Accessory structures must meet the land use and setback requirements of the zoning code. Zoning questions should be directed to the Planning Division (763) 493-8056.
- Accessory structures on residential properties must be setback from property lines at least:
 - 20 or 30 feet from any public right-of-way depending on zoning district.
 - 5 feet from any interior property line.
 - Zero setback from utility/drainage easements
 - Accessory structures may not be located between the house and street.
- Homeowner's Associations may require permission to build accessory structures, check with your HOA.
- No more than two detached accessory structures are permitted on a property.
- Detached accessory structures must not exceed 18 feet in height or the height of the principal building, whichever is less.
- The color and style of the accessory structure surfaces needs to match the that of the principal structure.
- On any lot the combined floor area of the detached accessory building(s) and an attached garage shall not exceed the area of the foundation footprint of the house, or 1,000 square feet, whichever is greater.

REQUIRED INSPECTIONS

1. **Footing-** Shall be inspected after forms and reinforcing bars (if applicable) are in place but prior to the placement of concrete.
2. **Foundations-** (if applicable)
 - Foundation inspections for poured walls shall be made after all forms are in place with any required reinforcing steel and bracing in place, and prior to placement of concrete.
 - All foundation walls shall be inspected prior to backfilling.
3. **Sheathing-** Shall be inspected prior to installing weather resistive barrier.
Note: This inspection can be combined with the framing inspection if you notify the inspector.
4. **Framing-** Shall be inspected after rough-in inspections for mechanical, electrical, etc. (if applicable) have been approved.
5. **Insulation-** (if applicable) Shall be inspected once insulation and vapor barrier are installed, but prior to covering.
6. **Building Final-** Shall be inspected after final inspections for mechanical, electrical, etc. (if applicable) have been approved.

Request an Inspection



GENERAL NOTES

- Electrical permits are administered by the State of Minnesota Board of Electricity. Visit dli.mn.gov/workers/homeowners to obtain an electrical permit or other additional information.
- Separate permits for plumbing, heating, electrical are required.
- Roof trusses shall be installed to the manufacturer's instructions. Truss specifications shall be onsite at time of framing inspection.
- If you build in any way that does not follow the approved plan after the permit has been issued, revised plans shall be submitted to the city for review. Your project cannot proceed until the revised plans have been approved.
- See our website for additional resources and guidance.